



SEMINOLE COUNTY  
 PLANNING & DEVELOPMENT DIVISION  
 1101 EAST FIRST STREET, ROOM 2028  
 SANFORD, FLORIDA 32771  
 (407) 665-7371 EPLANDESK@SEMINOLECOUNTYFL.GOV

PROJ. #: 23-80000145

Received: 10/18/23

Paid: 10/18/23

## PRE-APPLICATION

### INCOMPLETE APPLICATIONS WILL NOT BE ACCEPTED

#### APPLICATION FEE

PRE-APPLICATION \$50.00

#### PROJECT

PROJECT NAME: Multifamily Townhomes Residential Development

 PARCEL ID #(S): 22-21-29-300-0360-0000, 22-21-29-300-036A-0000, 22-21-29-300-036C-0000,  
 22-21-29-300-036D-0000, 22-21-29-300-036F-0000, 22-21-29-300-0500-0000

TOTAL ACREAGE: 10.6

BCC DISTRICT: District 3

ZONING: A-1

FUTURE LAND USE: LDR

#### APPLICANT

NAME: Socrate Exantus

COMPANY: All County CFL Property Management

ADDRESS: 390 N Orange Ave. Suite 2300

CITY: Orlando

STATE: Florida

ZIP: 32801

PHONE: (407) 674-5601 ext 102

EMAIL: ~~Contact@allcountyfl.com~~

socrate@allcountypm.com

#### CONSULTANT

NAME: Rodolfo Sucre

COMPANY: RSP Engineers, Inc.

ADDRESS: 111 N Orange Ave Suite 800 148

CITY: Orlando

STATE: Florida

ZIP: 32801

PHONE: (407) 743-2754

EMAIL: Rsucre@rspengineers.com

#### PROPOSED DEVELOPMENT (CHECK ALL THAT APPLY)

SUBDIVISION  LAND USE AMENDMENT  REZONE  SITE PLAN  SPECIAL EXCEPTION

 Description of proposed development: Townhomes development and infrastructure to support it

#### STAFF USE ONLY

COMMENTS DUE: **10/27**COM DOC DUE: **11/2**DRC MEETING: **11/8**
 PROPERTY APPRAISER SHEET  PRIOR REVIEWS:
ZONING: **A-1**FLU: **LDR**LOCATION: **on the south side of Hillview Dr,  
east of S SR 434**W/S: **N/A**BCC: **3: Constantine**

October 2<sup>nd</sup>, 2023

**SEMINOLE COUNTY PLANNING & DEVELOPMENT DIVISION**

**1101 East First Street  
Sanford, Florida 32771**

**RE: PRE-APPLICATION DETAILED NARRATIVE  
RPS JOB#: SE101 MULTIFAMILY TOWNHOMES RESIDENTIAL DEVELOPMENT**

**Introduction:**

This project narrative outlines the proposed Multifamily Townhomes Residential Development with reference address at 525 Hillview Dr. Altamonte Springs, Florida 32714, located within unincorporated Seminole County. The project aims to develop a townhome residential community on 6 contiguous and individual lots totaling 10.6 acres, all currently zoned for A-1 (Agriculture). The proposed plan includes rezoning to R-3 (Multiple-Family Dwelling for townhomes) as well as changing its land use to HDR (High Density Residential) from its current LDR (Low Density Residential) so as to provide the necessary framework for the construction of high-density residential units and communal amenities.

**Project Goals and Benefits:**

**Increased Housing Options:** By providing high-density multifamily townhome units, the project will contribute to addressing the housing needs of Altamonte Springs' diverse population, including individuals and families seeking affordable and accessible housing.

**Community Amenities:** Residents will benefit from well-designed communal spaces, recreational areas, and green spaces, fostering a sense of community and well-being.

**Economic Growth:** The development will stimulate economic growth by creating job opportunities during construction and in the ongoing management of the townhome residential community.

**Increased Property Values:** Surrounding properties may experience an increase in value as a result of the improved neighborhood and community amenities.

**Compliance and Approvals:**

The proposed project will adhere to all relevant zoning codes, land use regulations, and environmental guidelines set forth by Seminole County and the State of Florida. We will work closely with county officials and agencies to ensure that all necessary permits and approvals are obtained in a timely and compliant manner.

**Conclusion:**

The proposed Multifamily Townhomes Residential Development at 525 Hillview Dr. Altamonte Springs, Florida 32714, represents an opportunity to maximize the existing land use into a thriving and sustainable residential community. By rezoning the property to R-3 and changing its land use to HDR, the project aims to meet the growing demand for high-density multifamily townhome housings while delivering economic benefits to the community and preserving the local environment.



**CERTIFY TO:**  
RSP ENGINEERS, INC.

**BENCHMARK OF ORIGIN:**

ELEVATIONS AND BENCHMARKS SET ON SITE WERE DONE USING A RTK GNSS RECEIVER.

**Notes:**

- a) all clearances and / or encroachments shown hereon are of apparent nature. fence ownership by visual means. legal ownership of fences not determined.
- b) this is a boundary survey, prepared for use exclusively by those to whom it is certified.
- c) code restriction and title search are not reflected on this survey.
- d) the flood information shown hereon does not imply that the referenced property will or will not be free from flooding or damage and does not create liability on the part of the firm, any officer or employee thereof for any damage that results from reliance on said information.
- e) the lands depicted hereon were surveyed per the legal description and no claims as to ownership or matters of title are made or implied.
- f) underground encroachments, if any, not located.
- g) I hereby certify that the survey represented hereon meets the minimum technical standards set forth by the board of land surveyors in chapter 5j-17.050 to 17.052 florida administrative code pursuant to section 472.027 fl. statutes.
- h) record bearings depicted on the survey are based off the legal descriptions of the surveyed land.
- i) if shown, elevations are referred to n.a.v.d. 1988
- j) project site is located in the N.E. 1/4 of S.W. 1/4 of Section 22, Township 21 South, Range 29 East.

**FLOOD ZONE INFORMATION:**

A PORTION OF THE LAND SURVEYED IS IN A FLOOD ZONE. THE AREA IN THE FLOOD ZONE IS DEPCITED ON THE SURVEY. A MAJORITY OF THE LAND IS NOT IN A FLOOD ZONE.

