

**GENERAL DEMOLITION NOTES**

**GENERAL:**

- FIELD VERIFY ALL EXISTING CONDITIONS AND NOTIFY ARCHITECT OF ANY DISCREPANCIES IN WRITING PRIOR TO ONSET OF DEMOLITION. DEMOLITION/RESTORATION ITEMS MAY NOT BE ALL INCLUSIVE. THE DEMOLITION CONTRACTOR IS TO REVIEW THE REQUIREMENTS OF NEW CONSTRUCTION AND IS TO COMPLETE ALL DEMOLITION/ RESTORATION, CUTTING, AND PATCHING NECESSARY TO ACHIEVE INTENDED NEW CONDITION AND QUALITY.
- SELECTIVE DEMOLITION IS NOT INDICATED IN AREAS WHERE IT MAY BE NECESSARY TO DEMOLISH ALL OR PART OF AN EXISTING BUILDING COMPONENT TO GAIN ACCESS TO AREAS FOR TIE-IN TO BUILDING SYSTEMS, OR WHICH MAY BE REQUIRED TO INSTALL NEW CONSTRUCTION INDICATED ON THE DRAWINGS. DEMOLITION FOR THESE PURPOSES SHALL BE DONE AT NO ADDITIONAL COST TO THE OWNER, AND THE AREAS SHALL BE RETURNED TO THEIR ORIGINAL CONDITION PRIOR TO BEGINNING CONSTRUCTION.
- DEMOLITION WORK SHALL BE EXECUTED IN CONFORMANCE WITH THE LOCAL BUILDING CODES.
- EXERCISE EXTREME CAUTION IN THIS DEMOLITION. COST OF REPAIR TO ANY ADJACENT CONDITIONS WHICH ARE DAMAGED AS A RESULT OF THIS DEMOLITION SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.
- RELOCATION OF MATERIAL: RELOCATION OF ANY ITEMS INVOLVED IN THE PROJECT IS SUBJECT TO THE ABILITY, TO DO SO WITHOUT PERMANENTLY DAMAGING OR MARRING THE ITEMS TO BE RELOCATED. IF RELOCATION OF ANY ITEM IS NOT POSSIBLE AS PRESCRIBED HEREIN, NEW MATERIALS SHALL BE SUBSTITUTED TO MATCH EXISTING. SAFELY STORE MATERIAL TO BE REUSED UNTIL TIME OF INSTALLATION.
- CERTAIN ITEMS ARE TO BE RETURNED TO THE BUILDING OWNER. COORDINATE WITH THE BUILDING OWNER WHICH ITEMS ARE TO BE RETURNED AND THE LOCATION SAID ITEMS ARE TO BE STORED.
- ALL MATERIALS TO BE DISPOSED OF ARE TO BE DISPOSED OF BY THE CONTRACTOR OFF THE PROJECT SITE IN ACCORDANCE WITH LOCAL RESTRICTIONS UNLESS NOTED OTHERWISE HEREIN.
- ALL AREAS SHALL BE KEPT IN A BROOM CLEAN CONDITION AT ALL TIMES.

**ARCHITECTURE:**

- ALL DOORS TO BE REMOVED ARE TO BE PUT IN STORAGE FOR FUTURE USE BY BUILDING OWNER. BUILDING OWNER IS TO DIRECT CONTRACTOR AS TO WHERE THESE ITEMS SHOULD BE STORED.

**STRUCTURAL:**

- PROTECT ALL STRUCTURAL MEMBERS FROM DAMAGE.

**FINISHES:**

- REMOVE ALL EXISTING WALL COVERING ON PARTITIONS DESIGNATED TO REMAIN AND PATCH AND REPAIR ALL WALL SURFACES UNLESS NOTED OTHERWISE ON PLANS, SCHEDULES, OR NOTES.
- REMOVE ALL EXISTING FLOOR FINISHES AND PREPARE SLAB TO RECEIVE NEW FLOOR FINISHES UNLESS NOTED OTHERWISE ON PLANS, SCHEDULES, OR NOTES.
- PATCH AND REPAIR ALL AREAS WHERE A DEMOLISHED WALL INTERSECTS A REMAINING WALL. EITHER FINISH EXISTING WALL TO MATCH ADJACENT SURFACES, OR PREPARE WALL TO RECEIVE NEW FINISHES, AS DIRECTED BY FINISH PLANS, SCHEDULES, AND NOTES.

**ADOPTED CODES**

THIS STRUCTURE HAS BEEN DESIGNED TO MEET OR EXCEED REQUIREMENTS OF THE FOLLOWING CODE EDITIONS:

- FLORIDA BUILDING CODE - 7TH EDITION, 2020
- FLORIDA BUILDING CODE RESIDENTIAL - 7TH EDITION, 2020
- FLORIDA BUILDING CODE EXISTING BUILDING - 7TH EDITION, 2020
- FLORIDA BUILDING CODE ACCESSIBILITY - 7TH EDITION, 2020
- FLORIDA BUILDING CODE MECHANICAL - 7TH EDITION, 2020
- FLORIDA BUILDING CODE PLUMBING - 7TH EDITION, 2020
- NATIONAL ELECTRICAL CODE (NEC) - 2017
- FLORIDA FIRE PREVENTION CODE - 7TH EDITION, 2020

**SCOPE OF WORK**

DRAWINGS FOR AN EXISTING GAZEBO ENCLOSURE. ALL WORK TO COMPLY WITH OWNER REQUIREMENTS AND FLORIDA BUILDING CODE, 2020

CONSTRUCTION TYPE V-B  
RESIDENTIAL

NUMBER OF STORIES- ONE  
BUILDING HEIGHT-  
20' MAX.

**STRUCTURAL DESIGN CRITERIA**

EXPOSURE CATEGORY: B  
BASIC WIND SPEED: 140  
INTERNAL PRESSURE COEFFICIENTS:  
WIND IMPORTANCE FACTOR: 1  
BUILDING, ENCLOSED - +/- 0.18  
ROOF DESIGN WIND PRESSURE: 30 P.S.F.  
FBC, SECTION 1604.6  
ROOF LOADS:  
TOP CHORD LIVE LOAD: 20.0  
TOP CHORD DEAD LIVE LOAD: 7.0/15.0  
BOTTOM CHORD DEAD LIVE LOAD: 10.0  
ROOF LIVE LOAD EQUALS WIND LOADS, FBC 1604.6  
ROOF DEAD LOAD EQUALS WEIGHTS OF MATERIALS AND CONSTRUCTION.FBC TABLE A1 SECT. 4101.

**FLOOR**

LIVE LOAD- 40 P.S.F.  
DEAD LOAD- 20 P.S.F.  
SOIL BEARING PRESSURE = 2,000. P.S.F. MIN.

