

PM: Maya



SEMINOLE COUNTY  
PLANNING & DEVELOPMENT DIVISION  
1101 EAST FIRST STREET, ROOM 2028  
SANFORD, FLORIDA 32771  
(407) 665-7371 EPLANDESK@SEMINOLECOUNTYFL.GOV

PROJ. #: 23-80000140  
*Received & Paid:*  
*10/5/23*

**PRE-APPLICATION**

**INCOMPLETE APPLICATIONS WILL NOT BE ACCEPTED**

**APPLICATION FEE**

<input type="checkbox"/> PRE-APPLICATION	\$50.00
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**PROJECT**

PROJECT NAME: LifePoint Christian Church	
PARCEL ID #(S): 25-20-29-300-0170-0000	
TOTAL ACREAGE: 2.5	BCC DISTRICT: 4: Lockhart
ZONING: A-1	FUTURE LAND USE: LDR

**APPLICANT**

NAME: Ryan Hoffman	COMPANY: Hoffman & Adams Construction LLC	
ADDRESS: 13509 Greentree Dr		
CITY: Tampa	STATE: FL	ZIP: 33613
PHONE: 423-963-8220	EMAIL: Ryan@haconstructions.com	

**CONSULTANT**

NAME: Ryan Hoffman	COMPANY: Hoffman & Adams Construction LLC	
ADDRESS: 13509 Greentree Dr		
CITY: Tampa	STATE: FL	ZIP: 33613
PHONE: 423-963-8220	EMAIL: Ryan@haconstructions.com	

**PROPOSED DEVELOPMENT (CHECK ALL THAT APPLY)**

<input type="checkbox"/> SUBDIVISION	<input type="checkbox"/> LAND USE AMENDMENT	<input type="checkbox"/> REZONE	<input checked="" type="checkbox"/> SITE PLAN	<input checked="" type="checkbox"/> SPECIAL EXCEPTION
Description of proposed development: <u>Addition/ Remodel</u>				

**STAFF USE ONLY**

COMMENTS DUE: <u>10/13</u>	COM DOC DUE: <u>10/19</u>	DRC MEETING: <u>10/25</u>
<input type="checkbox"/> PROPERTY APPRAISER SHEET <input type="checkbox"/> PRIOR REVIEWS:		
ZONING: <u>A-1</u>	FLU: <u>LDR</u>	LOCATION: <u>on the west side of Myrtle Lake Hills Rd, north of E.E. Williamson Rd</u>
W/S: <u>Sunshine Water</u>	BCC: <u>4: Lockhart</u>	

*Agenda: 10/20*

Hoffman & Adams Construction  
Ryan Hoffman  
13509 Greentree Drive  
Tampa, FL 33613  
[Ryan@haconstructions.com](mailto:Ryan@haconstructions.com)  
423-963-8220  
10/03/2023

Seminole County Planning & Development Division  
1101 East 1st Street  
Sanford, FL 32771

Dear Sir/Madam,

RE: Request for Pre-Application Meeting - LifePoint Christian Church Renovation and Expansion Project

I hope this letter finds you well. I am writing on behalf of LifePoint Christian Church in Longwood, Florida, regarding an upcoming renovation and expansion project within our facility. We are reaching out to request a pre-application meeting with your esteemed division to discuss our plans and ensure compliance with all necessary regulations and requirements.

LifePoint Christian Church has been an integral part of the Seminole County community for many years, providing spiritual and community support to our members and neighbors. As we continue to grow and adapt to the needs of our congregation, we have identified the need to renovate and expand our church facilities to better serve our community.

The proposed project involves renovating the interior of our existing church building to create more functional spaces for worship, community gatherings, and various activities. Additionally, we plan to add additional square footage to accommodate our growing congregation and provide improved amenities.

Before proceeding further with our plans, we understand the importance of complying with all local regulations, zoning ordinances, and building codes. We wish to ensure that our project aligns with all the requirements set forth by the Seminole County Planning & Development Division. Therefore, we kindly request a pre-application meeting to discuss our project in detail, seek guidance on the permitting process, and ascertain if there are any additional requirements or considerations that we may not be aware of.

We believe that a pre-application meeting will facilitate a smoother and more efficient development process, allowing us to address any concerns or issues upfront. We are committed to working collaboratively with your division to ensure that our renovation and expansion project not only meets all regulatory standards but also enhances our church's ability to serve our community effectively.

Please let us know your availability for a pre-application meeting at your earliest convenience. We are flexible and can accommodate your schedule to ensure that the meeting is as convenient as possible for your team. You can contact me at 423-963-8220 or via email at [Ryan@haconstructions.com](mailto:Ryan@haconstructions.com) to coordinate the details of the meeting.

We appreciate your prompt attention to this matter and look forward to discussing our project with you. Thank you for your assistance in helping us make LifePoint Christian Church an even better resource for our community.

**\*\*Side note\*\***

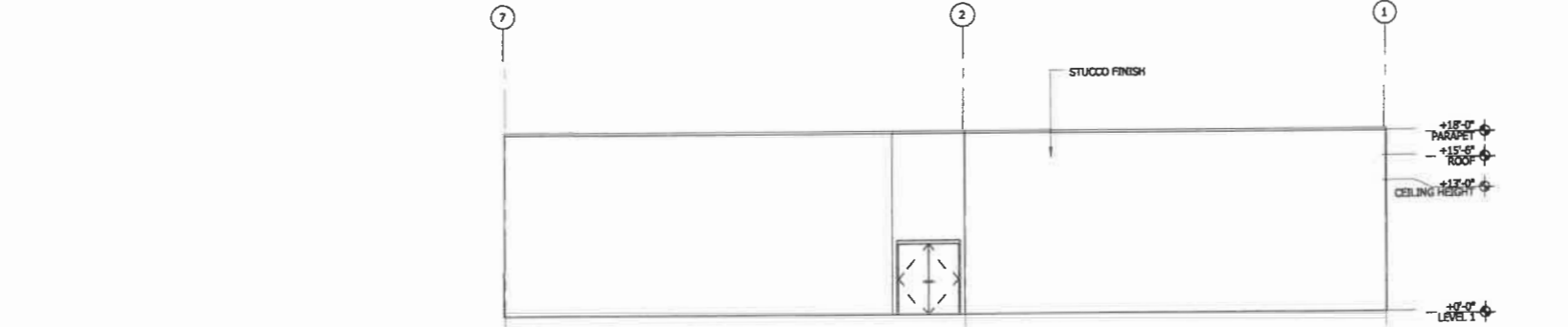
You will see a set of plans that is the existing building and another set of what we're planning.