PORTION OF LAND NOT IN A FLOOD ZONE:  
THE NFIP FLOOD MAPS HAVE DESIGNATED THE HEREIN DESCRIBED LAND TO BE SITUATED

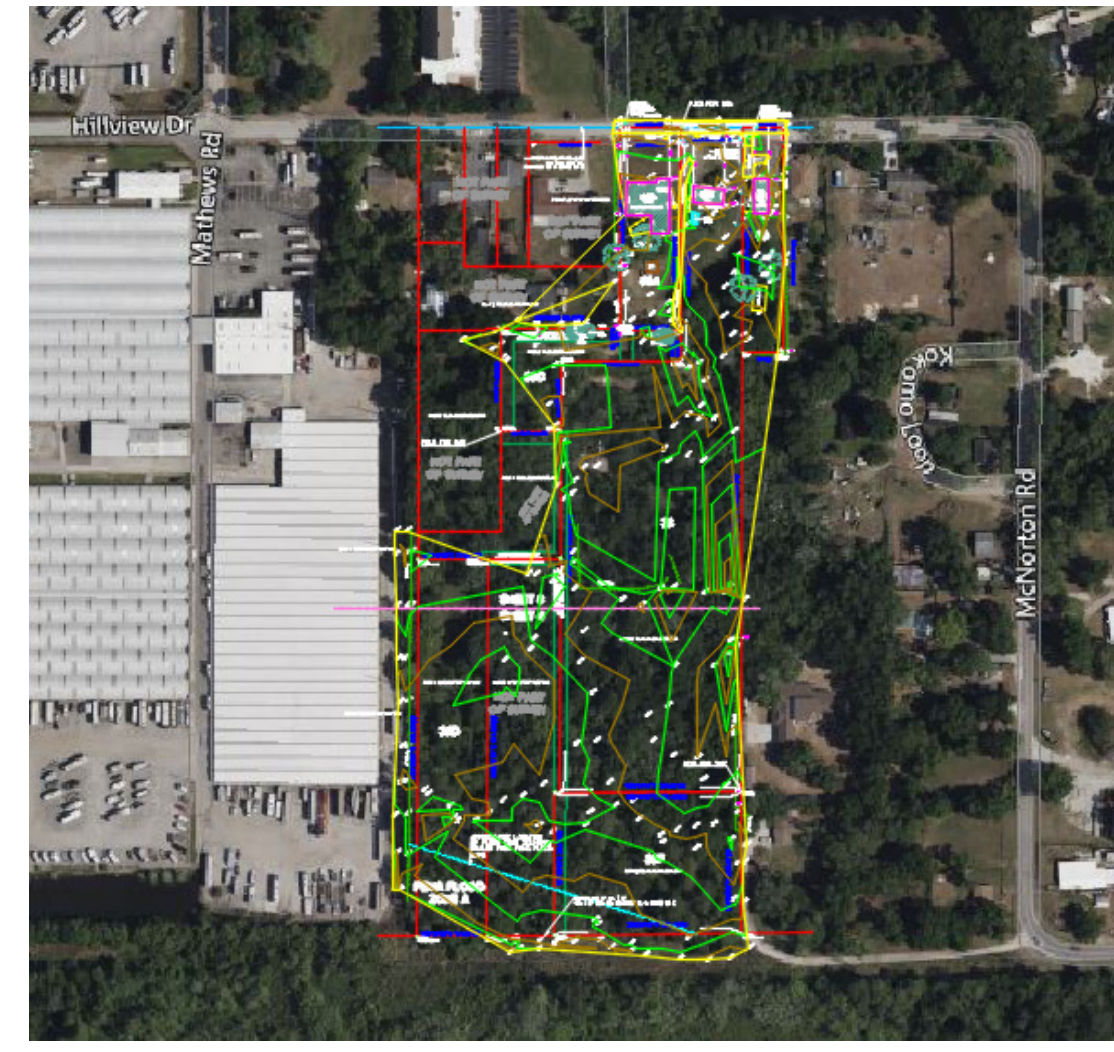
IN FLOOD ZONE: X  
PANEL NO/SUFFIX: 145/F  
COMMUNITY NO.: 120289  
DATE OF FIRM: 9/28/2007

PORTION OF LAND IN A FLOOD ZONE:  
THE NFIP FLOOD MAPS HAVE DESIGNATED THE HEREIN DESCRIBED LAND TO BE SITUATED

IN FLOOD ZONE: A  
PANEL NO/SUFFIX: 145/F  
COMMUNITY NO.: 120289  
DATE OF FIRM: 9/28/2007

**ACCURACY:**

THE ACCURACY OF THE SURVEY WAS BASED ON THE DATA SHEET OF CARLSON BRx7 GNSS RECIEVER. THE HORIZONTAL ACCURACY ACHIEVED WAS ±0.05' WITH 95% CONFIDENCE ALONG THE SEMI-MAJOR AXIS. THE VERTICAL ACCURACY ACHIEVED WAS ±0.10'.



**LOCATION MAP  
NOT TO SCALE**

**N.E. 1/4 OF S.W. 1/4 OF SECTION 22, TOWNSHIP 21 SOUTH,  
RANGE 29 EAST SEMINOLE COUNTY FLORIDA**

**LEGAL DESCRIPTION:**

**PARCEL 36 LEGAL DESCRIPTION:**

COMMENCE AT THE NORTHEAST CORNER OF THE WEST 3 CHAINS OF THE EAST 1/2 OF THE N.E. 1/4 OF THE S.W. 1/4 OF SECTION 22, TOWNSHIP 21 SOUTH, RANGE 29 EAST AND RUN S00°05'09"W ALONG THE EAST LINE OF THE WEST 3 CHAINS OF THE EAST 1/2 OF THE N.E. 1/4 OF THE S.W. 1/4 OF SAID SECTION 22 25.00 FEET TO A POINT ON THE SOUTHERLY RIGHT OF WAY LINE OF HILL VIEW DRIVE, SAID POINT BEING THE POINT OF BEGINNING, THENCE CONTINUE S00°05'09"W ALONG SAID EAST LINE 1053.66 FEET, THENCE RUN S89°44'54"W 294.31 FEET, THENCE RUN N00°05'07"E 698.83 FEET, THENCE RUN N89°44'53"E 194.31 FEET, THENCE RUN N00°05'07"E 355.00 FEET TO A POINT ON THE SOUTHERLY RIGHT OF WAY LINE OF HILL VIEW DRIVE, THENCE RUN N89°50'53"E ALONG SAID SOUTHERLY RIGHT-OF-WAY LINE 100.00 FEET TO THE POINT OF BEGINNING . CONTAINING 5.5362 ACRES. TOGETHER WITH AND SUBJECT TO AN EASEMENT FOR INGRESS AND EGRESS DESCRIBED AS FOLLOWS:

COMMENCE AT THE NORTHEAST CORNER OF THE WEST 3 CHAINS OF THE EAST 1/2 OF THE N.E. 1/4 OF THE S.W. 1/4 OF SECTION 22, TOWNSHIP 21 SOUTH, RANGE 29 EAST AND RUN S00°05'09"W ALONG THE EAST LINE OF THE WEST 3 CHAINS OF THE EAST 1/2 OF THE N.W. 1/4 OF THE S.W. 1/4 OF SAID SECTION 22 25.00 FEET TO A POINT ON THE SOUTHERLY RIGHT OF WAY LINE OF HILL VIEW DRIVE, THENCE RUN S89°50'53"W 178.00 FEET ALONG SAID SOUTHERLY RIGHT OF WAY, THENCE RUN S00°05'07"W 305.00 FEET TO THE POINT OF BEGINNING, THENCE CONTINUE S00°05'07"W 50.14 FEET, THENCE RUN S89°44'53"W 20.00 FEET, THENCE RUN N00°05'07"E 32.62 FEET, THENCE RUN S89°44'53"W 172.62 FEET, THENCE RUN S00°05'07"W 145.07 FEET, THENCE RUN N89°44'53"E 86.31 FEET, THENCE S00°05'07"W 818.03 FEET TO A POINT ON THE SOUTH LINE OF THE N.E. 1/4 OF THE S.W. 1/4 OF SAID SECTION 22, THENCE RUN S89°26'55"W ALONG SAID SOUTH LINE 20.00 FEET, THENCE RUN N00°05'07"E 601.39 FEET, THENCE RUN S89°44'53"W 107.24 FEET, THENCE RUN N00°05'07"E 10.00 FEET, THENCE RUN S89°44'53"W 10.00 FEET, THENCE RUN N00°05'07"E 10.00 FEET, THENCE RUN N89°44'53"E 117.24 FEET, THENCE RUN N00°05'07"E 176.74 FEET, THENCE RUN N89°44'53"W 86.19 FEET, THENCE RUN N00°05'07"E 185.07 FEET, THENCE RUN N89°44'53"E 192.62 FEET, THENCE RUN S00°05'07"W 2.45 FEET, THENCE RUN N89°50'53"E 20.00 FEET TO THE POINT OF BEGINNING.

**PARCEL 36A LEGAL DESCRIPTION:**

BEGIN 559.12 FEET WEST OF CENTER OF SECTION RUN WEST 98 FEET, THENCE SOUTH 330 FEET, THENCE EAST 98 FEET, THENCE NORTH 330 FEET TO BEGINNING OF SECTION 22, TOWNSHIP 21 SOUTH, RANGE 29 EAST, SEMINOLE COUNTY, FLORIDA.

**PARCEL 36C LEGAL DESCRIPTION:**

COMMENCE AT THE NORTHEAST CORNER OF THE WEST 3 CHAINS OF THE EAST 1/2 OF THE N.E. 1/4 OF THE S.W. 1/4 OF SECTION 22, TOWNSHIP 21 SOUTH, RANGE 29 EAST AND RUN S.00° 05' 09"W ALONG THE EAST LINE OF SAID WEST 3 CHAINS OF THE EAST 1/2 OF THE N.E. 1/4 OF THE S.W. 1/4 OF SAID SECTION 22 1308.81 FEET, THENCE RUN S. 89° 26' 55" W. 525.63 FEET ALONG THE SOUTH LINE OF THE N.E. 1/4 OF THE S.W. 1/4 OF SAID SECTION 22, THENCE RUN N. 00° 05' 07" E. 656.72 FEET ALONG THE WEST LINE OF THE SOUTH 3/4 OF THE EAST 1/2 OF THE WEST 1/2 OF THE N.E. 1/4 OF THE S.W. 1/4 OF SAID SECTION 22, THENCE RUN N. 89° 44' 53" E. 135.00 FEET, THENCE RUN N. 00° 05' 07" E 162.57 FEET TO THE POINT OF BEGINNING, THENCE CONTINUE N. 00° 05'07" E. 165.07 FEET, THENCE RUN N. 89° 44' 53" E. 192.62 FEET, THENCE RUN S. 00° 05' 08"W 2.45 FEET, THENCE RUN N. 89° 50' 53" E. 98.00 FEET, THENCE RUN S. 00° 05'07" W. 50.00 FEET, THENCE RUN S. 89° 44' 53" W. 194.31 FEET, THENCE RUN S. 00° 05'07" W. 112.45 FEET, THENCE RUN S. 89° 44' 53" W. 96.31 FEET TO THE POINT OF BEGINNING. CONTAINING .5940 ACRES, TOGETHER WITH AND SUBJECT TO AN EASEMENT FOR INGRESS AND EGRESS DESCRIBED AS FOLLOWS:

COMMENCE AT THE NORTHEAST CORNER OF THE WEST 3 CHAINS OF THE EAST 1/2 OF THE N.E. 1/4 OF THE S.W. 1/4 OF SECTION 22, TOWNSHIP 21 SOUTH, RANGE 29 EAST AND RUN S00°05'09"W ALONG THE EAST LINE OF THE WEST 3 CHAINS OF THE EAST 1/2 OF THE N.W. 1/4 OF THE S.W. 1/4 OF SAID SECTION 22 25.00 FEET TO A POINT ON THE SOUTHERLY RIGHT OF WAY LINE OF HILL VIEW DRIVE, THENCE RUN S89°50'53"W 178.00 FEET ALONG SAID SOUTHERLY RIGHT OF WAY, THENCE RUN S00°05'07"W 305.00 FEET TO THE POINT OF BEGINNING, THENCE CONTINUE S00°05'07"W 50.14 FEET, THENCE RUN S89°44'53"W 20.00 FEET, THENCE RUN N00°05'07"E 32.62 FEET, THENCE RUN S89°44'53"W 172.62 FEET, THENCE RUN S00°05'07"W 145.07 FEET, THENCE RUN N89°44'53"E 86.31 FEET, THENCE S00°05'07"W 818.03 FEET TO A POINT ON THE SOUTH LINE OF THE N.E. 1/4 OF THE S.W. 1/4 OF SAID SECTION 22, THENCE RUN S89°26'55"W ALONG SAID SOUTH LINE 20.00 FEET, THENCE RUN N00°05'07"E 601.39 FEET, THENCE RUN S89°44'53"W 107.24 FEET, THENCE RUN N00°05'07"E 10.00 FEET, THENCE RUN S89°44'53"W 10.00 FEET, THENCE RUN N00°05'07"E 10.00 FEET, THENCE RUN N89°44'53"E 117.24 FEET, THENCE RUN N00°05'07"E 176.74 FEET, THENCE RUN N89°44'53"W 86.19 FEET, THENCE RUN N00°05'07"E 185.07 FEET, THENCE RUN N89°44'53"E 192.62 FEET, THENCE RUN S00°05'07"W 2.45 FEET, THENCE RUN N89°50'53"E 20.00 FEET TO THE POINT OF BEGINNING.