**ROOF & WIND LOADS**

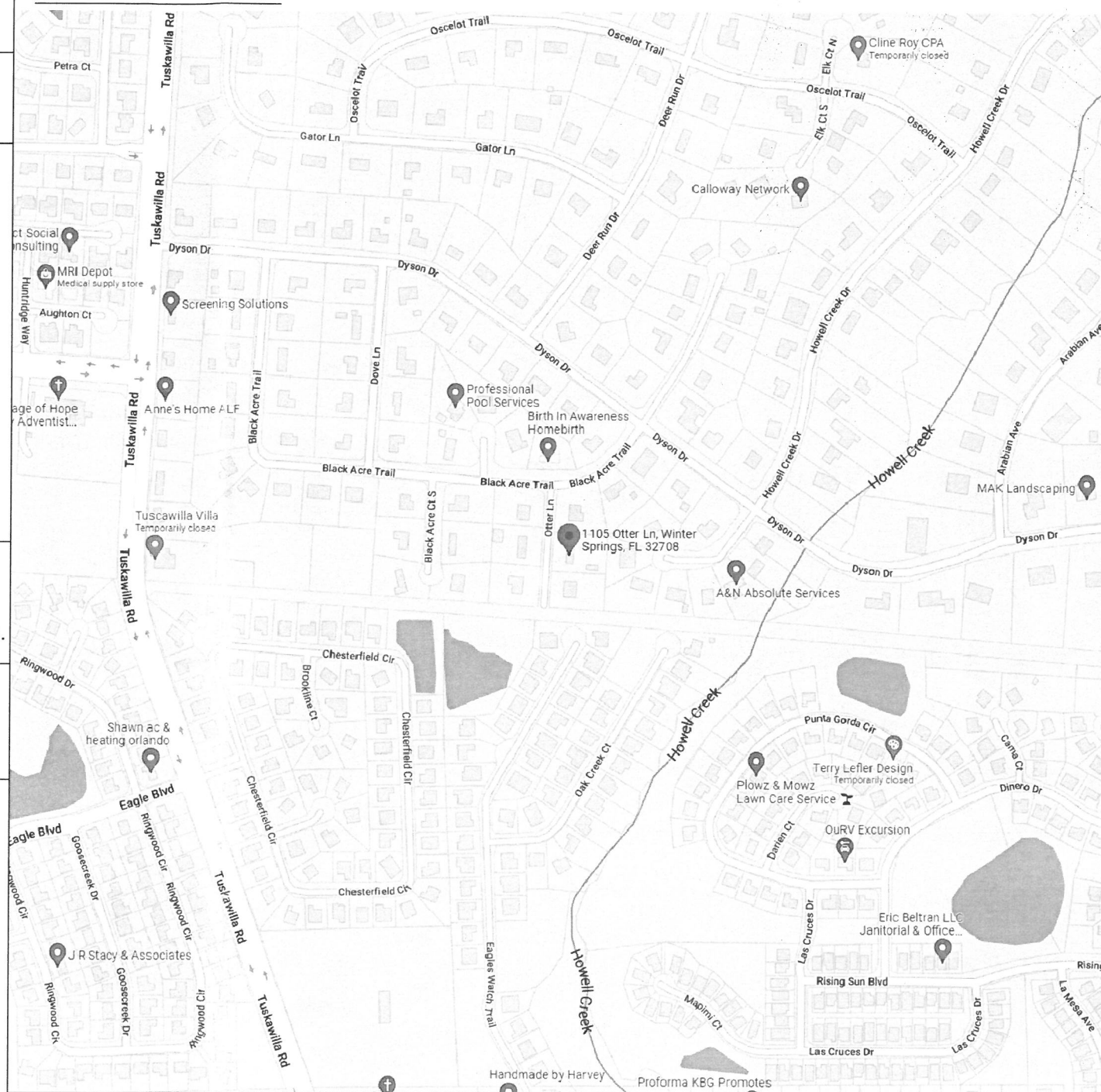
ROOF LIVE LOAD- 30 P.S.F.  
ROOF DEAD LOAD- SHINGLE: 20 P.S.F.  
TILE: 40 P.S.F.

**FLOOR LOADS:**

FLOOR LIVE LOAD EQUALS LOAD PRODUCED BY RESIDENTIAL OCCUPANCY. FBC TABLE 1604.1  
FLOOR DEAD LOAD EQUALS WEIGHTS OF MATERIALS AND CONSTRUCTION. FBC TABLE A1 SECT. A101.  
WINDOW DESIGN WIND PRESSURE:  
A. POSITIVE PRESSURE OF 22 P.S.F.  
B. NEGATIVE PRESSURE OF 30 P.S.F.  
DOOR DESIGN WIND PRESSURE:  
SLIDING GLASS DOORS: ALL SIZES  
A. POSITIVE PRESSURE OF 21 P.S.F.  
B. NEGATIVE PRESSURE OF 28 P.S.F.  
ENTRY DOORS: ALL CONFIGURATIONS  
A. POSITIVE PRESSURE OF 20 P.S.F.  
B. NEGATIVE PRESSURE OF 25 P.S.F.  
GARAGE DOORS: ALL GARAGE DOORS  
A. POSITIVE PRESSURE OF 20 P.S.F.  
B. NEGATIVE PRESSURE OF 24.5 P.S.F.

WIND IMPORTANCE FACTOR- 1.00  
BASIC WIND SPEED- 140 M.P.H.  
WIND IMPORTANCE FACTOR- 1.00  
WIND EXPOSURE- B  
APPLICABLE INTERNAL PRESSURE  
COEFFICIENT- + INCREASE + .18  
NEGATIVE INCREASE .4  
DESIGN PARAMETERS  
2-STORY MAX. HGT. - 35'-0" = 26.8 P.S.F. @ 140 M.P.H.

**LOCATION MAP**



**DRAWING INDEX**

- SHEET NO. C-S COVER SHEET
- SHEET NO. A-0 SITE PLAN
- SHEET NO. A-1 EXISTING FLOOR PLAN & ELEVATIONS
- SHEET NO. A-2 PROPOSED FLOOR PLAN
- SHEET NO. A-3 PROPOSED ELEVATIONS & SECTION
- SHEET NO. A-4 STRUCTURAL DETAILS
- SHEET NO. A-5 ELECTRICAL & MECHANICAL LAYOUT PLAN

REVISIONS	BY

  
**ACROSS STATE SERVICES, L.L.C.**  
 ENGINEERING \* INSPECTION  
 1225 BENNETT DR., SUITE 129 LONGWOOD, FL 32750  
 PHONE: (407) 221-0619  
 EMAIL: acrossstateservices@gmail.com

**DISCREPANCIES IN DRAWINGS**  
THE CONTRACTOR SHALL CHECK AT THE SITE. ALL DIAGRAMS AND DIMENSIONS SHOWN ON DRAWINGS AND SHALL IMMEDIATELY NOTIFY THE ENGINEER OF ANY DISCREPANCIES WHICH MAY APPEAR. THE CONTRACTOR SHALL NOT PROCEED WITH THE WORK AFFECTED THEREBY UNTIL THE ENGINEER HAS CORRECTED THE DISCREPANCY.

