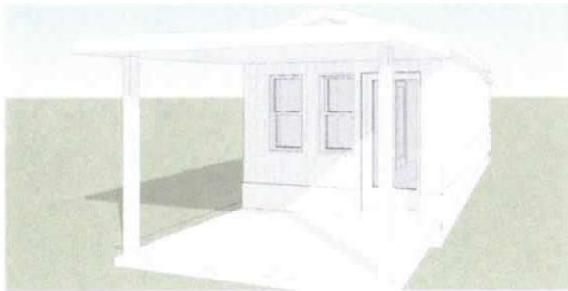


AS BUILT SET SHED STORAGE AS BUILT

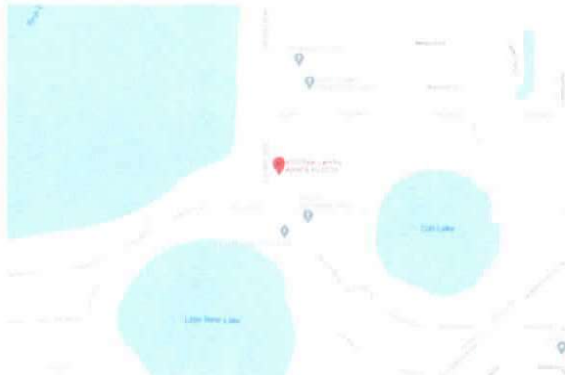
9709 Bear Lake Rd
Apopka, FL 32703



SCOPE OF WORK

To record an existing shed construction in concordance to the provisions of the FBC 2020, 7th Edition and relevant laws:
- Provide As Built plans of a Existing Shed Storage shown on plans.

PARCEL ID: 17-21-29-5BG-0000-079C



PROPOSED SITE PLAN



LOCATION PROJECT

NOT TO SCALE

INDEX OF DRAWINGS		
PAGE #	DESCRIPTION	# OF PAGES
A.0	COVER SHEET	1
A.1	PROPOSED SITE PLAN	1
A.2	SHED STORAGE AS BUILT	1

WIND LOADS

1. BASIC WIND SPEED - 140 MPH (@ 3 SEC GUST)
2. RISK CATEGORY II
3. WIND EXPOSURE - CATEGORY C
4. INTERNAL PRESSURE COEFFICIENT +/- 0.18
5. COMPONENT/CLADDING DESIGN WIND PRESSURE +/- 47.7-51.6 (FOR DOORS, WINDOWS, & TRANSOMS) U.N.O.
(INTERNAL PRESSURE COEFFICIENT +/- 0.18 INCLUDED)

APPLICABLE CODES: INCLUDING ALL REVISIONS

- FLORIDA BUILDING CODE 2020, 7TH EDITION
- FLORIDA BUILDING CODE 2020, 7TH EDITION
- ELECTRICAL CODE, NEC 2017
- FLORIDA BUILDING CODE, PLUMBING 2020, 7TH EDITION
- FIRE CODE, NFPA 70
- LIFE SAFETY CODE, NFPA 101
- ACCESSIBILITY CODE, FLORIDA BUILDING CODE, BUILDING 2020
- ENERGY CODE, FLORIDA BUILDING CODE, BUILDING 2020

BUILDING OCCUPANCY CLASSIFICATION:

TOTAL NON A/C UNCOVERED STORAGE SQ. FT. **240.00 SF**

METHOD OF DESIGN

THIS STRUCTURE HAS BEEN DESIGNED TO MEET ALL LOAD REQUIREMENTS OF THE 2020 FBC 7th EDITION- RESIDENTIAL BUILDING

- | | |
|---|---|
| ☐ GROUP A - ASSEMBLY | ☐ GROUP H - HAZARDOUS |
| ☐ GROUP B - BUSINESS | ☐ GROUP I - INSTITUTIONAL |
| ☐ GROUP D - DAY CARE CENTER | ☐ GROUP M - MERCANTILE |
| ☐ GROUP E - EDUCATIONAL | ☒ GROUP R - RESIDENTIAL |
| ☐ GROUP F - FACTORY/INDUSTRIAL | ☐ GROUP S - STORAGE |