Sincerely,

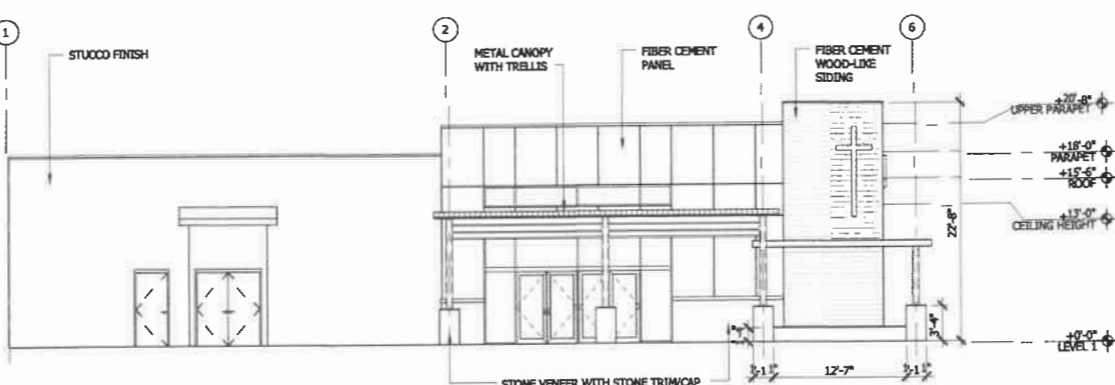
Ryan Hoffman

Hoffman & Adams Construction

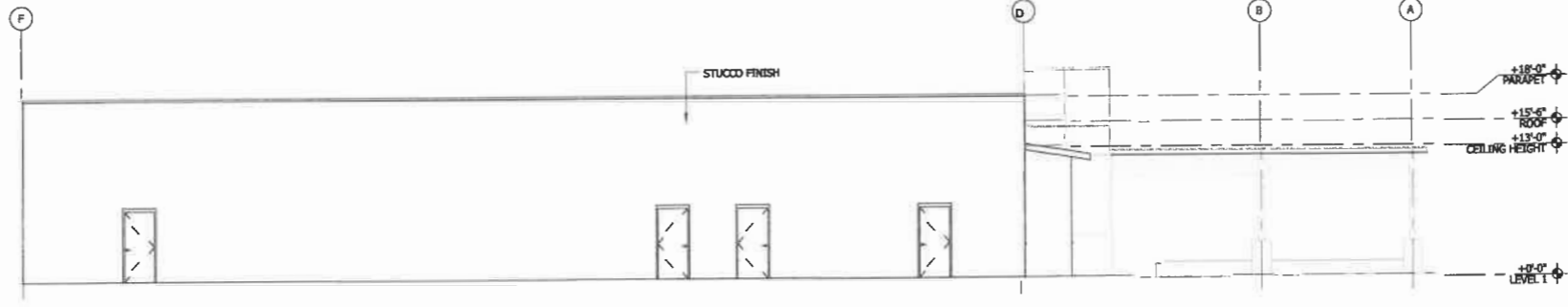
Written dimensions on these drawings shall have precedence over scaled dimensions. Contractor shall verify and be responsible for all dimensions and conditions on the job. Scott + Cormia Architecture and Interiors, LLC, must be notified immediately in writing of any variation from the dimensions and conditions shown on these drawings. Field verify all conditions prior to laying out or fabricating associated work. Bring to the architect's attention any deviation from designed conditions and field conditions prior to ordering materials and installing work, and cooperate with architect to modify such conditions at no additional cost to the owner, architect or architect's consultants. Shop details must be submitted to the architect's office and reviewed by the architect prior to ordering materials, fabrication and delivery to the job site, unless otherwise provided for under the specific contractual agreement between the architect and client. Scott + Cormia Architecture and Interiors, LLC, expressly reserves its common law copyright and other property rights in these documents. These documents are not to be reproduced, changed, or copied in any form or manner whatsoever, nor are they to be assigned to a third party without the written consent of Scott + Cormia Architecture and Interiors, LLC. The use of these documents for any purpose other than the specific project named herein is prohibited. The use of these documents for any other project, in whole or in part, is prohibited. Scott + Cormia Architecture and Interiors, LLC, is not liable for any damage or loss of any kind resulting from the use of these documents. 8/27/2023 9:35:15 AM



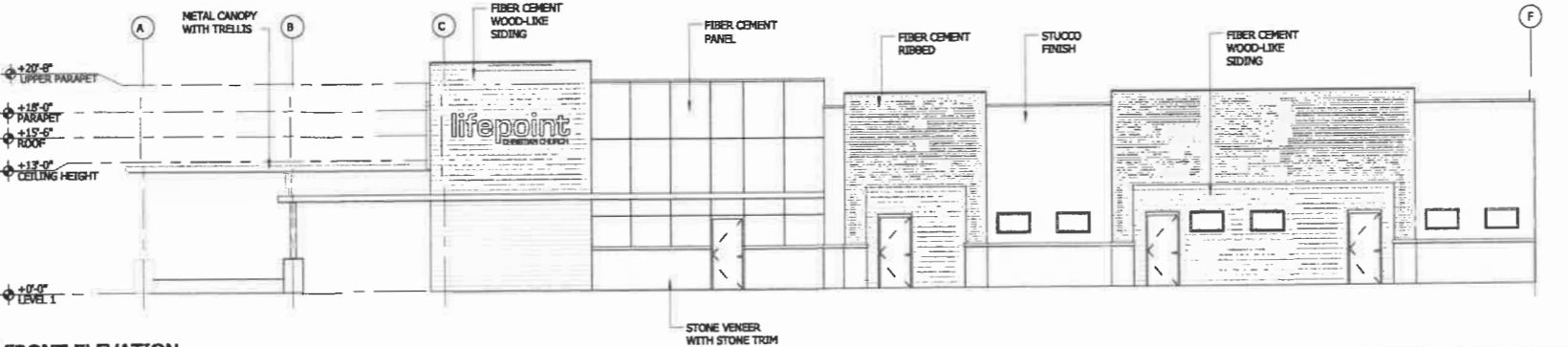
4 Elevation 3 - a  
SCALE: 1/8" = 1'-0"  
REFERENCED FROM: 1 / A101



3 Elevation 1 - a  
SCALE: 1/8" = 1'-0"  
REFERENCED FROM: 1 / A101



2 BACK ELEVATION  
SCALE: 1/8" = 1'-0"  
REFERENCED FROM: 1 / A101



1 FRONT ELEVATION  
SCALE: 1/8" = 1'-0"  
REFERENCED FROM: 1 / A101

ELEVATION NOTES

- 1 EXTERIOR PAINT TO INCLUDE M1 ADDITIVE TO PREVENT MILDEW AND FUNGUS GROWTH.
2 PAINT SHALL BE SHERWIN WILLIAMS 25 YR SUPER PAINT OR APPROVED EQ.
3 ALL METAL PAINT TO BE ENAMEL BASE.
4 GENERAL CONTRACTOR TO PROVIDE SHOP DRAWINGS FOR ALL EXTERIOR LIGHT FIXTURES FOR APPROVAL BY ARCHITECT AND OWNER, PRIOR TO PURCHASE AND INSTALLATION COMPLYING W/ APPLICABLE ADA GUIDELINES.
5 CONTRACTOR TO PAINT ALL EXPOSED PIPES, CONDUITS, DISCONNECTS & JUNCTION BOXES TO MATCH ADJACENT SURFACE.
6 CONTRACTOR TO PROVIDE FOR COMPONENTS AND CLADDING A FLORIDA PRODUCT APPROVAL OR NOTICE OF ACCEPTANCE FROM STATE OF FLORIDA AND SHOP DRAWINGS FOR APPROVAL BY ARCHITECT, ENGINEER, AND COUNTY PRIOR TO ORDERING AND CONSTRUCTION.
7 ELEVATION HEIGHTS ARE FOR REFERENCE ONLY TO THE ARCHITECTURAL DRAWINGS. SEE CIVIL FOR ACTUAL FLOOR HEIGHT ABOVE SEA LEVEL. CONTACT ARCHITECT OF RECORD IF HEIGHTS DIFFER.
8 NO SIGNAGE IS INCLUDED IN THIS PACKAGE. SIGNAGE SHOWN FOR REFERENCE ONLY. ALL SIGNS MUST BE PERMITTED SEPARATELY.
9 COLOR SAMPLES TO BE APPROVED BY OWNER BEFORE APPLICATION. IF PRINTED IN COLOR, THESE ELEVATIONS ONLY OFFER A GENERAL REPRESENTATION OF THE SELECTED COLORS. COLORS VIEWED ON A COMPUTER SCREEN AND THEN PRINTED WILL VARY AND WILL NEVER BE AN EXACT REPRESENTATION OF THE ACTUAL PIGMENT. REFER TO MANUFACTURER PROVIDED COLOR SAMPLES ONLY FOR FINAL APPROVAL.
10 WHERE COLOR IS SHOWN AS BEING SPECIFIC TO ONE MANUFACTURER, AN EQUIVALENT COLOR BY ANOTHER MANUFACTURER MAY BE SUBMITTED FOR APPROVAL. MANUFACTURERS AND MATERIALS SPECIFIED ARE NOT INTENDED TO LIMIT THE SELECTION OF EQUAL COLORS AND PERFORMANCE FROM OTHERS.
11 DO NOT TRANSITION PAINT COLORS ON AN EXTERIOR CORNER. ALL COLOR CHANGES SHOULD BE AT INTERIOR CORNERS, UNO. CONTACT ARCHITECT IF A CONFLICT OCCURS.
12 PAINT ALL EXPOSED EDGES OF TRIM, INCLUDING EDGES.
13 LOUVERS AND PANEL FRONTS SHALL BE GRAY PAINTED TO MATCH ADJACENT SURFACES, INCLUDING FACTORY FINISHED ITEMS, UNO. BRUSH PAINTING OF THESE ITEMS WILL NOT BE PERMITTED.
14 ALL EXTERIOR GLAZING TO HAVE A MAXIMUM U-FACTOR OF 0.40 AND SHGC OF 0.35.
15 REFER TO STUCCO NOTES FOR ADDITIONAL INFORMATION.