**GAZEBO ENCLOSURE**  
**KRISTAL & JAMES GOODMAN**  
 LOCATION: 1105 OTTER LN., WINTER SPRINGS, FL. 32708  
 13-21-30-502-0F00-0020  
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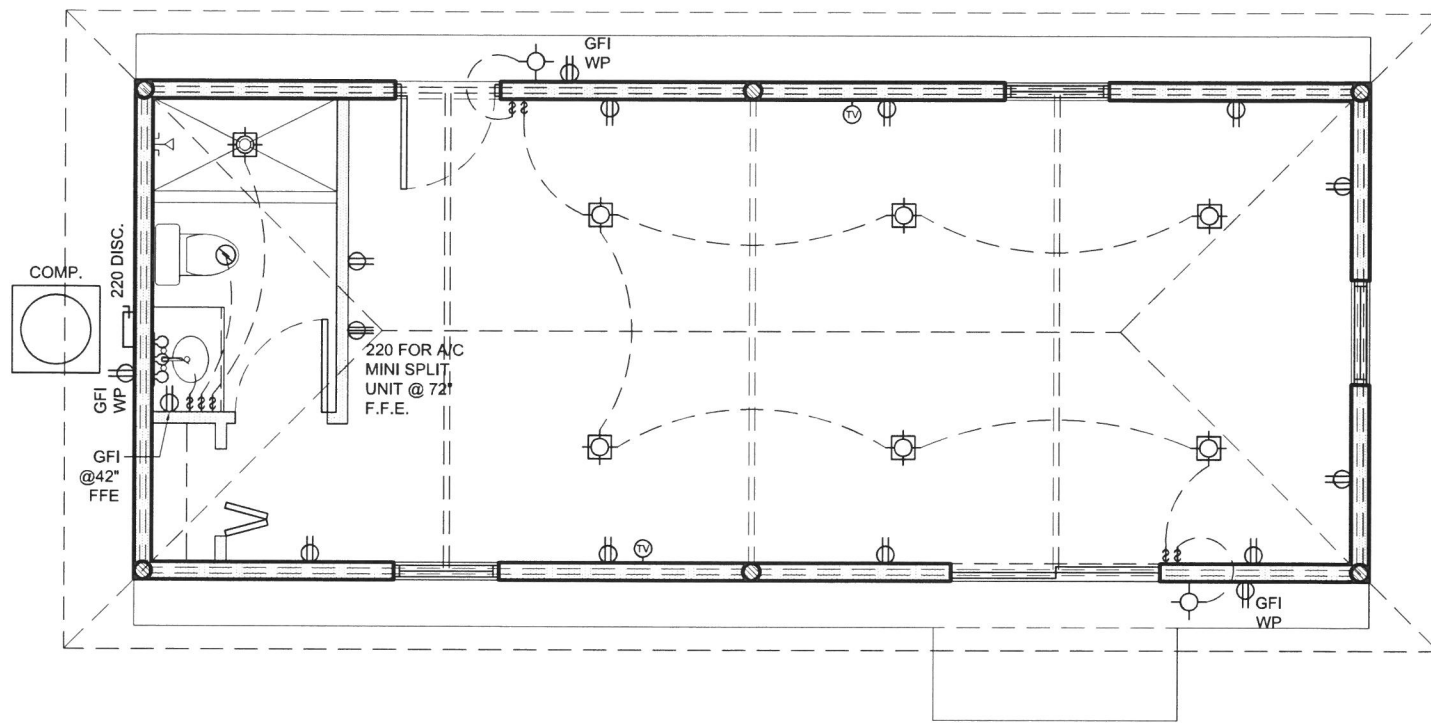
THIS STRUCTURE HAS BEEN DESIGNED TO WITHSTAND THE FORCES GENERATED BY 140 M.P.H. WINDS PLUS THREE SECOND GUST FACTOR IN COMPLIANCE WITH SECTION 1600 OF 2020 FLORIDA BUILDING CODE RESIDENTIAL, REVISIONS AND SUPPLEMENTS.

WILLIAM SANCHEZ ADORNO, PE  
 P.E. # 68868

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DATE: 09/22/22	CHECKED BY: WS
JOB #: 11-20220830-1	SCALE: AS NOTED

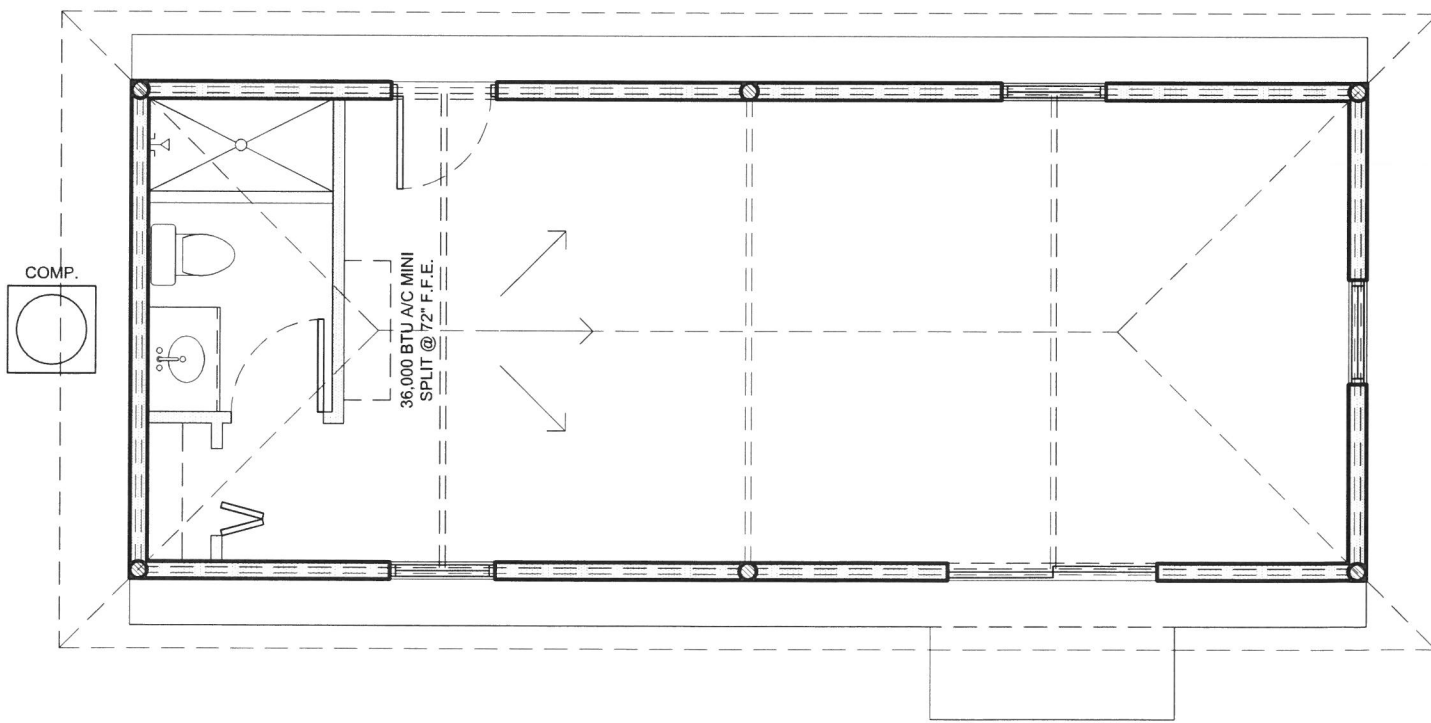
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**G-1**

APPROVAL STAMPS OF AHI



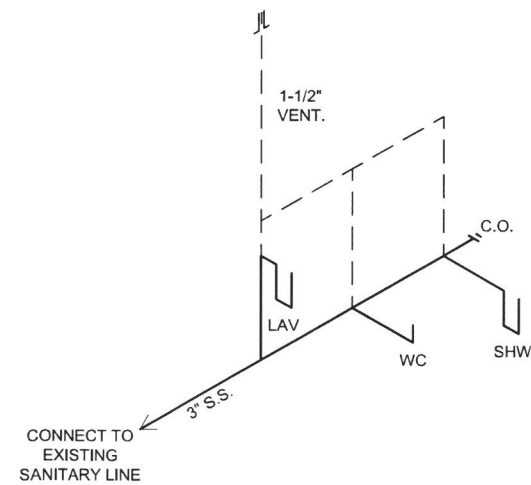
**1 ELECTRICAL LAYOUT PLAN**

A-5 SCALE : 3/16"=1'-0"  
 GENERAL ELECTRICAL NOTES:  
 CONNECT NEW ELECTRICAL FIXTURES TO EXISTING ELECTRICAL PANEL.