**PARCEL 36D LEGAL DESCRIPTION:**

LEG SEC 22 TWP 21S RGE 29E BEG SE COR OF W 1/4 OF NE1/4 OF SW1/4 RUN N 612.55 FT E 114.07 FT S 611.95 FT W 114.07 FT TO BEG (1.6032 AC)

**PARCEL 36F LEGAL DESCRIPTION:**

COMMENCE AT THE NORTHEAST CORNER OF THE WEST 3 CHAINS OF THE EAST 1/2 OF THE N.E. 1/4 OF THE S.W. 1/4 OF SECTION 22, TOWNSHIP 21 SOUTH, RANGE 29 EAST AND RUN S. 00°05'09" W. ALONG THE EAST LINE OF SAID WEST 3 CHAINS OF THE EAST 1/2 OF THE N.E. 1/4 OF THE S.W. 1/4 OF SAID SECTION 22, 1078.66 FEET TO THE POINT OF BEGINNING, THENCE CONTINUE S. 00°05'09"W. ALONG SAID EAST LINE 230.15 FEET, THENCE RUN S.89°26'55"W. ALONG THE SOUTH LINE OF THE N.E. 1/4 OF THE S.W. 1/4 OF SAID SECTION 22 302.40 FEET, THENCE RUN N.00°05'07"E. 231.74 FEET, THENCE RUN N.89°044'54"E. 302.40 FEET TO THE POINT OF BEGINNING. CONTAINING 1.6032 ACRES.

**PARCEL 50 LEGAL DESCRIPTION:**

THE WEST 66 FEET OF THE EAST 458.5 FEET TO THE NORTHEAST 1/4 OF THE SOUTHWEST 1/4 OF SECTION 22, TOWNSHIP 21 SOUTH, RANGE 29 EAST (LESS THE SOUTH 942.8 FEET). TOGETHER WITH THAT CERTAIN 1970 FLEET MOBILE HOME, I.D. #5L3406, LOCATED THEREON.

L.B. # 8077  
9485 SW 98 STREET  
MIAMI, FLORIDA 33176  
E-MAIL: tjksurvey@gmail.com  
TEL: (786) 242-3444

THOMAS J. KELLY INC.  
SURVEYORS-MAPPERS  
LAND PLANNERS

519-525-529 HILLVIEW & VACANT LANDS OFF  
DRIVE ALTAMONTE HILLVIEW DRIVE  
SPRINGS, FL 32714 ALTAMONTE SPRINGS, FL

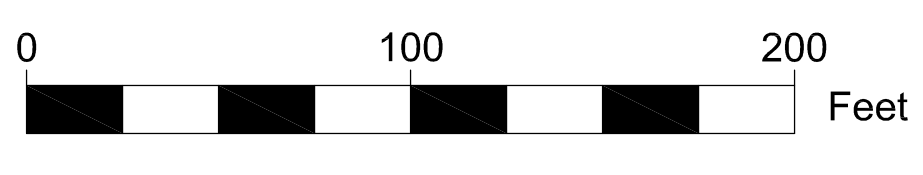
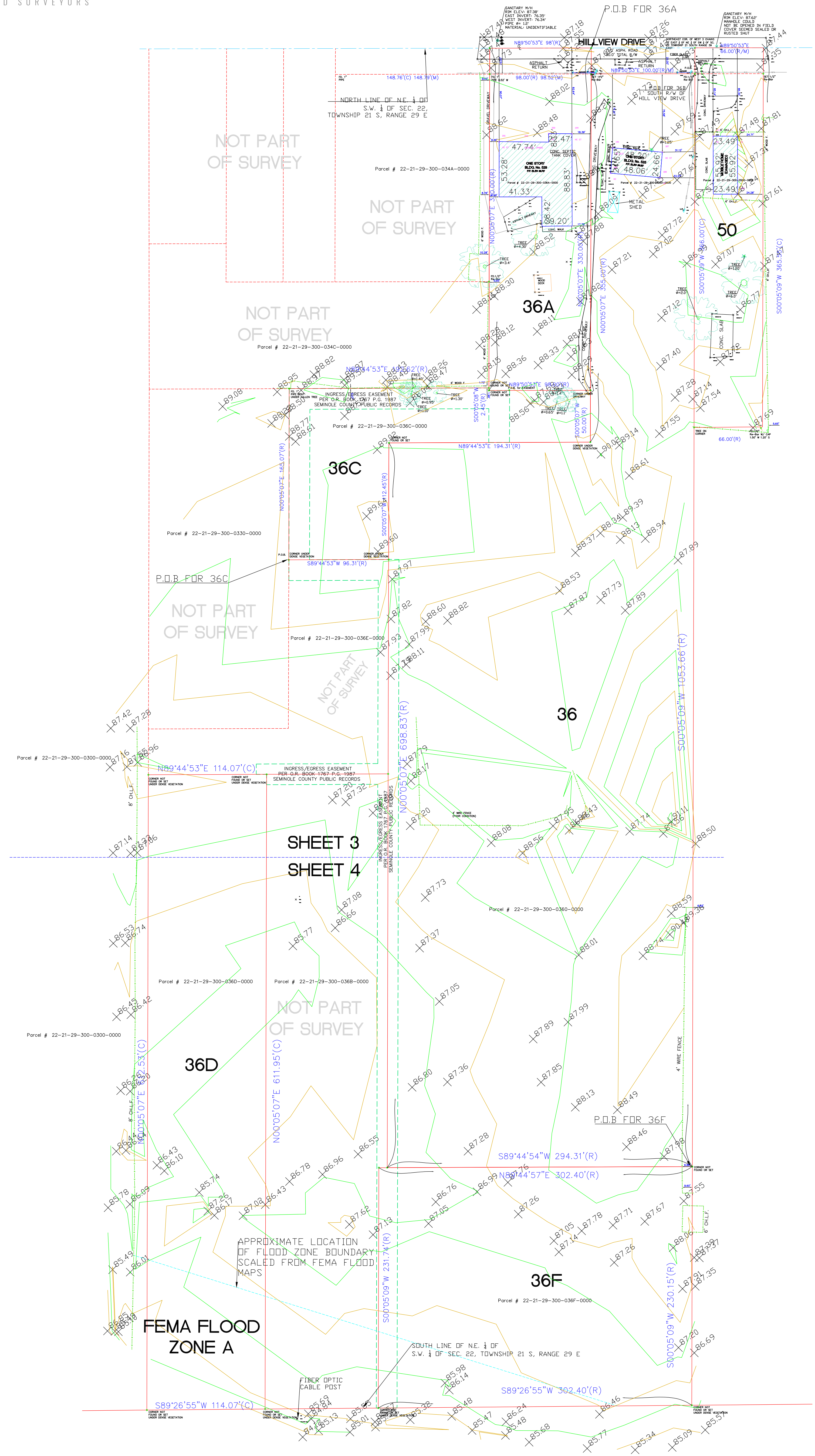
TOPOGRAPHIC  
SURVEY