STUCCO NOTES

- 1 REFER TO ELEVATIONS FOR CONTROL JOINT LAYOUT. IF NO JOINTS ARE SHOWN, OR IF THE LAYOUT APPEARS TO BE INCOMPLETE, THE REMAINING NOTES AND CRITERIA IN THIS LIST SHALL GOVERN.
2 CONTRACTOR SHALL PROVIDE A STUCCO CONTROL JOINT LAYOUT SUBMITTAL FOR REVIEW/APPROVAL BY ARCHITECT.
3 INSTALLATION OF SYSTEM SHALL ADHERE TO STANDARDS SET BY ASTM C1063 "STANDARD SPECIFICATION FOR INSTALLATION OF LATHING AND FURRING TO RECEIVE INTERIOR AND EXTERIOR PORTLAND CEMENT-BASED PLASTER."
4 IF CONDITIONS EXIST THAT ARE NOT COVERED BY PROVIDED DETAILS, CONTRACTOR SHALL FOLLOW ACCEPTED INDUSTRY STANDARDS REFERENCED HEREIN, OR SHALL REQUEST NECESSARY INFORMATION FROM DESIGN TEAM.
5 CONTROL JOINTS SHALL BE LOCATED TO DELINEATE PLASTERWORK INTO AREAS (PANELS) OF 144 SQFT MAXIMUM FOR VERTICAL SURFACES, AND 100 SQFT MAXIMUM FOR HORIZONTAL AND OTHER NON-VERTICAL SURFACES.
6 DISTANCES BETWEEN CONTROL JOINTS SHALL NOT EXCEED 18 FEET O.C.
7 CONTROL JOINTS SHALL BE LOCATED AS REQUIRED TO DELINEATE PLASTERWORK INTO AREAS (PANELS) WITH LENGTH-TO-WIDTH RATIOS OF NOT GREATER THAN 2:1.
8 CONTROL JOINTS SHALL BE LOCATED WHERE CONTROL JOINTS OCCUR IN SURFACE OF CONSTRUCTION DIRECTLY BEHIND PLASTER.
9 CONTROL JOINTS SHALL BE LOCATED WHERE PLASTERWORK AREAS CHANGE DIMENSIONS, TO DELINEATE RECTANGULAR-SHAPED AREAS (PANELS) AND TO RELIEVE THE STRESS THAT OCCURS AT THE CORNER FORMED BY THE DIMENSION CHANGE.
10 EXPANSION JOINTS SHALL NOT BE CONCEALED WITHOUT THE INSTALLATION OF A CONTROL JOINT.
11 LATH SHALL NOT BE INSTALLED CONTINUOUS THROUGH CONTROL JOINTS BUT SHALL BE STOPPED AND TIED AT EACH SIDE.

SCOTT + CORMIA ARCHITECTURE + INTERIORS. Scott + Cormia Architecture and Interiors, LLC. 429 S. Keller Road, Suite 200, Orlando, Florida 32810. L: 407-660-2766, A: 407-675-3276.

project LIFEPOINT CHRISTIAN CHURCH. 1470 MYRTLE LAKE HILLS RD LONGWOOD, FL 32750.

NOT FOR BIDDING OR CONSTRUCTION

Table with 2 columns: #, DATE, DESCRIPTION. Header: submissions.

drawing info: PROJECT #: 22010, DRAWN BY: XXX, XXX, XXX, CHECKED BY: XXX.

sheet number: EXTERIOR ELEVATIONS. A301

Written dimensions on these drawings shall have precedence over scaled dimensions. Contractor shall verify and be responsible for all dimensions and conditions on the job. Scott + Cormia Architecture and Interiors, LLC must be notified immediately in writing of any variation from the dimensions and conditions shown on these drawings. Field verify all conditions prior to laying out or fabricating associated work. Bring to the architect's attention any deviation from designed conditions and field conditions prior to ordering materials and installing work, and cooperate with architect to modify such conditions at no additional cost to the owner, architect or architect's consultants. Shop details must be submitted to the architect's office and reviewed by the architect prior to ordering materials, fabrication and delivery to the job site, unless otherwise provided for under the specific contractual agreement between the architect and client. Scott + Cormia Architecture and Interiors, LLC expressly reserves its common law copyright and other property rights in these documents. These documents are not to be reproduced, changed, or copied in any form or manner whatsoever, nor are they to be assigned to a third party without the written permission and written consent of Scott + Cormia Architecture and Interiors, LLC. In the event of unauthorized use of these documents by a third party, the third party shall be liable for all damages, including reasonable attorney's fees and costs. Scott + Cormia Architecture and Interiors, LLC. 8/16/2023 3:57:31 PM

FLOOR PLAN NOTES

- | # | NOTE   | REV |
|---|--|-----|
| 1 | FURNITURE PROVIDED BY TENANT & SHOWN FOR REFERENCE ONLY. UNO. IT IS THE RESPONSIBILITY OF THE FURNITURE VENDOR TO FIELD VERIFY AND ASSURE THAT A MINIMUM OF 44" CLEAR AISLE ACCESS IS PROVIDED THROUGHOUT. |     |
| 2 | REFER TO SHEET A... (A22) FOR DIMENSIONED FRAMING PLAN FOR WALL TYPES AND TOP PLATE CONNECTION TYPES.  |     |
| 3 | COMMERCIAL KITCHEN EQUIPMENT SHOWN FOR REFERENCE ONLY. REFER TO SHEET SERIES... FOR DETAILS.   |     |
| 4 | BREAKROOM EQUIPMENT SHOWN FOR REFERENCE ONLY. REFER TO SHEET SERIES... FOR DETAILS.  |     |
| 5 | DASHED LINES REPRESENT ITEMS ABOVE. REFER TO REFLECTED CEILING PLAN ON SHEET A... (A111).  |     |
| 6 | REFER TO LIFE SAFETY SHEETS FOR RATED WALL LOCATION & TYPE.  |     |