BUILDING CONSTRUCTION TYPE:

- ☐ TYPE I ☐ TYPE II ☐ TYPE III-B ☐ TYPE IV ☒ TYPE V

PRODUCT CONTROL APPROVAL

PRODUCT CONTROL APPROVAL FOR PERMITS SHALL BE REQUIRED FOR THE FOLLOWING ITEMS:

- ☒ Windows ☒ Doors ☒ Roof

THIS STRUCTURE HAS BEEN DESIGNED IN ACCORDANCE WITH, AND MEETS THE REQUIREMENTS OF SECTION 1907 AND ALL APPLICABLE STRUCTURAL SECTIONS OF THE FLORIDA BUILDING CODE, 2020 EDITION 7TH EDITION

The user has been informed of the requirements of the Florida Building Code, 2020 Edition 7th Edition, and the user has been advised of the consequences of non-compliance with the code requirements.



MARIA BONELLA

9709 Bear Lake Rd
Apopka, FL 32703

PROJECT

Project Name
SHED STORAGE AS BUILT
9709 Bear Lake Rd
Apopka, FL 32703

REVISIONS

#	Date	Description
1	08/01/2024	Initial Design

JOB NUMBER: 2024-001

DRAWN BY: OBA

CHECKED BY: JC

DATE: 07/18/2024

PROFESSIONAL SEAL



José A. Campuzano, P.E.
License # 77575

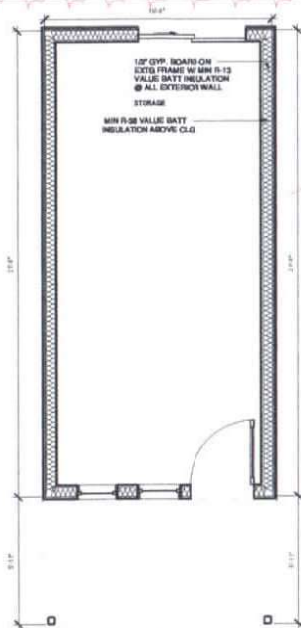
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COVER SHEET

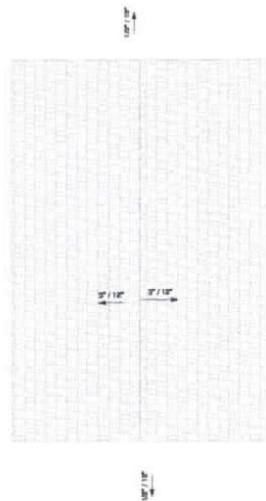
DRAWING No.

A.0

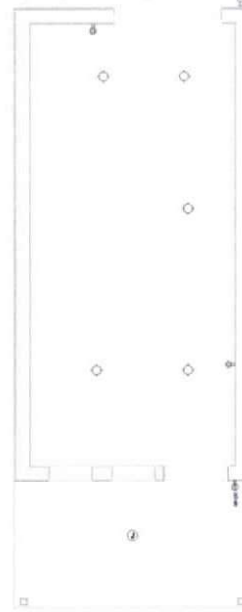
10/20/2024 10:17:01 PM



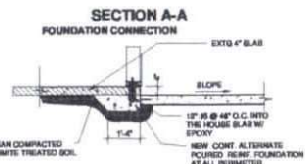
1 FLOOR PLAN
3/8" = 1'-0"



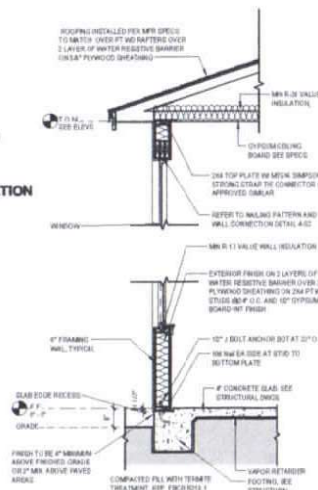
2 EXISTING CONDITIONS - ROOF PLAN
3/8" = 1'-0"