DRAWN BY  
J.P.IV

DATE  
10/16/23

REVISIONS  
BOUNDARY & TOPO

SCALE: N.T.S.  
SHEET No. 1 of 4  
SURVEY No. 23-1370



LEGEND OF SYMBOLLOGY		LEGEND OF SURVEY ABBREVIATIONS	
	MAN HOLE SANITARY SEWER	ADJ.	ADJACENT
	CATCH BASIN	A/C	AIR CONDITIONER
	FIRE HYDRANT	ASPH. PAV.	ASPHALT PAVEMENT
	SIGN	B/C	BLOCK CORNER
	HANDICAP PARKING	BLDG.	BUILDING
	CONC. LIGHT POLE	B/C	BROWARD COUNTY RECORD
	WATER METER	C/G	CURB AND GUTTER
	WATER VALVE	C/B	CATCH BASIN
	ELECTRIC BOX	CH	CHORD DISTANCE
	T.V. BOX	CHLF	CHAIN LINK FENCE
	ELECTRIC METER	CLP	CONC. LIGHT POLE
	WOOD LIGHT POLE	CL	CLEAR
	UTILITY POLE	CL	CONCRETE BLOCK AND STUCCO
X 99.99	SPOT ELEVATION	CL	CLEAR
		CM	CANAL MAINTENANCE EASEMENT
		CONC	CONCRETE
		COR	CORNER
		CT	COURT
		CR	SEED ROD
		D/C	DADE COUNTY RECORD
		D/E	DRAINAGE EASEMENT
		D/H	DRILL HOLE
		D/W	DRIVEWAY
		ENC.	ENCROACHMENT
		E/W	EDGE OF WATER
		F	FENCE
		F	FLOOR
		F.H.	FIRE HYDRANT
		F.P.	FLOOR FINISH PIPE
		F.F.ELEV.	FLOOR FINISH ELEVATION
		F.P.L.	FLORIDA POWER AND LIGHT CO.
		L.M.E.	LAND MAINTENANCE EASEMENT
		M.E.	MAINTENANCE EASEMENT
		M.F.	MANHOLE FLOOR
		M.H.S.S.	MANHOLE SANITARY SEWER
		M/L	MONUMENT LINE
		M	MEASURED
		N	NORTH
		N/D	NAIL AND DISC
		N.G.V.D.	NATIONAL GEODETIC VERTICAL DATUM
		N.T.S.	NOT TO SCALE
		O/H	OVER HANG
		O.R.B.	OFFICIAL RECORD BOOK
		O.U.	OVERNEAR UTILITY LINE
		P	PLAT
		P.B.	PLAT BOOK
		P.C.	POINT OF CURVATURE
		P.C.	POINT OF BEGINNING
		P.C.P.	POINT OF COMPLETION CURVATURE
		P.C.	PERMANENT CONTROL POINT
		P.C.	FACE
		P.I.	Point of Intersection
		P.K.	PARSER KALON
		P.K.W.	PARKWAY
		P.L.S.	PROFESSIONAL LAND SURVEYOR
		P/L	PROPERTY LINE
		P.O.B.	POINT OF BEGINNING
		P.O.C.	POINT OF CURVATURE
		P.P.M.	PERMANENT REFERENCE MONUMENT
		P.T.	POINT OF TANGENCY
		R	RECORD
		R.C.	REINFORCEMENT BAR
		R/M	RECORD AND MEASURED
		R/S	RESIDENCE
		R/W	RIGHT-OF-WAY
		S	SECTION
		S.I.P.	SET IRON PIPE
		S.W.	SIDEWALK
		TYP	TYPICAL
		TERR.	TERRACE
		T.P.	UTILITY EASEMENT
		U.F.	UTILITY FLOOR
		W.F.	WOOD FENCE
		W.M.	WATER METER
		W	WEST

L.B. # 8077  
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MIAMI FLORIDA 33176  
TEL(786) 242-1411  
E-MAIL: tjksurvey@gmail.com