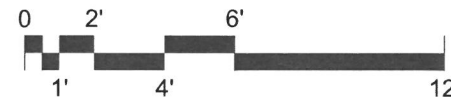
**2 MECHANICAL LAYOUT PLAN**

A-5 SCALE : 3/16"=1'-0"



**3 SANITARY ISOMETRIC**  
 A-5 NOT TO SCALE

SCALE 3/16"=1'-0"



**ELECTRICAL LEGEND**

SYMBOL	DESCRIPTION
	CEILING MOUNTED LIGHT
	RECESSED LIGHT
	WALL MOUNTED LIGHT
	PENDANTS LIGHT
	CHANDELIER
	CEILING FAN
	WALL MOUNTED MULTI-LIGHT FIXTURE
	TRACK LIGHT
	FLUORESCENT LIGHT
	SPOT LIGHT
	EXHAUST FAN
	FAN / LIGHT COMBINATION
	DOORBELL CHIME
	PUSH BOTTOM
	WALL SWITCH
	3 WAY SWITCH
	DIMMER SWITCH
	DUPLEX RECEPTACLE
	220 V RECEPTACLE
	1/2 HOT, 1/2 SWITCHED RECEPTACLE
	WEATHER PROOF RECEPTACLE
	FLOOR RECEPTACLE
	GROUND FAULT INTERRUPT
	PRE-WIRED FOR CEILING FAN
	PRE-WIRED GARAGE DOOR OPENER
	CABLE JACK
	TELEPHONE JACK
	METER
	ELECTRICAL PANEL
	DISCONNECT SWITCH
	SMOKE DETECTOR & CARBON MONOXIDE COMBO
	GARBAGE DISPOSAL MOTOR

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A-5

APPROVAL STAMPS OF AHI

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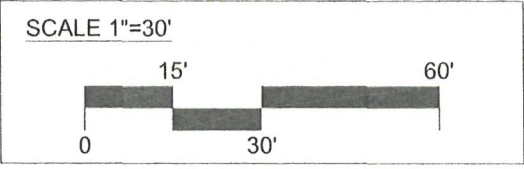
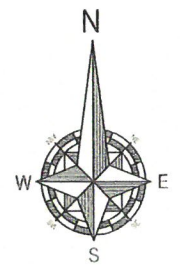
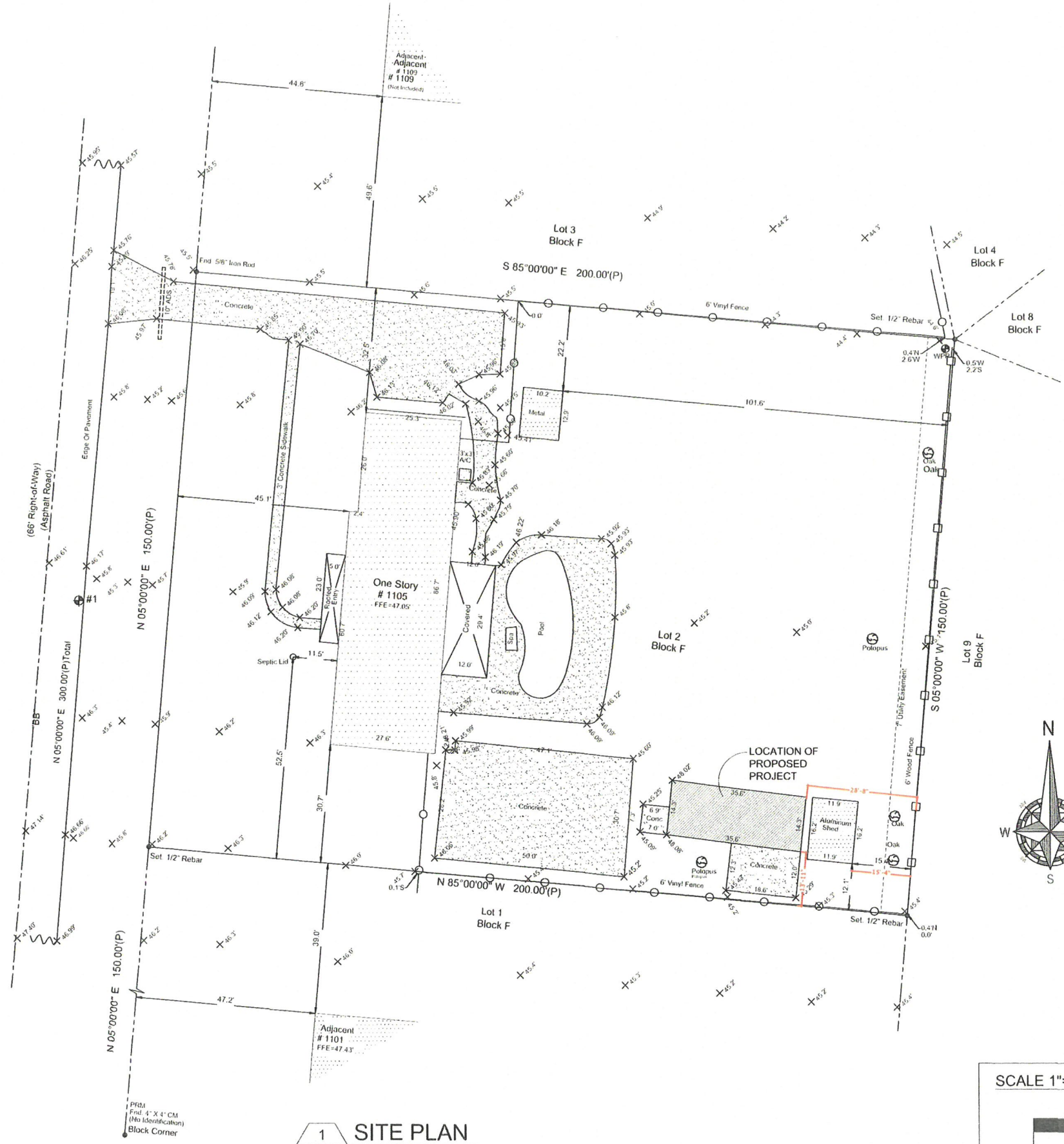
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**William Sanchez**  
 2022.10.27  
 09:12:07 -04'00  
 WILLIAM SANCHEZ ADORNO, PE  
 P.E. # 68868