WALL PHASING

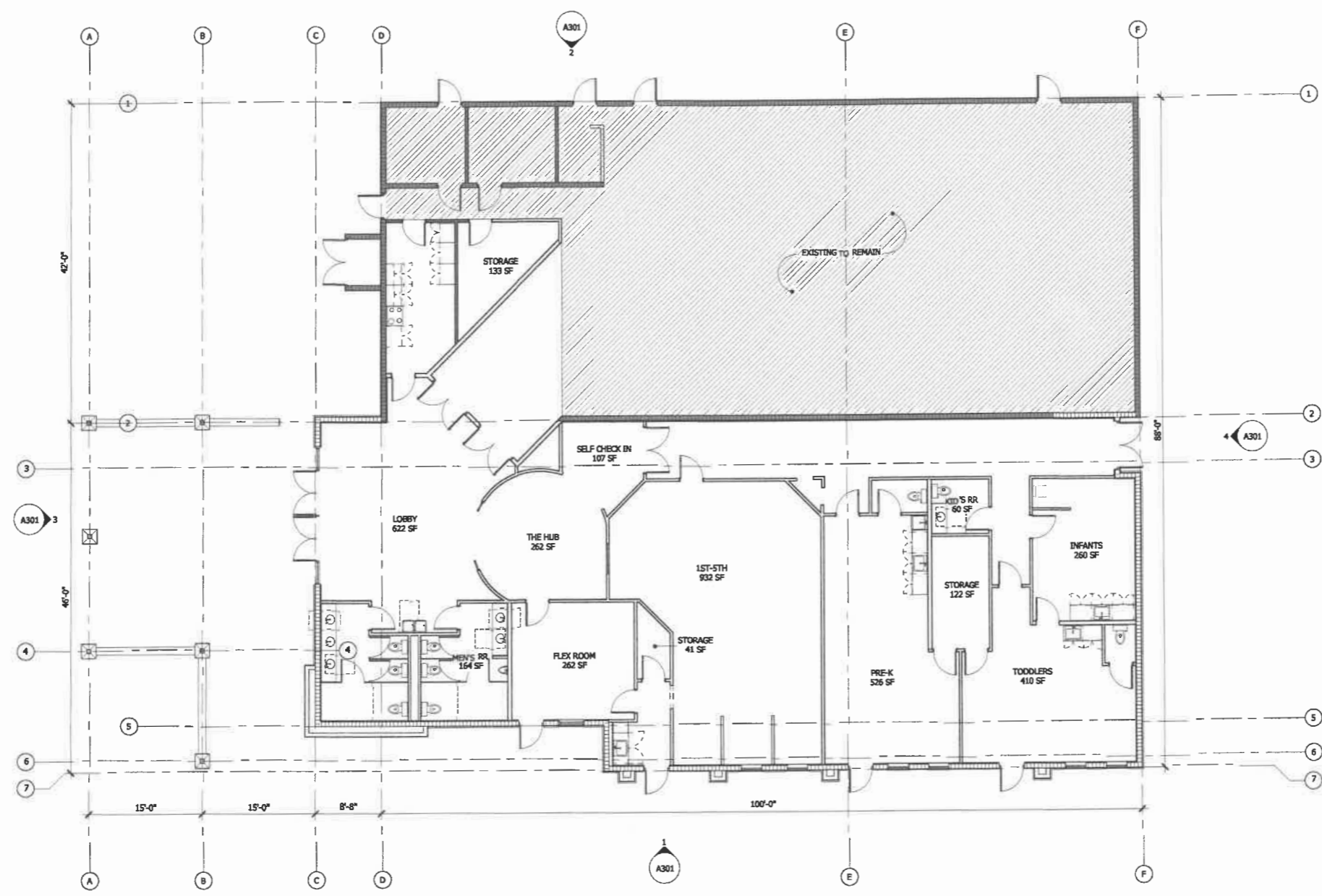
Respective to the views phase, walls are depicted as shown:

— EXISTING WALL TO REMAIN

- - - - - WALL TO BE DEMOLISHED

— NO INSULATION    — INSULATION    — NEW WALL

**SCOTT + CORMIA**  
 ARCHITECTURE + INTERIORS  
 Scott + Cormia Architecture and Interiors, LLC  
 475 S. Keller Road, Suite 200  
 Orlando, Florida 32810  
 T. 407-660-2766    AA28002980  
 F. 407-675-3276    www.scottcormia.com



1 NEW FLOOR PLAN  
 SCALE: 1/8" = 1'-0"  
 REFERENCED FROM: 1 / A301

project

**LIFEPOINT CHRISTIAN CHURCH**  
 1470 MYRTLE LAKE HILLS RD  
 LONGWOOD, FL 32750

seal

NOT FOR BIDDING OR CONSTRUCTION

To the best of the architect's or engineer's knowledge, the plans and specifications comply with the applicable minimum building codes and the applicable fire safety standards as determined by the local authority.

submissions

#	DATE	DESCRIPTION

drawing info  
 PROJECT # : 22010  
 DRAWN BY : XXX, XXX, XXX  
 CHECKED BY : XXX

sheet number  
 NEW FLOOR PLAN

TRUE NORTH

**A101**

Within dimensions on these drawings shall have precedence over scaled dimensions. Contractor shall verify and be responsible for all dimensions and conditions shown on these drawings. Field verify all dimensions and conditions before starting work and coordinate with existing conditions. Shop details must be submitted to the architect's office and reviewed by the architect prior to ordering materials, fabrication and delivery to the job site. Unless otherwise noted, all dimensions are in feet and inches. Dimensions are not to be reproduced, changed, or copied in any form or manner whatsoever, nor are they to be assigned to a third party without the written permission and written consent of Scott + Cormia Architecture and Interiors, LLC. In the event of unauthorized use of these documents by a third party, the third party shall hold Scott + Cormia Architecture and Interiors, LLC, harmless and agree to reimburse Scott + Cormia Architecture and Interiors, LLC, for each use in an amount equal to the original fee for the original documents, plus legal fees, court costs, collection fees and other costs. © 2018 SCOTTCORMIA.COM

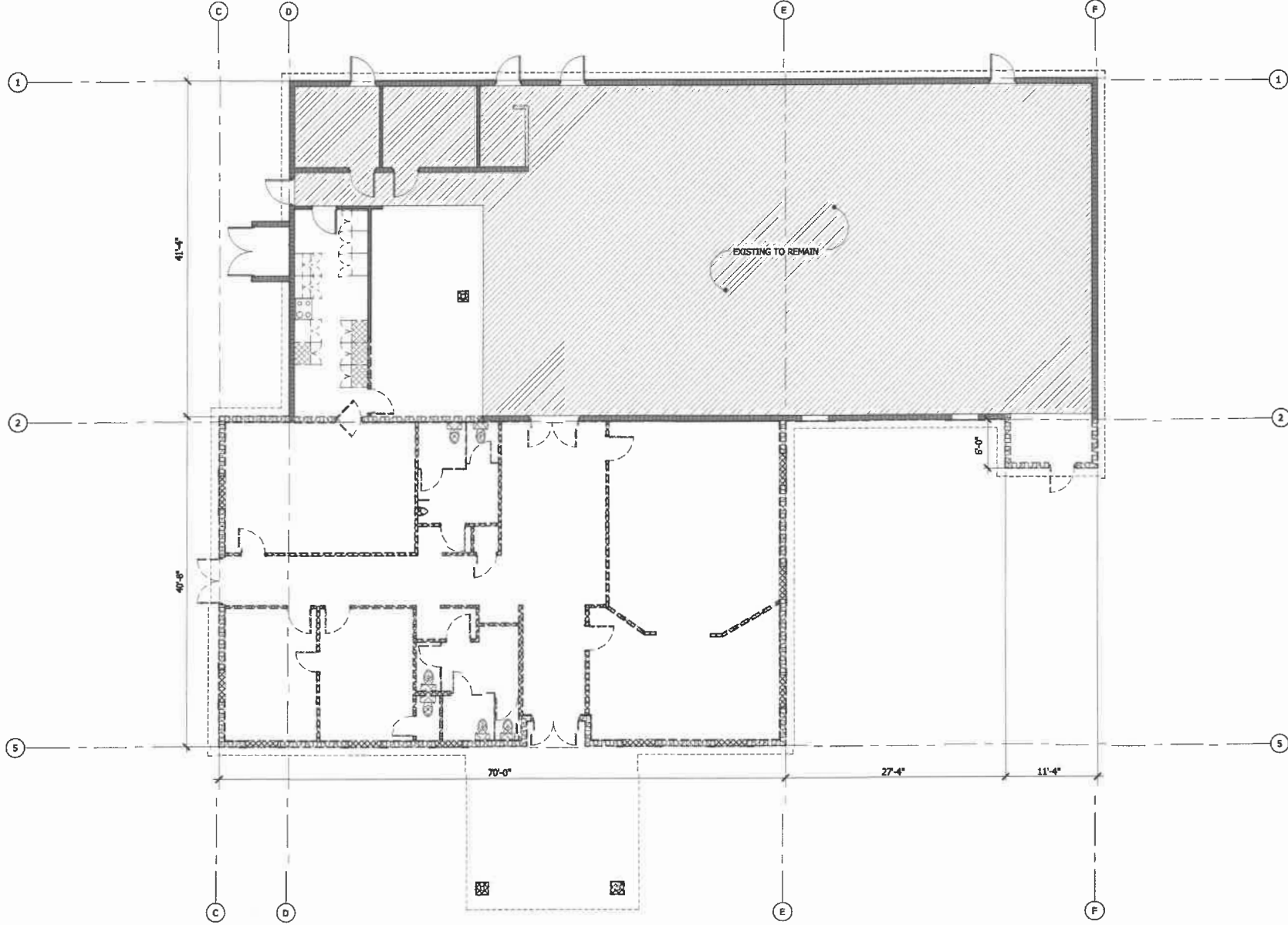
### WALL PHASING

Respective to the views phase, walls are depicted as shown:

- EXISTING WALL TO REMAIN
- WALL TO BE DEMOLISHED
- NEW WALL

### DEMOLITION NOTES

- 1 DEMOLITION WORK IS TO BE DONE IN ADHERENCE TO THE OWNER'S REQUIREMENTS FOR TIME AND DURATION OF HEAVY NOISE. CONTRACTOR TO COORDINATE WITH FACILITY ABOUT HOURS OF WORK, AND USE OF OCCUPIED SPACE.
- 2 SOME MINOR DEMOLITION IS NECESSARY FOR NEW CONSTRUCTION THAT IS NOT NOTED IN THIS PLAN.
- 3 REMOVAL PROCEDURES OF THE EXISTING FINISH CAN VARY DEPENDING ON THE CONDITION OF THE EXISTING SUBSTRATE. NOTIFY ARCHITECT & OWNER IF THERE IS ANY DETRIMENTAL CONDITION SEEN BEYOND THE SCOPE OF WORK.
- 4 CONTRACTOR TO PROTECT IN PLACE EXISTING UTILITIES OR REPAIR AS NEEDED FOR NEW CONSTRUCTION.
- 5 CONTRACTOR TO REPAIR ANY DAMAGE TO EXISTING TENANT FIRE RATED WALLS OR FIREPROOFING AS NECESSARY.
- 6 ITEMS IDENTIFIED FOR RE-USE ARE TO BE CAREFULLY REMOVED AND STORED AS DIRECTED BY THE LANDLORD. CONTRACTOR SHALL PROVIDE THE BUILDING OWNER WITH AN INVENTORY OF THESE ITEMS.
- 7 CONFIRM WIDTH & HEIGHT OF DOORS AND HARDWARE; ALERT ARCHITECT OF ANY DISCREPANCIES.
- 8 IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO PROTECT ALL EXISTING BUILDING AREAS AND FINISHES FROM DAMAGE & SHALL, AT CONTRACTOR'S EXPENSE, RESTORE TO ORIGINAL CONDITION ANY AREAS OR FINISHES DAMAGED BY THE WORK.
- 9 ELECTRICAL OUTLETS & SWITCHES THAT OCCUR IN WALLS TO BE REMOVED SHALL HAVE THE WIRING PULLED BACK TO THE J-BOX OR PANEL.
- 11 PATCH & REPAIR WALLS WHICH ARE TO REMAIN WHEN ADJACENT PERPENDICULAR WALLS ARE REMOVED.
- 12 PATCH & REPAIR EXISTING WALLS TO REMAIN WHEN MILLWORK IS REMOVED.
- 13 WHERE NEW FLOORING IS SCHEDULED, REMOVE EXISTING FLOOR FINISH AND PREPARE SURFACE FOR INSTALLATION OF NEW FLOORING. UNO. COORDINATE WITH FLOOR FINISH PLANS.
- 14 CONTRACTOR TO VERIFY EXISTING CONDITIONS AND DIMENSIONS PRIOR TO BEGINNING WORK. DIMENSIONS SHOWN ON DEMOLITION DRAWINGS ARE APPROXIMATE.
- 15 REFER TO MECHANICAL, ELECTRICAL, PLUMBING AND STRUCTURAL DRAWINGS FOR ADDITIONAL DEMOLITION INFORMATION.
- 16 AT ALL TIMES, THE CONTRACTOR SHALL KEEP ALL REQUIRED EGRESS EXIT PATHS UNOBSTRUCTED, ILLUMINATED AND PROTECTED FROM CONSTRUCTION ACTIVITY.
- 17 PROVIDE TEMPORARY DUST SECURITY WALLS TYPE AS SHOWN. REMOVE AT END OF PROJECT.
- 18 PROVIDE TEMPORARY PLASTIC DUST BARRIER HUNG FROM CEILING AS SHOWN. TAPE ALL SEAMS AND EDGES. REMOVE AT END OF PROJECT.
- 19 ALL HANGERS, STRAPS & OTHER ACCESSORY OBJECTS CONNECTED TO ITEMS BEING REMOVED SHALL BE REMOVED AS WELL.
- 20 ERECT TEMPORARY BARRIERS, CLOSURES, PARTITIONS AND CAPS ON DUCTWORK AND SEAL TIGHT TO PREVENT THE SPREAD OF DUST AND DEBRIS FROM THE AREA TO ADJACENT OR NEARBY AREAS THAT REMAIN OCCUPIED AND OPERATIONAL. TEMPORARY WALLS SHALL BE CONSTRUCTED AS NOTED ON SHEET.
- 21 SPRINKLER HEADS, SMOKE AND FIRE DETECTION EQUIPMENT MUST BE SHIELDED TO AVOID FALSE ALARMS. COORDINATE WITH FIRE PROTECTION CONTRACTOR.
- 22 CONTRACTOR SHALL REMOVE ALL WIRING, CABLE AND CONDUIT NOT IN USE IN AREAS OF WORK FROM WITHIN WALLS AND ABOVE CEILING. COORDINATE WITH BUILDING MANAGER.
- 23 ON REMAINING WALLS ADJACENT TO THOSE BEING DEMOLISHED, EXISTING BASE SHALL BE REMOVED BACK TO NEAREST INSIDE CORNER AND WALLS SHALL BE REPAIRED SO AS TO CREATE A SMOOTH SURFACE READY TO RECEIVE NEW BASE.
- 24 CONTRACTOR TO CONSTRUCT OR PROVIDE PROTECTION BARRIERS AS NEEDED FOR SAFETY AND TO CONTAIN DUST DUE TO DEMOLITION. CONTRACTOR SHALL TAKE CAREFUL MEASURES TO CONTAIN THE SPREAD OF DUST AND FUMES OUT OF THE WORK AREA THROUGH OPENINGS, DUCTWORK ETC.
- 25 REMOVE EXISTING LOUVER VENTS AND INFILL OPENING WITH 2-HOUR CMU (UL-1905). REMOVE EXISTING BLOCK SIDE WALLS SUCH THAT NEW INFILL WALL CREATES CORRECT STAGGERED VERTICAL JOINTS TO CONSTRUCT ACCEPTED FIRE RATED WALL PER I.C.C.
- 26 SEAL ALL GRILLES AND DIFFUSERS AGAINST DUST PRIOR TO BEGINNING CONSTRUCTION. REMOVE ALL SEALS AFTER WORK IS COMPLETE. VERIFY DUCTS ARE FREE OF MOLD AND DEBRIS PRIOR TO OCCUPANCY. GENERAL CONTRACTOR SHALL PERFORM NECESSARY CORRECTIVE MEASURES TO ABATE ANY DEFICIENCIES.