**THOMAS J. KELLY INC.**  
SURVEYORS-MAPPERS  
LAND PLANNERS

519-525-529 HILLVIEW & VACANT LANDS OFF  
DRIVE ALTAMONTE HILLVIEW DRIVE  
SPRINGS, FL 32714 ALTAMONTE SPRINGS, FL

TOPOGRAPHIC SURVEY

DRAWN BY J.P.IV

DATE 10/6/23

REVISIONS

BOUNDARY & TOPO

SCALE: 1:50  
SHEET No. 2 of 4

SURVEY No. 23-1370

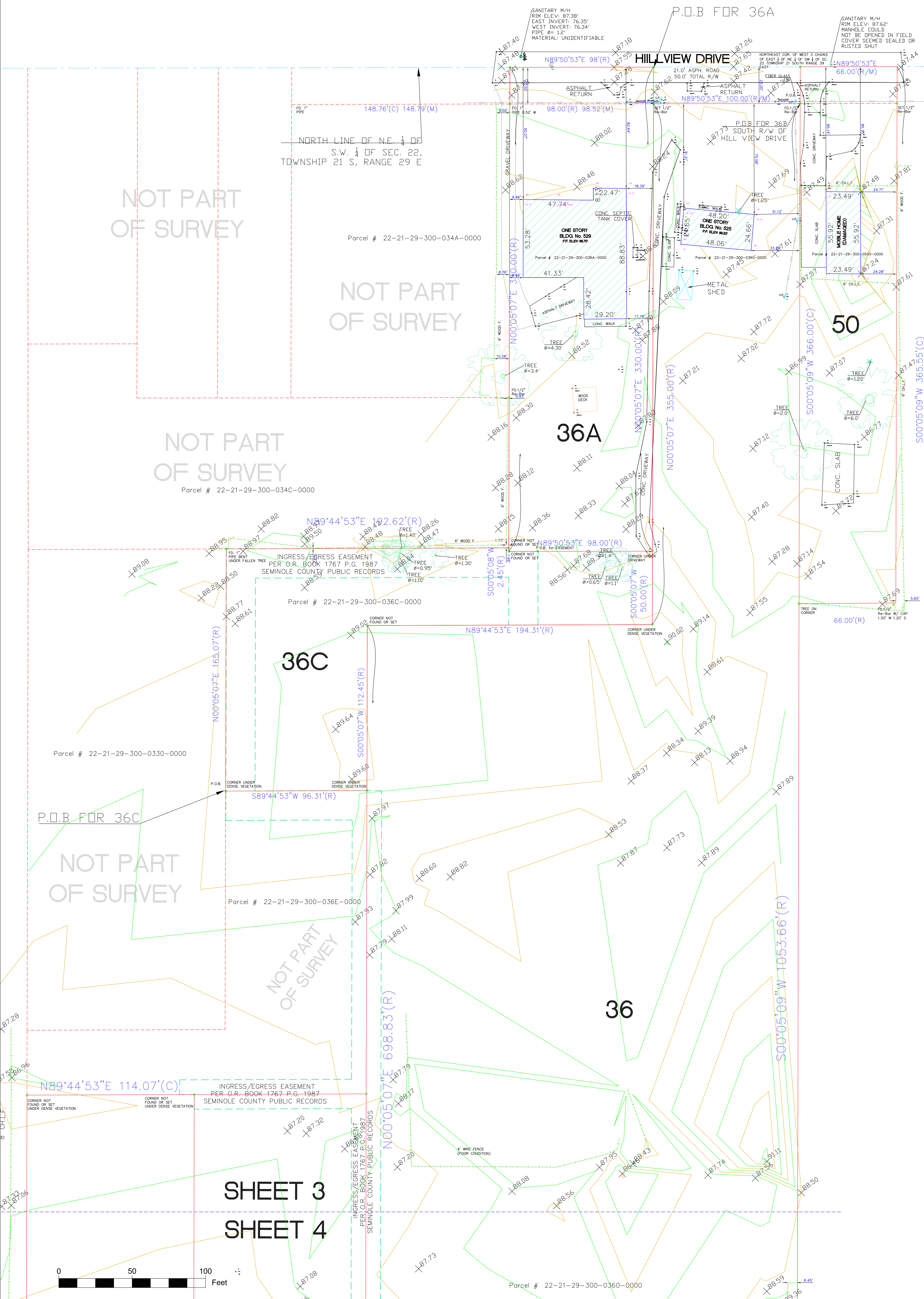


**LEGEND OF SYMBOLOLOGY**

- MAN HOLE SANITARY SEWER
- CATCH BASIN
- FIRE HYDRANT
- SIGN
- HANDICAP PARKING
- CONC. LIGHT POLE
- WATER METER
- WATER VALVE
- ELECTRIC BOX
- T.V. BOX
- ELECTRIC METER
- WOOD LIGHT POLE
- METAL LIGHT POLE
- UTILITY POLE
- X 99.99 = SPOT ELEVATION

**LEGEND OF SURVEY ABBREVIATIONS**

- ADJ. ADJACENT
- A/C AIR CONDITIONER
- ASPH. PAV. ASPHALT PAVEMENT
- B/C BLOCK CORNER
- BLDG. BUILDING
- B/K BLOCK
- B.M. BENCHMARK
- B.R. BROWARD COUNTY RECORD
- C/G CURB AND GUTTER
- CH. CHORD DISTANCE
- CHLN LINK FENCE
- CLP. CONCRETE LIGHT POLE
- CL. CENTER LINE
- C. CALCULATED
- CL. CONCRETE BLOCK AND STUCCO CLEAR
- CONC. CONCRETE
- CONC. CONCRETE
- C.T. COURT
- CT. CEMENT
- D.C.R. DADE COUNTY RECORD
- D.E. DRAINAGE EASEMENT
- D/H DRILL HOLE
- D/W DRIVEWAY
- ENC. ENCROACHMENT
- E.M. EDGE OF WATER
- F.D. FENCE
- F.H. FIRE HYDRANT
- F.I.P. FOUND IRON PIPE
- F.F. FINISH FLOOR ELEVATION
- F.P. FLORIDA POWER AND LIGHT CO.
- L.M.E. LENGTH MAINTENANCE EASEMENT
- M.E. MAINTENANCE EASEMENT
- M.F. METAL FENCE
- M.H.S. MANHOLE SANITARY SEWER
- M.L. MONUMENT LINE
- (M) MEASURED
- N NORTH
- N/D. NAIL AND DISC
- N.G.V.D. NATIONAL GEODETIC VERTICAL DATUM
- N.T.S. NOT TO SCALE
- O.H. OVER HANG
- O.R.B. OFFICIAL RECORD BOOK
- O.U.L. OVERHEAD UTILITY LINE
- (P) PLAT
- P.B. PLAT BOOK
- P.C. POINT OF CURVATURE
- P.C.C. POINT OF COMPLETION CURVATURE
- P.C.P. PERMANENT CONTROL POINT
- P.I. POINT OF INTERSECTION
- P.K. PARKWAY
- P.L.S. PROFESSIONAL LAND SURVEYOR
- P/L PROPERTY LINE
- P.O.B. POINT OF BEGINNING
- P.O.C. POINT OF COMMENCEMENT
- P.O.R. POINT OF REVERSE CURVATURE
- P.P.M. PERMANENT REFERENCE MONUMENT
- P.T. POINT OF TANGENCY
- (R) RECORD
- R.E.B. REINFORCEMENT BAR
- (R/M) RECORD AND MEASURED
- R/S. RESIDENCE
- R/W RIGHT-OF-WAY
- SEC. SECTION
- S.I.P. SET IRON PIPE
- S.W. SIDEWALK
- (TYP.) TYPICAL
- U.E. UTILITY EASEMENT
- U.F. UTILITY FLOOR
- W.F. WOOD FENCE
- W.M. WATER METER
- W. WEST



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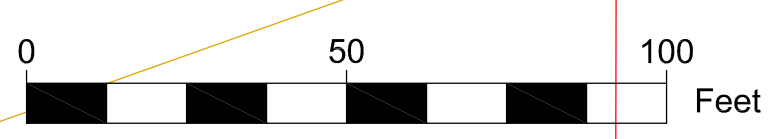
THOMAS J. KELLY INC.  
 SURVEYORS-MAPPERS  
 LAND PLANNERS