3 ELECTRICAL PLAN
3/8" = 1'-0"



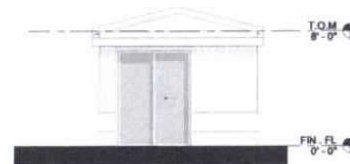
8 CONNECTION NEW TO EXISTG SLAB FOUNDATION
1/4" = 1'-0"



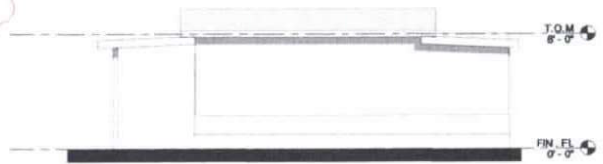
10 WALL SECTION
1/2" = 1'-0"



5 EXISTING - FRONT ELEVATION
1/4" = 1'-0"



4 EXISTING - REAR ELEVATION
1/4" = 1'-0"



6 EXISTING RIGHT ELEVATION
1/4" = 1'-0"



7 EXISTING - LEFT ELEVATION
1/4" = 1'-0"



MARIA BORELLA

3030 New Lake Rd
Apalachicola, FL 32909

PROJECT

SHED TO LIVING SPACE CONVERSION AS BUILT

REVISIONS		
#	Date	Description
1	08/08/20	Qty Check
2	08/10/20	Comments
3	08/10/20	Qty Check
4	08/10/20	Comments

JOB NUMBER: 2020-23
DRAWN BY: GBA
CHECKED BY: JC
DATE: 07/16/2021

PROFESSIONAL SEAL



Joe A. Campbell, P.E.
License 57525

DRAWING TITLE

SHED TO LIVING SPACE
CONVERSION
ADDITION

DRAWING No.

A.2

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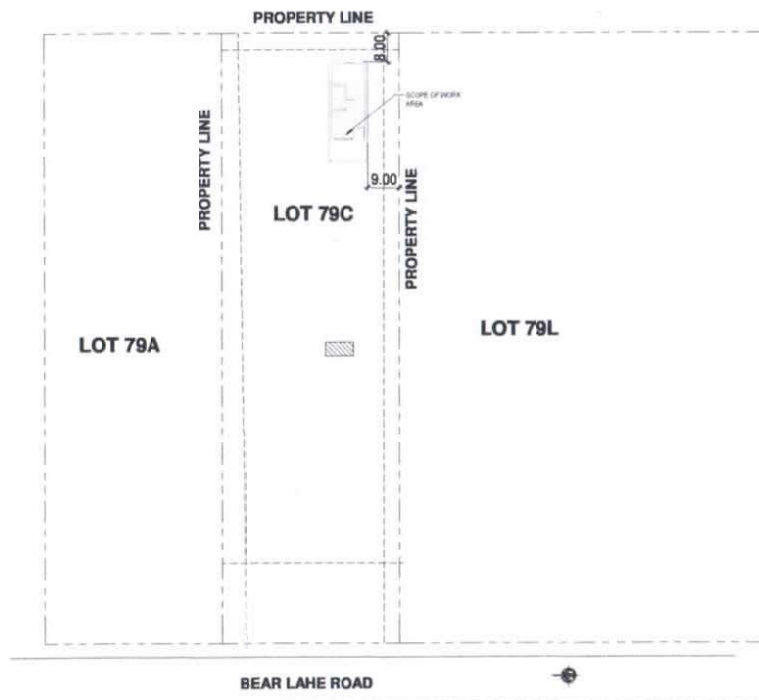
EXISTING MAIN HOUSE FRONT
ELEVATION