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SHEET #1  
**A-0**

APPROVAL STAMPS OF ARI



**1 SITE PLAN**  
 A-0 SCALE: 1"=30'

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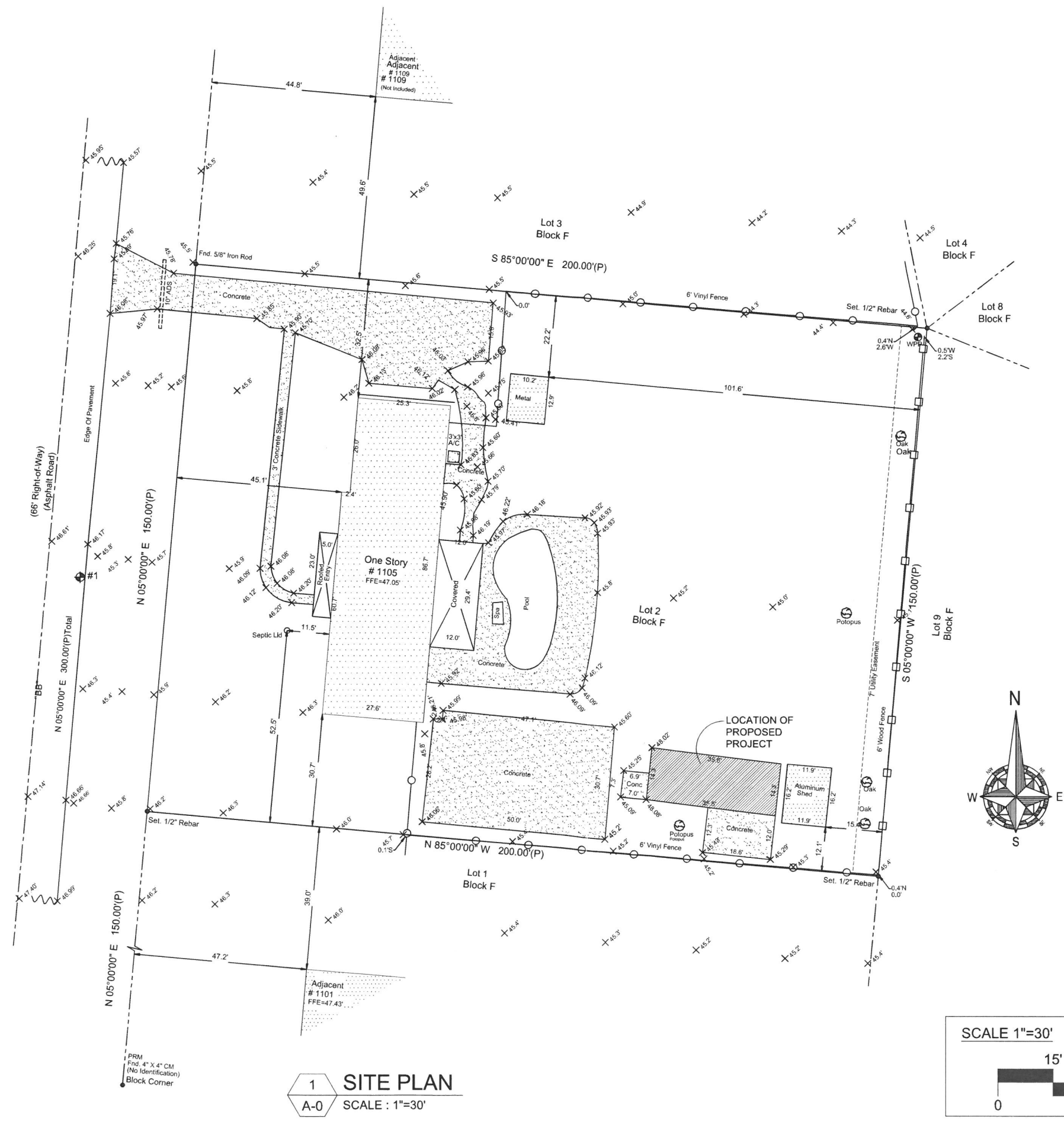
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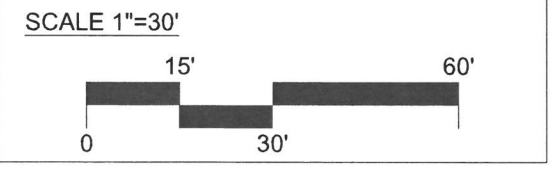
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**A-0**

APPROVAL STAMPS OF AHI



**1 SITE PLAN**  
 A-0 SCALE: 1"=30'



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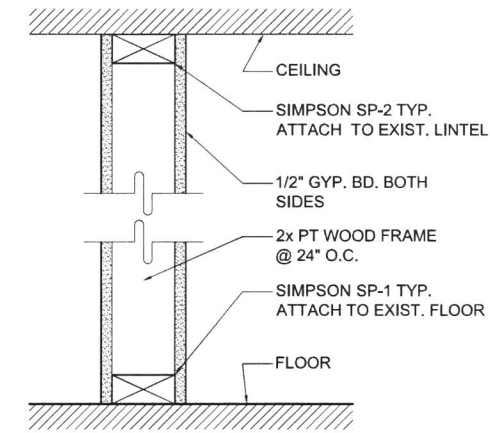
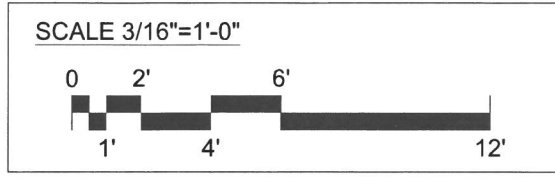
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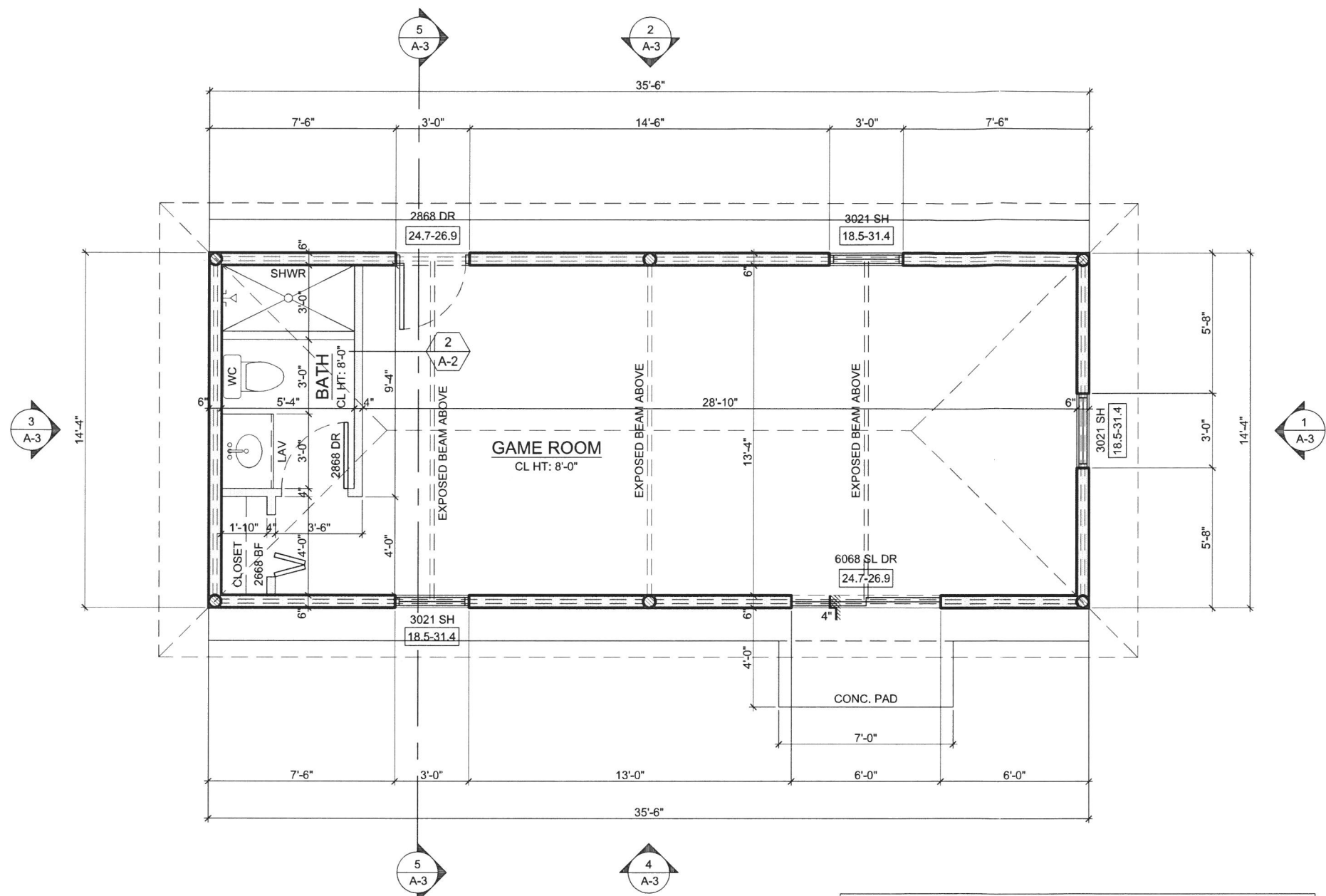
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**A-2**