519-525-529 HILLVIEW  
 DRIVE ALTAMONTE  
 SPRINGS, FL 32714

TOPOGRAPHIC  
 SURVEY

REVISIONS	DATE	DRAWN BY
BOUNDARY & TOPO	10/6/23	J.P.V
SURVEY No. 23-1370		
SCALE: 1:30		
SHEET No. 3 of 4		

SHEET 3  
 SHEET 4



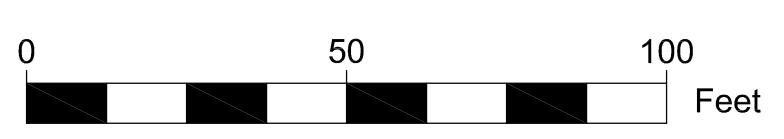
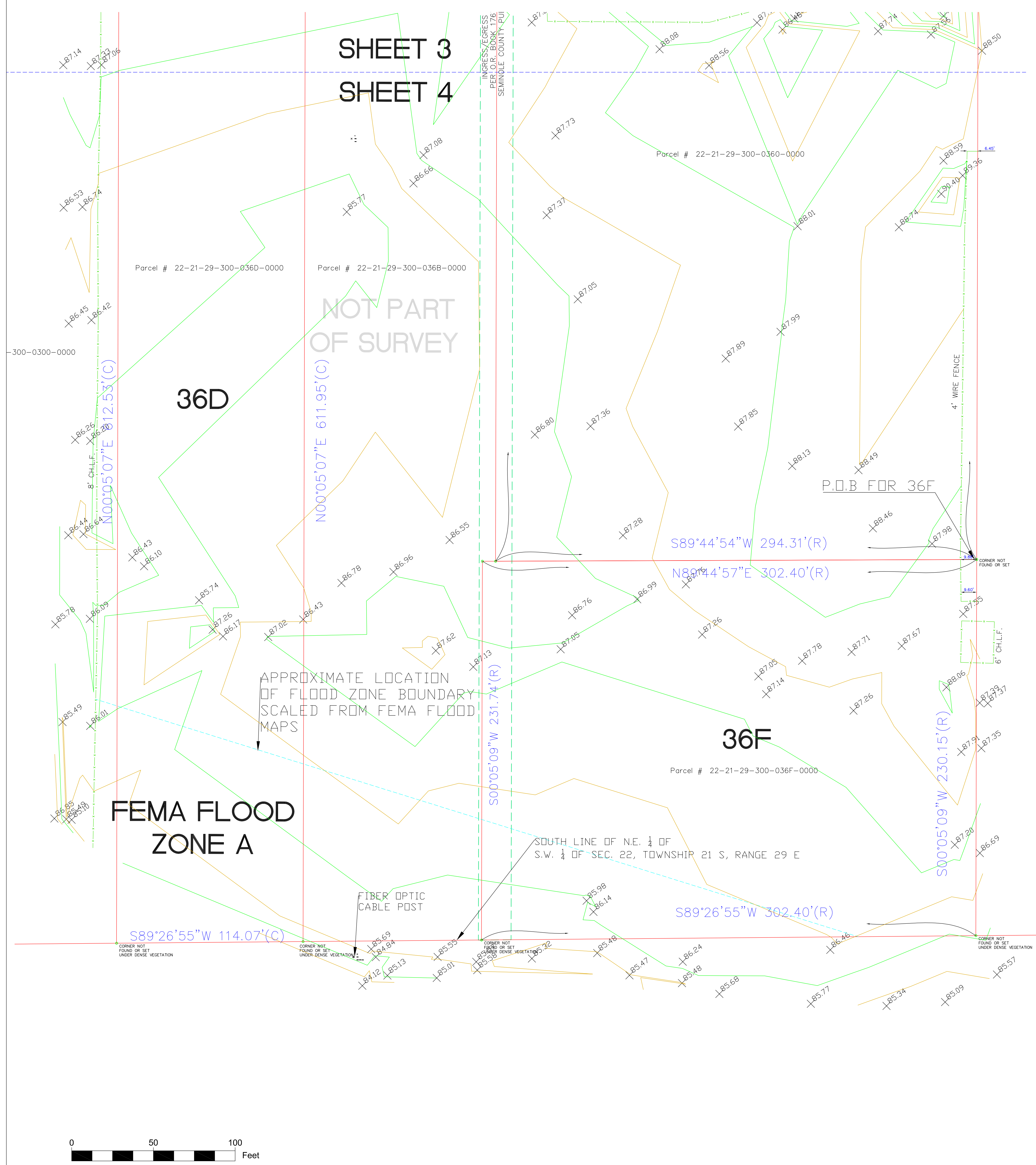


**LEGEND OF SYMBOLOLOGY**

- MAN HOLE SANITARY SEWER
- CATCH BASIN
- FIRE HYDRANT
- SIGN
- HANDICAP PARKING
- CONC. LIGHT POLE
- WATER METER
- WATER VALVE
- ELECTRIC BOX
- T.V. BOX
- ELECTRIC METER
- WOOD LIGHT POLE
- METAL LIGHT POLE
- UTILITY POLE
- X 99.99 = SPOT ELEVATION

**LEGEND OF SURVEY ABBREVIATIONS**

- ADJ. ADJACENT
- A/C. AIR CONDITIONER
- ASPH. PAV. ASPHALT PAVEMENT
- B/C. BLOCK CORNER
- B/D. BUILDING
- BLK. BLOCK
- B.M. BENCH MARK
- B.C.R. BROWARD COUNTY RECORD
- C/V. CURB AND GUTTER
- C.B. CATCH BASIN
- C.D. CHORD DISTANCE
- CH.L.F. CHAIN LINK FENCE
- C.P. CONCRETE PILE
- C/L. CENTER LINE
- (C) CALCULATED
- C.B.S. CONCRETE BLOCK AND STUCCO
- C. CLEAR
- C.M.E. CANAL MAINTENANCE EASEMENT
- CONC. CONCRETE
- COR. CORNER
- CT. COURT
- D.B. DEED BOOK
- D.C.R. DADE COUNTY RECORD
- D.E. DRAINAGE EASEMENT
- D/H. DRILL HOLE
- D/W. DRIVEWAY
- E. EAST
- ENC. ENCROACHMENT
- E.O.W. EDGE OF WATER
- F. FENCE
- F.I. FOUND IRON PIPE
- F.F.ELEV. FINISH FLOOR ELEVATION
- F.P.L. FLORIDA POWER AND LIGHT CO.
- L. LENGTH
- L.M.E. LAKE MAINTENANCE EASEMENT
- M.E. MAINTENANCE EASEMENT
- M.F. METAL FENCE
- M.H.S.S. MANHOLE SANITARY SEWER
- M/L. MONUMENT LINE
- (M) MEASURED
- N. NORTH
- N/D. NAIL AND DISC
- N.G.V.D. NATIONAL GEODETIC VERTICAL DATUM
- N.T.S. NOT TO SCALE
- O/H. OVER HANG
- O.U.L. OVERHEAD UTILITY LINE
- (P) PLAT
- P.B. PLAT BOOK
- P.C. POINT OF CURVATURE
- P.C.C. POINT OF COMPOUND CURVATURE
- P.C.P. PERMANENT CONTROL POINT
- P.G. PAGE
- P.I. POINT OF INTERSECTION
- P.K. PARKER KALON
- P.W.Y. PARKWAY
- P.L.S. PROFESSIONAL LAND SURVEYOR
- P.V.L. PROPERTY LINE
- P.O.B. POINT OF BEGINNING
- P.O.C. POINT OF COMMENCEMENT
- P.R.C. POINT OF REVERSE CURVATURE
- P.R.M. PERMANENT REFERENCE MONUMENT
- P.T. POINT OF TANGENCY
- (R) RECORD
- RE-BAR REINFORCEMENT BAR
- (R/M) RECORD AND MEASURED
- RES. RESIDENCE
- R/W. RIGHT-OF-WAY
- S. SOUTH
- SEC. SECTION
- S.I.P. SET IRON PIPE
- SM. SMOCK
- (TYP.) TYPICAL
- TER. TERRACE
- U.E. UTILITY EASEMENT
- U.P. UTILITY POLE
- W.F. WOOD FENCE
- W.M. WATER METER
- W. WEST