**1 DEMOLITION PLAN**  
 SCALE: 1/8" = 1'-0"  
 REFERENCED FROM: 1 / A301

**SCOTT + CORMIA**  
 ARCHITECTURE + INTERIORS  
 Scott + Cormia Architecture and Interiors, LLC  
 429 S. Keller Road, Suite 200  
 Orlando, Florida 32810  
 L 407-660-2766 AA26002980  
 F 407-675-3276 www.scottcormia.com

project  
**LIFEPOINT CHRISTIAN CHURCH**  
 1470 MYRTLE LAKE HILLS RD  
 LONGWOOD, FL 32750

NOT FOR  
 BIDDING OR  
 CONSTRUCTION

To the best of the architect's or engineer's knowledge, the plans and specifications comply with the applicable minimum building codes and the applicable fire safety standards as determined by the local authority.

submissions		
#	DATE	DESCRIPTION

drawing info  
 PROJECT #: 22010  
 DRAWN BY: XXX, XXX, XXX  
 CHECKED BY: XXX  
 sheet number  
 EXISTING FLOOR PLAN

TRUE NORTH  
**A100**

### SITE NOTES

#	NOTE	REV
1	THE SITE PLAN INFORMATION CONTAINED ON THIS SHEET IS PROVIDED FOR REFERENCE ONLY. REFER TO CIVIL DRAWINGS FOR DETAILED SITE INFORMATION. CIVIL DRAWINGS ARE CONTAINED IN A SEPARATE PERMIT PACKAGE.	
2	REFER TO CIVIL DRAWINGS FOR GRADING, BUILDING LOCATION AND LOCATION OF ALL UTILITIES.	
3	THIS IS NOT A SURVEY. REFER TO THE PLATTED SURVEY FOR ACCURACY.	
4	EXISTING CURBS TO REMAIN.	
5	EXISTING AISLE TO REMAIN.	
6	NO SIGNAGE IS INCLUDED IN THIS PACKAGE. SIGNAGE SHOWN FOR REFERENCE ONLY. ALL SIGNAGE MUST BE PERMITTED SEPARATELY.	

# SCOTT + CORMIA

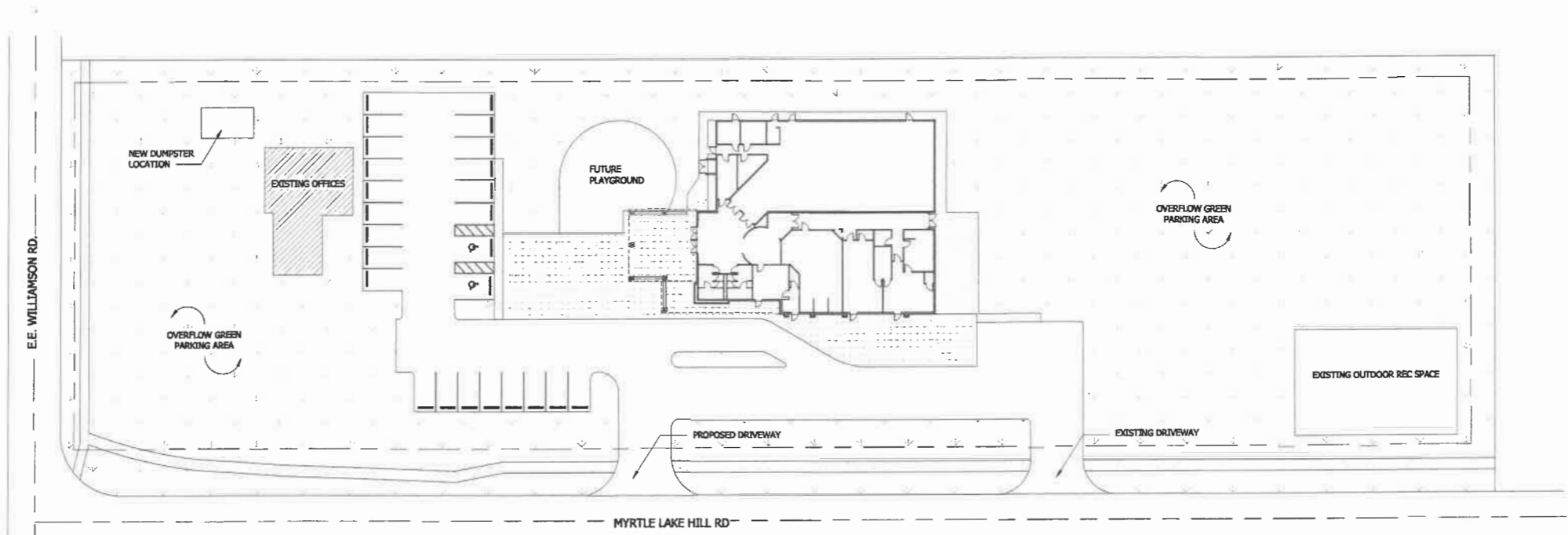
ARCHITECTURE + INTERIORS

Scott + Cormia Architecture and Interiors, LLC

429 S. Keller Road, Suite 200  
Orlando, Florida 32810

T. 407-660-2766 AA26002980  
F. 407-675-3276 www.scottcormia.com

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**1 ARCHITECTURAL SITE REFERENCE PLAN**  
SCALE: 1" = 30'-0"

project

## LIFEPOINT CHRISTIAN CHURCH

1470 MYRTLE LAKE HILLS RD  
LONGWOOD, FL 32750

scale

**NOT FOR  
BIDDING OR  
CONSTRUCTION**

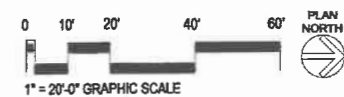
To the best of the architect's or engineer's knowledge, the plans and specifications comply with the applicable minimum building codes and the applicable fire safety standards as determined by the local authority.

submissions	
#	DESCRIPTION

**drawing info**

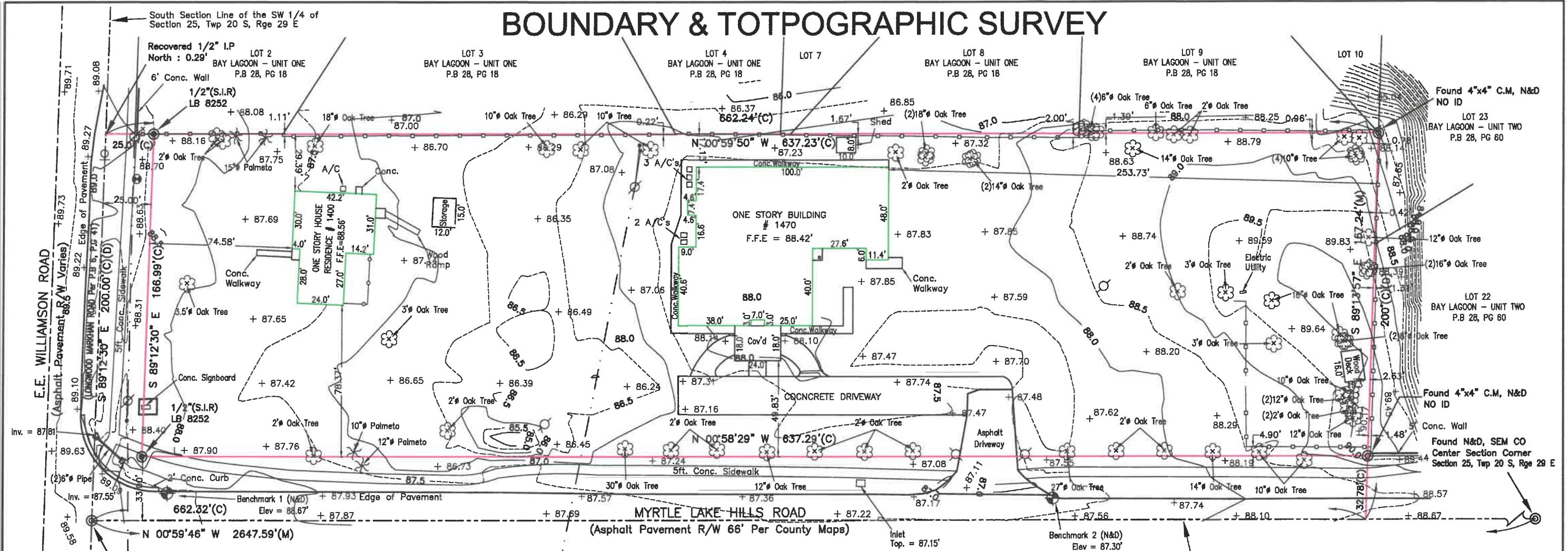
PROJECT # : 22010  
 DRAWN BY : XXX, XXX, XXX  
 CHECKED BY : XXX