APPROVAL STAMPS OF AHI



**2 INTERIOR WALL DETAIL**  
A-2 NOT TO SCALE 4-1/2" THICKNESS NON RATED PARTITION

**NOTES:**  
1. ALL TUB & SHOWER UNITS WILL HAVE ANTI-SCALDING DEVICES INSTALLED.  
2. ALL DOORS TO BE 6'-8" TALL U.N.O. OR PER BUILDER / CLIENT.  
3. MULTIPLE 2x4 STUDS NAILED TOGETHER W/ (1) 10d NAILS @ 8" O.C. EA PLY STAGGERED TYP.



**1 PROPOSED FLOOR PLAN**  
A-2 SCALE : 3/16"=1'-0"

- WOOD NOTES:**
- ALL WOOD FRAMING SHALL BE DESIGNED, DETAILED AND FABRICATED IN ACCORDANCE WITH THE PROCEDURES AND REQUIREMENTS OUTLINED IN THE LATEST EDITION OF THE NATIONAL DESIGN SPECIFICATIONS FOR WOOD CONSTRUCTION.
  - FOR STRUCTURAL LUMBER, PROVIDE THE FOLLOWING GRADE AND SPECIES (EQUIVALENT OR BETTER) U.O.N.: SOUTHERN PINE OR SPRUCE PINE FIR SURFACES DRY USED AT 19% MAX. M.C. GRADE NO. 2.
  - ALL WOOD FRAMING IN DIRECT CONTACT WITH EARTH OR CONCRETE TO BE PRESSURE TREATED. THE USE OF METAL SEAT PLATES IN LIEU OF PRESSURE TREATED WOOD IS ACCEPTABLE.
  - PROVIDE GALVANIZED METAL HANGERS AND FRAMING ANCHORS OF THE SIZE AND TYPE AS SHOWN IN THESE DOCUMENTS. CONNECT AS PER MANUFACTURER RECOMMENDATIONS. (SIMPSON STRONG TIE OR EQUIVALENT)
  - PROVIDE FRAMING MEMBERS OF SIZES AND OF SPACING SHOWN, OR IF NOT SHOWN, COMPLY WITH THE RECOMMENDATIONS OF THE FLORIDA BUILDING CODE, LATEST EDITION.
  - DO NOT SPLICE STRUCTURAL MEMBERS BETWEEN SUPPORTS.
  - PROVIDE ANCHORAGE AND NAILING FOR MEMBERS AND SHEATHING AS SHOWN IN THE DWG'S AND TO COMPLY WITH THE FLORIDA BUILDING CODE, LATEST EDITION.
  - ROOF FRAMING SHEATHING: 7/16" INCH THICK CDX, RATED "EXP. 1".

AREAS SCHEDULE	
GAME ROOM / BATH	508 SQ FT
<b>TOTAL AREA</b>	<b>508 SQ FT</b>

WINDOW SCHEDULE			
MARK	SIZE	QT.	COMMENTS
3021 SH	3'-0" x 2'-1"	3	SINGLE HUNG

DOOR SCHEDULE					
DOOR	SIZE	THKNS	MAT'L.	FRAME	COMMENTS
6068 SL DR	6'-0"x6'-8"	1 3/4"	ALUMINUM / GLASS	ALUM	SLIDING DOOR
2868 DR	2'-8"x6'-8"	1 3/4"	ALUMINUM / GLASS	ALUM	EXTERIOR DOOR
2868 DR	2'-8"x6'-8"	1 3/8"	HOLLOW CORE WOOD	WD	INTERIOR DOOR
2668 BF	2'-6"x6'-8"	-	WOOD	-	BI-FOULD DOOR

ROOM FINISH SCHEDULE				
ROOM NAME	FLOOR FINISH	WALL BASE	WALL FINISH	CEILING FINISH
GAME ROOM	CERAMIC TILE	POLISH CEMENT	EGG SHELL ENAMEL PAINT	EGG SHELL ENAMEL PAINT
BATHROOMS	CARPET	4" HIGH BASE (BY OWNER)	EGG SHELL ENAMEL PAINT	EGG SHELL ENAMEL PAINT