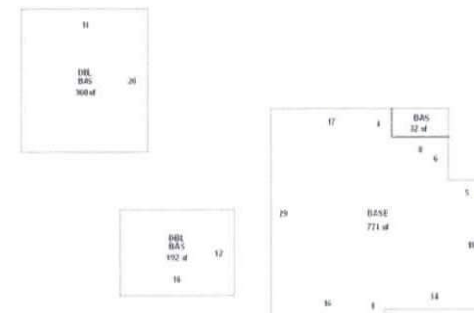
**ARCHITECTURAL SITE PLAN
NOTES**

1. THIS ARCHITECTURAL SITE PLAN IS NOT A SURVEY AND IT IS INTENDED FOR GENERAL REFERENCE ONLY. THIS PLAN IS BASED ON A SURVEY OF SITE PLANS PROVIDED BY OTHERS. ALTHOUGH ARCHITECTURE ASSUMES NO RESPONSIBILITY FOR ITS ACCURACY.
2. THE BUILDER IS RESPONSIBLE TO CHECK AND VERIFY THAT ALL BUILDING FOOTPRINT DIMENSIONS AND THE BUILDING POSITION IS WITHIN THE SETBACK LINES BEFORE STARTING CONSTRUCTION AND ADVISE THE DESIGN PROFESSIONAL OF ANY RECOMMENDED MODIFICATIONS BEFORE STARTING WORK.
3. ANY DESIGN OR INFORMATION RELATED TO SURVEY DATA, TOPOGRAPHY, GRADE, CONDUITS OR ELEVATIONS, STORMWATER DRAINAGE, SOILS BEARING CAPACITY OR PERCOLATION, LANDSCAPE DESIGN, CIVIL ENGINEERING, SWIRLING POOLSPA DESIGN OR ENGINEERING, FENCIAL UTILITIES, GASMAINETS OR ANY OTHER SITE IMPROVEMENTS WILL BE FOUND ON DOCUMENTS PREPARED BY OTHER LICENSED PROFESSIONALS.

LOT 79F



1 **ARCHITECTURAL SITE PLAN**
1/16" = 1'-0"



2 **LAND / FOOTPRINT-
SOURCE: SEMINOLE COUNTY PROPERTY APPRAISER**
1/4" = 1'-0"



MARIA BONELLA

12718 No. 12718
August 1, 2018

PROJECT

SHED STORAGE AS BUILT
12718 No. 12718
August 1, 2018

REVISIONS

#	Date	Description
1	08/01/18	Initial
2	08/01/18	Comments
3	08/01/18	Comments

JOB NUMBER: 001-101

DRAWN BY: GSA

CHECKED BY: JC

DATE: 07/18/2018

PROFESSIONAL SEAL

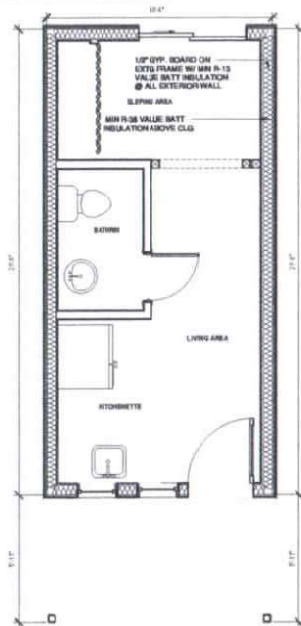


PROPOSED SITE
PLAN

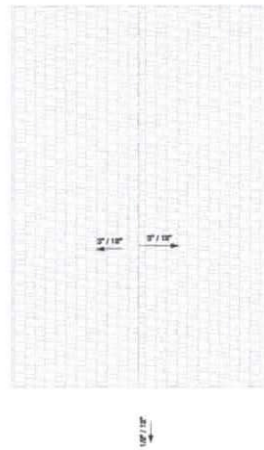
DRAWING No.

A.1

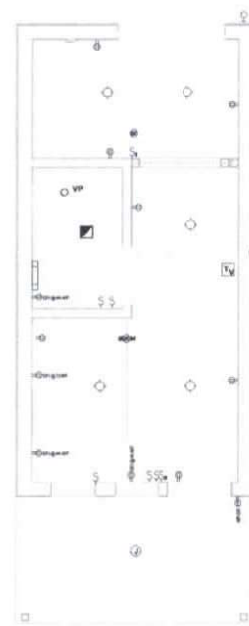
This plan has been electronically signed and sealed by Jose A. Camacho, P.E., on the 08/01/18. Jose A. Camacho, P.E., is the author of this document. The author's name is on the bottom right of the plan. The author's name is on the bottom right of the plan. The author's name is on the bottom right of the plan.