**sheet number**  
SITE REFERENCE PLAN



# A011

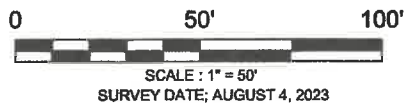
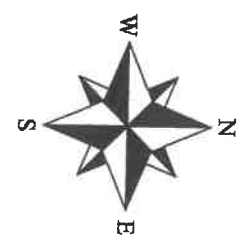
# BOUNDARY & TOPOGRAPHIC SURVEY



Found N&D, SEM CO  
South 1/4 Section Corner  
Section 25, Twp 20 S, Rge 29 E

LEGEND	
	Set Corner
	Monument found
	Benchmark
	Aluminum Lamp Pole
	Wood Power Pole
	Wood Light Pole
	Water Meter
	Wood Pole Traffic Light
	Calculated Distance
	Measured Distance
	Found Iron Rod
	Found Iron Pipe
	Set Iron Rod
	Iron Pipe
	Township
	Range
	Nail and Disk
	Concrete Monument
	Plat Book
	Pages
	Concrete Covered
	Air Conditioner
	Guy Wire
	Center Lines
	Property Line
	Wood Rail Fence
	6ft Wood Fence
	Section Lines
	Overhead Power Lines
	Index Contour elev.
	Interval Contour Elev.
	Spot Elev.

**LEGAL DESCRIPTION:**  
The East 200 feet of the Southeast 1/4 of the Southwest 1/4 of Section 25, Township 20 South, Range 29 East, (Less Road Right-of-Way), Seminole County, Florida.



**STADIA SURVEYORS & MAPPERS LLC**  
535 Stonewall Ave.  
Haines City, FL 33844  
Tel. 863-303-7296  
LB 8252

East Section Line of the SW 1/4 of Section 25, Twp 20 S, Rge 29 E

- SURVEY NOTES:**
- 1) Assumed North based on a Bearing on the EAST Section line of the SW 1/4 of Section 25, Twp 20 S, Rge 29 E, being N 00°59' 46" W, assumed.
  - 2) This Survey has been prepared without benefit of Title Abstract and is subject of any Dedications, Limitations, Restrictions, Reservations, Easements, Right Of Ways, agreements or other matters of record.
  - 3) Unless otherwise noted; Distances shown hereon refer to plat and field measurement.
  - 4) No underground utilities or underground encroachments were measured or located as part of this survey.
  - 5) Legal description provided by others.
  - 6) Only visible and above ground encroachments located.
  - 7) Examination of the abstract of title will have to be made to determine recorded instruments, if any, affecting property.
  - 8) Underground portions of footings, foundations or other Improvements were not located.
  - 9) The ownership of the fences was not determined.
  - 10) The flood data provided is for informational purposes only. The Local F.E.M.A agency should be contacted for accuracy and verification
  - 11) This survey has been prepared for the exclusive use of the person or entities named hereon.
  - 12) This map is intended to be displayed at a scale of 1" = 50' or smaller.
  - 13) Wall ties are to the face of the wall.

**SURVEYOR'S NOTES:**  
1. ELEVATIONS SHOWN HEREON ARE BASED ON THE NGS BENCHMARK PID: DM3962, WITH ELEVATION 78.35(NAVD88).

**SURVEYOR'S CERTIFICATION:** I HEREBY CERTIFY THAT THIS BOUNDARY SURVEY IS A TRUE AND CORRECT REPRESENTATION OF A SURVEY PREPARED UNDER MY DIRECTION. THIS COMPLIES WITH THE MINIMUM TECHNICAL STANDARDS, AS SET FORTH BY THE STATE OF FLORIDA BOARD OF PROFESSIONAL LAND SURVEYORS IN CHAPTER 61G17-6, FLORIDA ADMINISTRATIVE CODE PURSUANT TO 472.027, FLORIDA STATUTES.

NOT VALID WITHOUT AN AUTHENTIC ELECTRONIC SIGNATURE AND AUTHENTICATED ELECTRONIC SEAL, AND/OR THE SIGNATURE AND/OR THE ORIGINAL RAISED SEAL OF A LICENSED SURVEYOR AND MAPPER. THE SEAL APPEARING ON THIS DOCUMENT WAS AUTHORIZED BY RAFAEL ESCOBAR, P.S.M. NO. 7167 ON THE SURVEY DATE NOTED HEREON.



**Certified to;**  
OWNER: LIFEPOINT CHRISTIAN CHURCH INC

**PROPERTY INFORMATION ;**  
ADDRESS:  
1400 EE WILLIAMSON RD  
LONGWOOD, FL 32750  
OWNER: LIFEPOINT CHRISTIAN CHURCH INC  
PARCEL ID : 25-20-29-300-0170-0000  
AREA = 2.44 ACRES  
FEMA FIRM ;  
Flood Zone: X  
Base Flood Elevation: N/A  
Map #: 12117C0155F  
Effective Date: 9/28/2007

PROJECT NO. : 23 - 238  
PAGE 1 OF 1

SIGNED  
RAFAEL ESCOBAR  
PSM # 7167  
AUGUST 8, 2023



# Property Record Card

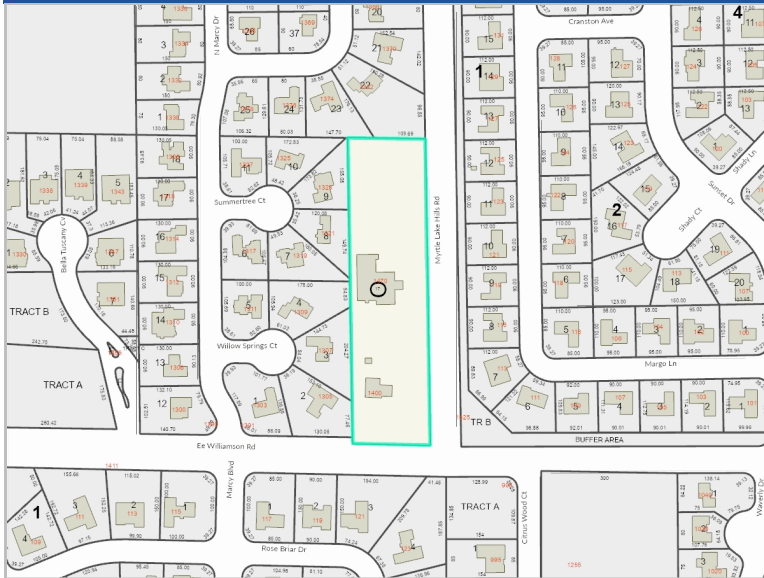


**Parcel** 25-20-29-300-0170-0000

**Property Address** 1400 EE WILLIAMSON RD LONGWOOD, FL 32750

## Parcel Location

## Site View



25202930001700000 12/05/2021

## Parcel Information

## Value Summary

<b>Parcel</b>	25-20-29-300-0170-0000
<b>Owner(s)</b>	LIFEPOINT CHRISTIAN CHURCH INC
<b>Property Address</b>	1400 EE WILLIAMSON RD LONGWOOD, FL 32750
<b>Mailing</b>	1400 EE WILLIAMSON RD LONGWOOD, FL 32750-7132
<b>Subdivision Name</b>	
<b>Tax District</b>	01-COUNTY-TX DIST 1
<b>DOR Use Code</b>	71-CHURCHES
<b>Exemptions</b>	36-CHURCH/RELIGIOUS(2014)
<b>AG Classification</b>	No