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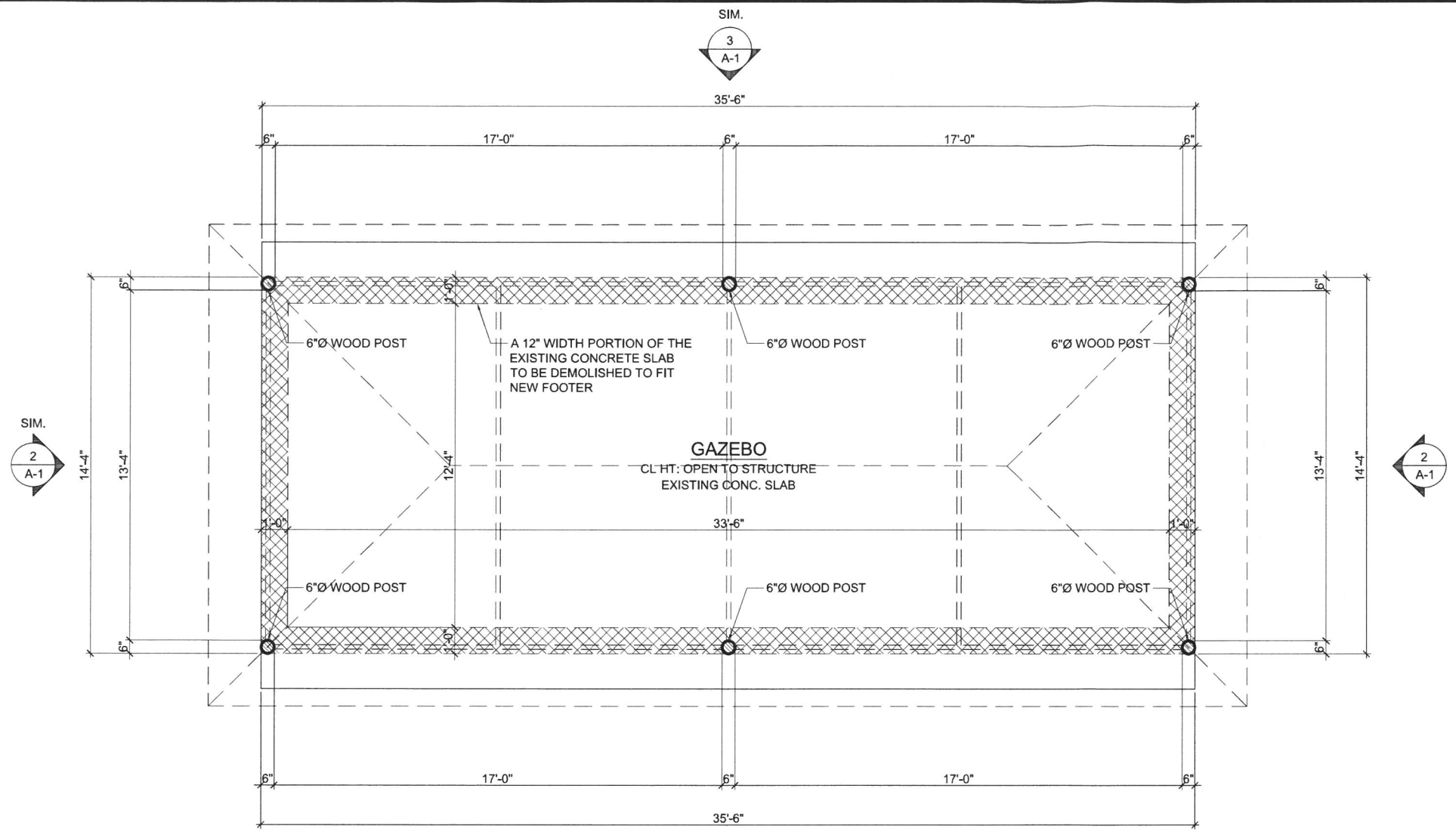
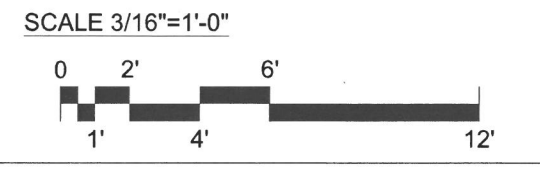
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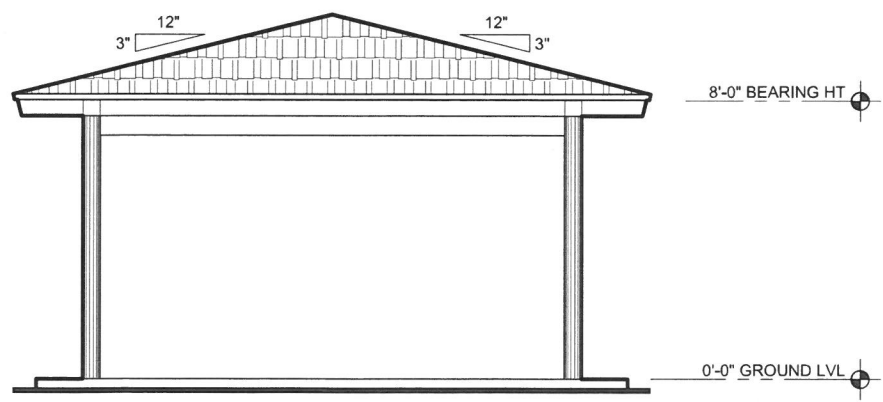
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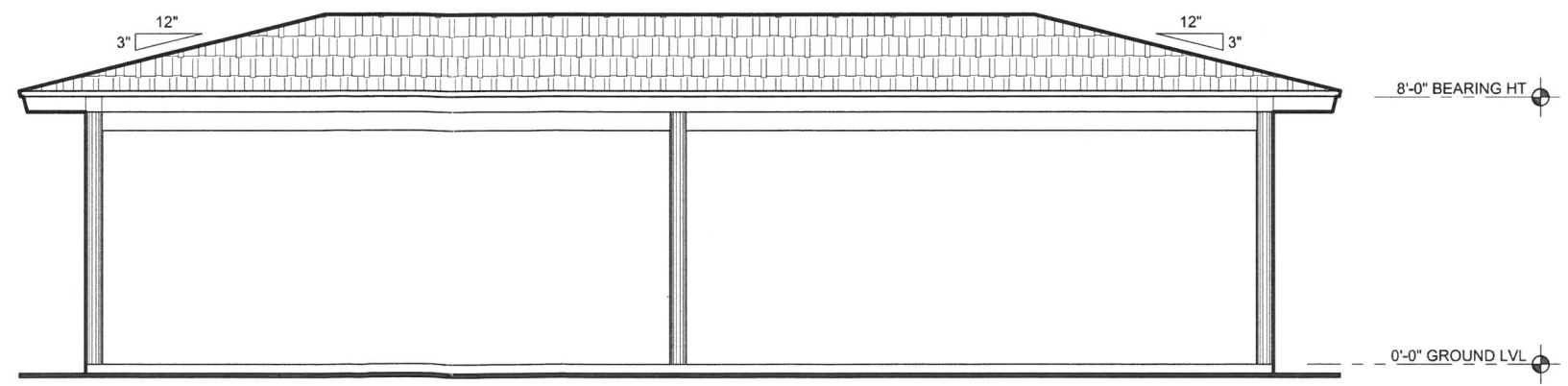
APPROVAL STAMPS OF AHI