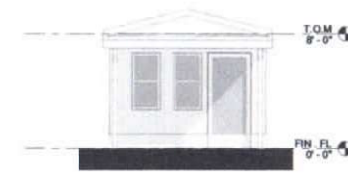
1 FLOOR PLAN
3/8" = 1'-0"



2 EXISTING CONDITIONS - ROOF PLAN
3/8" = 1'-0"



3 ELECTRICAL PLAN
3/8" = 1'-0"



5 EXISTING - FRONT ELEVATION
1/4" = 1'-0"



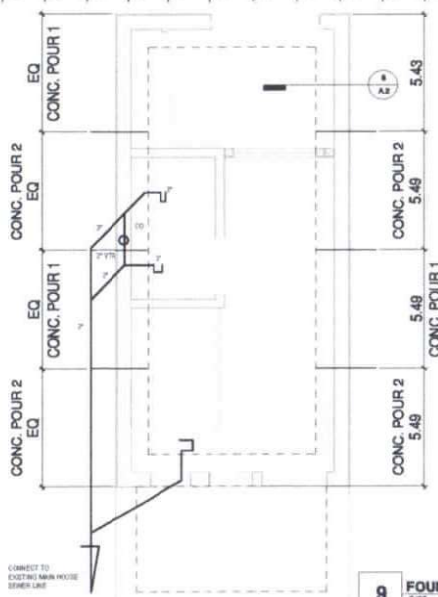
4 EXISTING - REAR ELEVATION
1/4" = 1'-0"



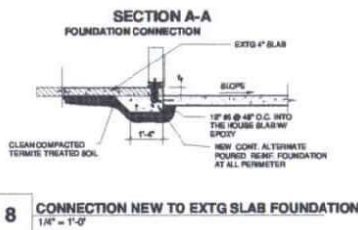
6 EXISTING RIGHT ELEVATION
1/4" = 1'-0"



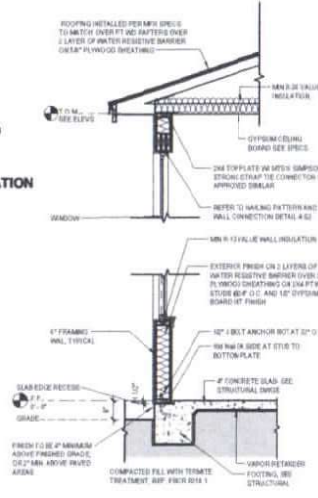
7 EXISTING - LEFT ELEVATION
1/4" = 1'-0"



9 FOUNDATION PLAN
3/8" = 1'-0"



8 CONNECTION NEW TO EXTG SLAB FOUNDATION
1/4" = 1'-0"



10 WALL SECTION
1/2" = 1'-0"

**404 S. Shore Rd. #304,
White Plains, N.Y. 10610**
Phone: 407-855-8887
shoclouding@pro.com
Certificate of Authorization: 32817

MARIA BONILLA
Vice President
April 11, 2018

PROJECT NAME

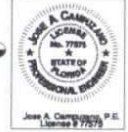
SHED TO LIVING SPACE CONVERSION AS BUILT
Project Name
1000 West Lake Rd
April 11, 2018

REVISIONS

#	Date	Description
1	04/11/18	As BUILT

JOB NUMBER: 2021-006
DRAWN BY: GBA
CHECKED BY: JC
DATE: 10/11/2017

PROFESSIONAL SEAL



Jose A. Campuzano, P.E.
License # 77573

DRAWING TITLE

**SHED TO LIVING SPACE
CONVERSION
ADDITION**

DRAWING No.

A.2

Jose A Campuzano
Digitally signed by Jose A Campuzano
Date: 2022.06.29 10:41:55 -0400

This document has been electronically signed and sealed by Jose Campuzano, P.E. on the 29th of June 2022. This document is a digital signature. Please verify the document is not tampered with and is valid and the signature is the author of the document.