	2023 Working Values	2022 Certified Values
<b>Valuation Method</b>	Cost/Market	Cost/Market
<b>Number of Buildings</b>	2	2
<b>Depreciated Bldg Value</b>	\$624,435	\$611,596
<b>Depreciated EXFT Value</b>	\$7,337	\$7,069
<b>Land Value (Market)</b>	\$178,744	\$167,050
<b>Land Value Ag</b>		
<b>Just/Market Value</b>	\$810,516	\$785,715
<b>Portability Adj</b>		
<b>Save Our Homes Adj</b>	\$0	\$0
<b>Amendment 1 Adj</b>	\$0	\$17,753
<b>P&amp;G Adj</b>	\$0	\$0
<b>Assessed Value</b>	\$810,516	\$767,962

## 2022 Certified Tax Summary

**2022 Tax Amount without Exemptions** \$10,456.30 **2022 Tax Savings with Exemptions** \$10,456.30  
**2022 Tax Bill Amount** \$0.00

\* Does NOT INCLUDE Non Ad Valorem Assessments

## Legal Description

SEC 25 TWP 20S RGE 29E  
 E 200 FT OF SE 1/4 OF SE  
 1/4 OF SW 1/4 (LESS RD)

## Taxes

Taxing Authority	Assessment Value	Exempt Values	Taxable Value
ROAD DISTRICT	\$810,516	\$810,516	\$0
SJWM(Saint Johns Water Management)	\$810,516	\$810,516	\$0
FIRE	\$810,516	\$810,516	\$0
COUNTY GENERAL FUND	\$810,516	\$810,516	\$0
Schools	\$810,516	\$810,516	\$0

## Sales

Description	Date	Book	Page	Amount	Qualified	Vac/Imp
CORRECTIVE DEED	02/01/2013	07981	1645	\$100	No	Improved
WARRANTY DEED	02/01/2013	07979	0641	\$810,000	No	Improved
WARRANTY DEED	03/01/2009	07153	1705	\$202,600	No	Improved
WARRANTY DEED	01/01/1975	01045	0866	\$37,500	Yes	Improved

## Land

Method	Frontage	Depth	Units	Units Price	Land Value
ACREAGE			2.57	\$69,550.00	\$178,744

## Building Information

#	Description	Year Built**	Bed	Bath	Fixtures	Base Area	Total SF	Living SF	Ext Wall	Adj Value	Repl Value	Appendages	Area								
1	SINGLE FAMILY	1964	3	1.5	5	1,512	2,150	1,946	CONC BLOCK	\$81,720	\$136,200	<table border="1"> <thead> <tr> <th>Description</th> <th>Area</th> </tr> </thead> <tbody> <tr> <td>BASE</td> <td>434.00</td> </tr> <tr> <td>OPEN PORCH FINISHED</td> <td>24.00</td> </tr> <tr> <td>DETACHED UTILITY UNFINISHED</td> <td>180.00</td> </tr> </tbody> </table>	Description	Area	BASE	434.00	OPEN PORCH FINISHED	24.00	DETACHED UTILITY UNFINISHED	180.00	
Description	Area																				
BASE	434.00																				
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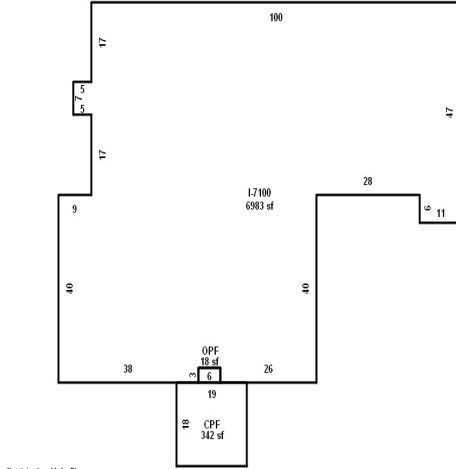


Sketch by Apex Media\*\*

Building 1 - Page 1

\*\* Year Built (Actual / Effective)

#	Description	Year Built Actual/Effective	Stories	Total SF	Ext Wall	Adj Value	Repl Value	Appendages						
2	MASONRY PILASTER .	1977/1994	1	6983.00	CONCRETE BLOCK-STUCCO - MASONRY	\$542,715	\$792,285	<table border="1"> <thead> <tr> <th>Description</th> <th>Area</th> </tr> </thead> <tbody> <tr> <td>OPEN PORCH FINISHED</td> <td>18.00</td> </tr> <tr> <td>CARPORT FINISHED</td> <td>342.00</td> </tr> </tbody> </table>	Description	Area	OPEN PORCH FINISHED	18.00	CARPORT FINISHED	342.00
Description	Area													
OPEN PORCH FINISHED	18.00													
CARPORT FINISHED	342.00													



Sketch by Apex Media™

Building 2 - Page 1

## Permits

Permit #	Description	Agency	Amount	CO Date	Permit Date
00127	GREATROOM/UTILITY/STUDY/BATH	County	\$25,404	9/10/1997	1/1/1997
08108	PRIVACY FENCE 6' & 8' HIGH	County	\$1,200		9/1/1999
09820	MISC ELECTRIC WIRING	County	\$600		11/1/1999
20892	GROUND SIGN; PAD PER PERMIT 1440 MYRTLE LAKE HILLS RD	County	\$500		12/15/2005
10083	REROOF	County	\$6,500		9/10/2007
04609	MECHANICAL	County	\$4,200		6/10/2010
09277	ELECTRICAL	County	\$1,000		9/17/2014
06145	ADD CLASSROOM, OFFICE TO CHURCH	County	\$198,464	7/7/1995	9/1/1994
08125	REROOF	County	\$21,000		6/14/2017
19567	1400 EE WILLIAMSON RD: MECHANICAL - COMMERCIAL-	County	\$23,600		11/30/2022

## Extra Features

Description	Year Built	Units	Value	New Cost
CONC UTILITY BLDG	06/01/1964	180	\$1,008	\$2,520
COMMERCIAL CONCRETE DR 4 IN	04/01/1994	3,878	\$6,329	\$15,822

## Zoning

Zoning	Zoning Description	Future Land Use	Future Land Use Description
A-1	Low Density Residential	LDR	Agricultural-1Ac

## Utility Information

Fire Station	Power	Phone(Analog)	Water Provider	Sewer Provider	Garbage Pickup	Recycle	Yard Waste	Hauler
15.00	DUKE	CENTURY LINK	SUNSHINE WATER SERVICES	SUNSHINE WATER SERVICES	NA	NA	NA	NA

## Political Representation

Commissioner	US Congress	State House	State Senate	Voting Precinct
Dist 4 - Amy Lockhart	Dist 7 - Cory Mills	Dist 36 - RACHEL PLAKON	Dist 10 - Jason Brodeur	24

## School Information

Elementary School District	Middle School District	High School District
Woodlands	Rock Lake	Lake Mary



\*

10/03/23 SEMINOLE COUNTY GOVERNMENT - PROJECT FEES RECEIPT14:42:54

PROJ # 23-80000140

RECEIPT # 0290368

OWNER:

JOB ADDRESS:

LOT #:

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PRE APPLICATION	50.00	50.00	.00
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TOTAL FEES DUE.....:	<u>50.00</u>
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AMOUNT RECEIVED.....:	<u>50.00</u>
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\* DEPOSITS NON-REFUNDABLE \*

\*\* THERE IS A PROCESSING FEE RETAINAGE FOR ALL REFUNDS \*\*

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COLLECTED BY: DRHR01	BALANCE DUE.....:	.00
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CHECK NUMBER.....: 000000000198

CASH/CHECK AMOUNTS...: 50.00

COLLECTED FROM: RYAN HOFFMAN

DISTRIBUTION.....: 1 - COUNTY 2 - CUSTOMER 3 - 4 - FINANCE