**1 EXISTING FLOOR PLAN**  
 SCALE : 3/16"=1'-0"



**2 EXISTING FRONT / REAR ELEVATION**  
 SCALE : 3/16"=1'-0"



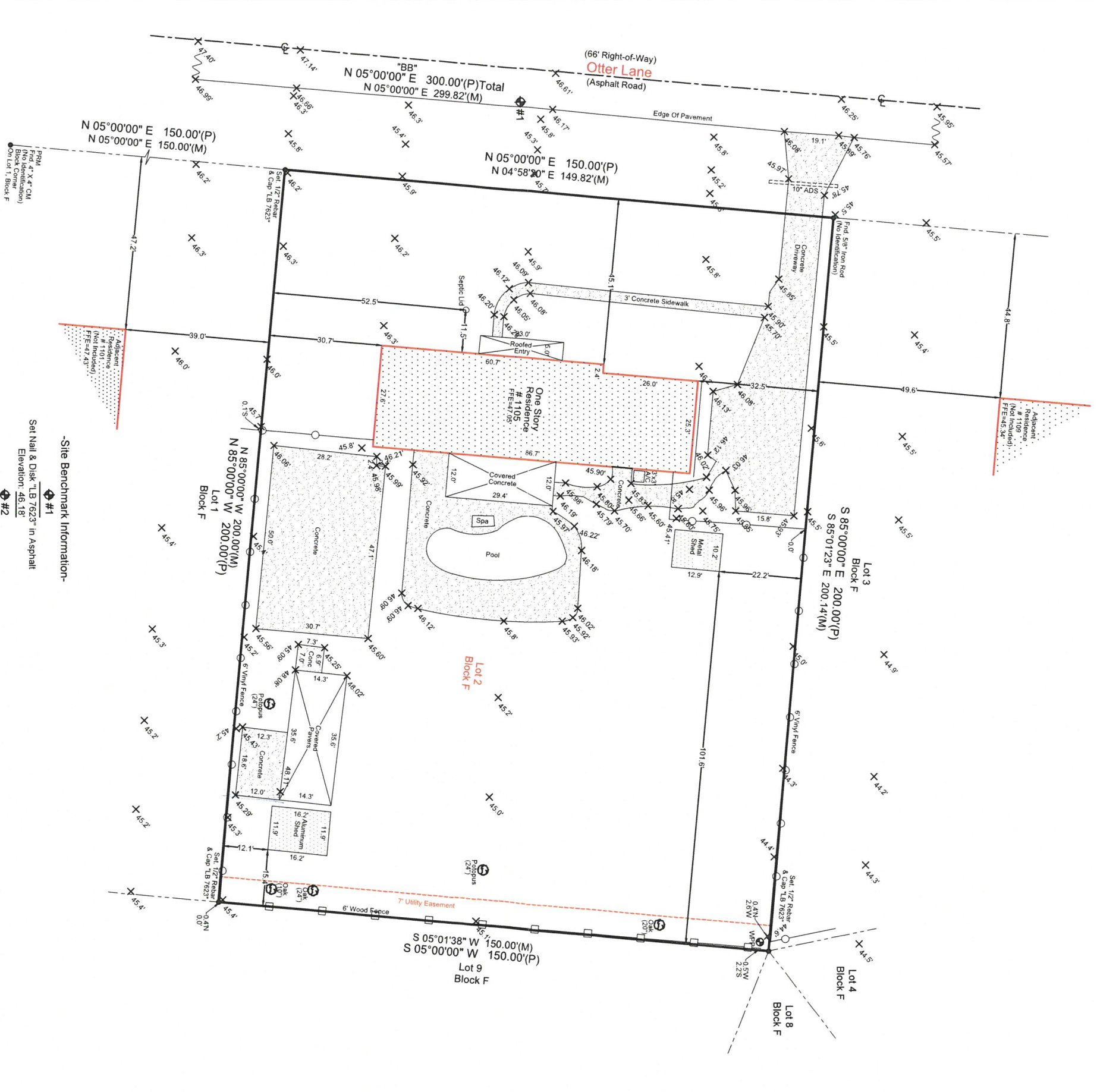
**3 EXISTING SIDE ELEVATION**  
 SCALE : 3/16"=1'-0"

# Boundary Survey

## Legal Description:

LOT 2, BLOCK F, WINTER SPRINGS, ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 15, PAGE 82, OF THE PUBLIC RECORDS OF SEMINOLE COUNTY, FLORIDA.

Flood Disclaimer:  
 BY PERFORMING A SEARCH WITH THE LOCAL GOVERNING MUNICIPALITY OR WWW.FEMA.GOV, THE PROPERTY APPEARS TO BE LOCATED IN ZONE X. THIS PROPERTY WAS FOUND IN SEMINOLE COUNTY, COMMUNITY NUMBER 120289, DATED 9/28/2007.  
 CERTIFIED TO:  
**JIMMY GOODMAN**



**-Site Benchmark Information-**  
 #1  
 Set Nail & Disk TB 7623" in Asphalt  
 Elevation: 46.18'  
 #2  
 Set Nail & Disk TB 7623" in Asphalt  
 Elevation: 49.31'

**-Benchmark Information-**  
 Florida Department of Transportation  
 (Elevations are based upon NAVD 88 Datum)

**-Notes-**  
 -Survey is Based upon the Legal Description Supplied by Client.  
 -Abutting Properties Deeds have NOT been Researched for Gaps.  
 -Subject to any Easements and/or Restrictions of Record.  
 -Bearing Based Survey Method, is Assumed and Based upon the Line Denoted with a "B" notation.  
 -Fence Ownership is NOT determined.  
 -Roof Overhang, Underground Utilities and/or Folders have NOT been located UNLESS otherwise noted.  
 -Septic Tanks and/or Drained locations are approximate and MUST be verified by appropriate Utility Location Companies.  
 -Written Consent of All Parties is Required for this Survey.  
 -ANY Rights or Benefits to Anyone Other than those Granted hereunder are NOT intended and shall be void and of no effect.  
 -Flood Zone Determination shown herein is given as a Courtesy, and is Subject to Final Approval by F.E.M.A. This Determination may be affected by Flood Factors and/or other Information NEITHER known by NOR given to the Surveying Company at the time of this Endeavor.  
 -Ireland & Associates Surveying Inc. and the signing surveyor assume NO Liability for the Accuracy of this Determination.

Ireland & Associates Surveying, Inc.  
 Patrick K. Ireland  
 Surveyor  
 License No. 1207  
 P.S.W. 6637  
 L.B. 7623  
 FOR THE FIRM

800 Currency Circle Suite 1020  
 Lake Mary, Florida 32746  
 www.Irelandsurveying.com  
 Office-407.678.3366 Fax-407.320.8165

Graphic Scale  
 Scale: 1"=30'

Field Date: 08/16/22	Date Completed: 08/17/22
Drawn By: SMT	File Number: IS-108239

Legend-	PC-
C - Calculated	Pg - Point of Curvature
CG - Centerline	Pi - Point of Intersection
CM - Concrete Block	P.O.B. - Point of Beginning
Conc. - Concrete	PP - Power Pole
D - Description	PRM - Permanent Reference Monument
DEMI - Easement	PT - Point of Tangency
F.E.M.A. - Federal Emergency Management Agency	R - Radial
FEE - Finished Floor Elevation	R&C - Rebar & Cap
FP - Found	Rec - Recovered
FR - Iron Pipe	Rid - Rooter
Langh (Arc)	S&R - Set 1/2" Rebar & Cap
N&D - Nail & Disk	Set - Typical TB 7623"
NR - Non-Radial	UE - Utility Easement
ORB - Official Records Book	WM - Water Meter
P - Plat	Δ - Delta (Central Angle)
P.B. - Wood Fence	- - Chain Link Fence

Graphic Scale  
 Scale: 1"=30'