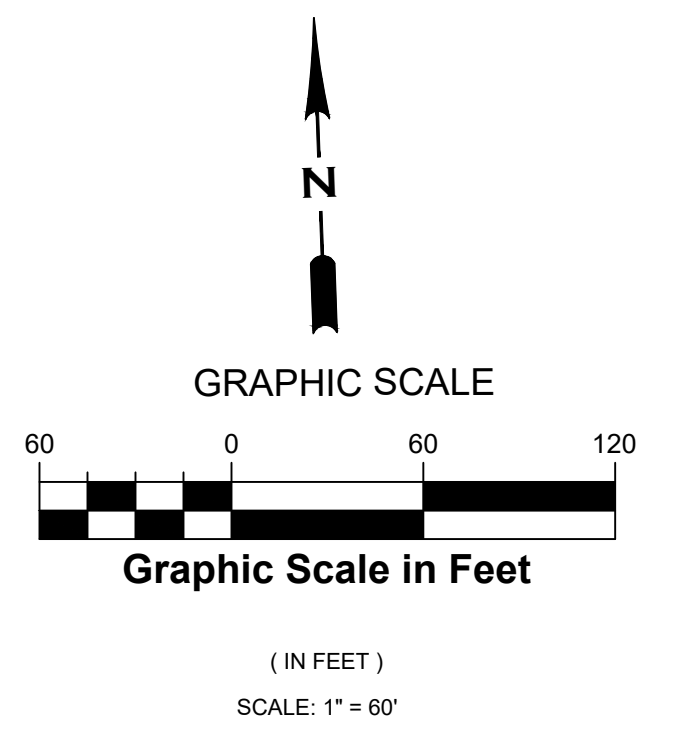
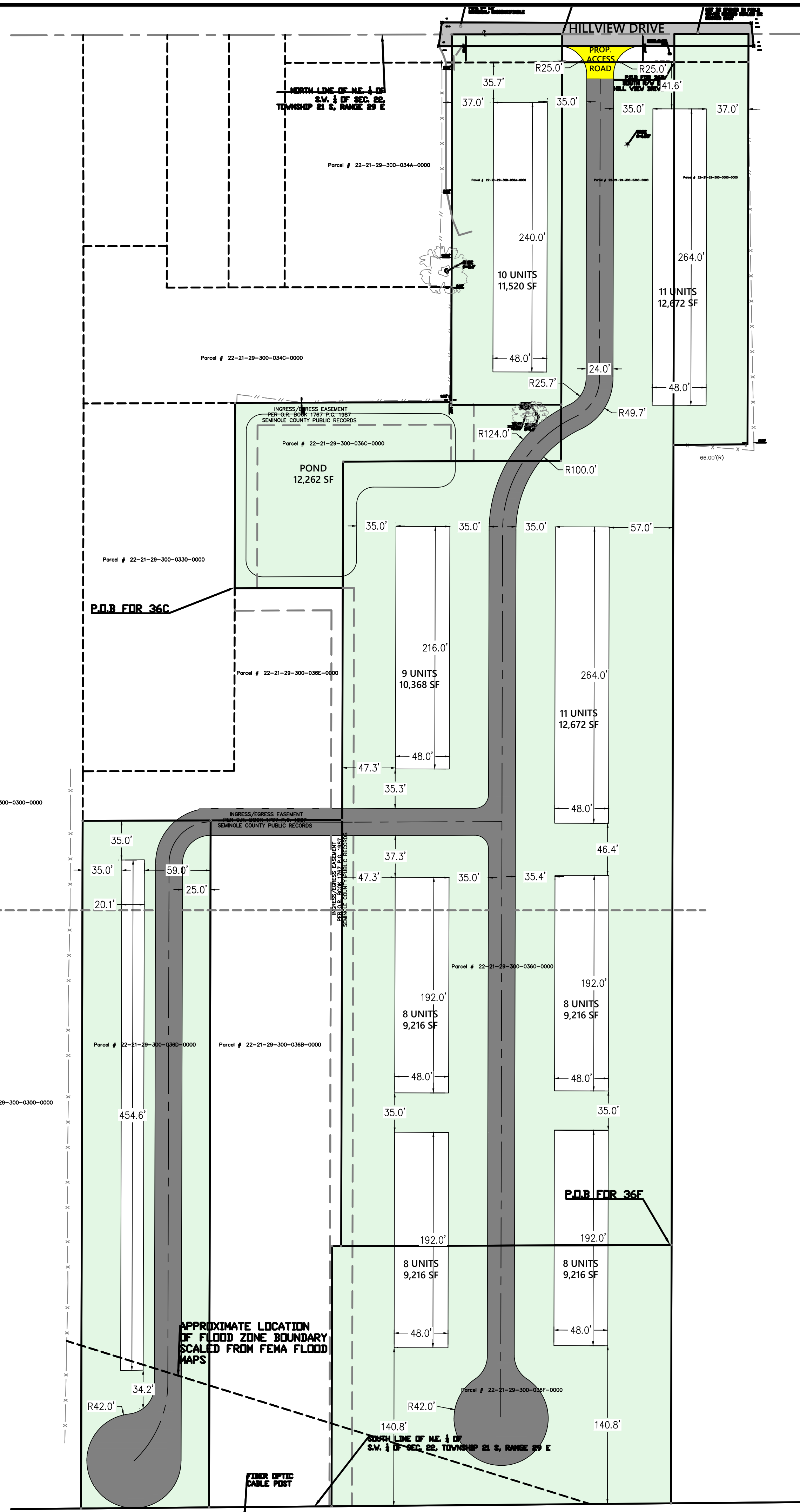
L.B. # 8077  
9485 SW 98 STREET  
MIAMI FLORIDA 33176  
TEL(786) 242-1111  
E-MAIL: tjksurvey@gmail.com

THOMAS J. KELLY INC.  
SURVEYORS-MAPPERS  
LAND PLANNERS

519-525-529 HILLVIEW & VACANT LANDS OFF  
DRIVE ALTAMONTE HILLVIEW DRIVE  
SPRINGS, FL 32714 ALTAMONTE SPRINGS, FL

REVISIONS	DATE	DRAWN BY
BOUNDARY & TOPO	10/16/23	J.P.IV

SURVEY No. 23-1370  
SCALE: 1:30  
SHEET No. 4 of 4



**LEGEND**

- [Green Box] PROPOSED SOD
- [Grey Box] PROPOSED CONCRETE
- [Dark Grey Box] PROPOSED ASPHALT PAVEMENT
- [Dashed Line] EXISTING PROPERTY LINE
- [Line with 'u' and 'e'] EXISTING OVERHEAD LINE AND ELECTRIC POLES
- [Star Symbol] EXISTING FIRE HYDRANT
- [Dotted Line] PROPOSED BUFFER LINE
- [Handicap Sign] PROPOSED HANDICAP SIGN
- [Stop Sign] PROPOSED STOP SIGN
- [Arrow Symbols] PROPOSED DIRECTIONAL MARKING SIGNS

**GENERAL NOTES**

- FOR LEGAL DESCRIPTION, BOUNDARY INFO, AND BENCHMARK INFO. SEE SITE SURVEY SHEETS.
- PRIOR TO ANY CONSTRUCTION, CONTRACTOR SHALL FIELD STAKE ALL CENTERLINE GEOMETRY TO ENSURE PROPOSED DIMENSIONS FIT EXISTING CONDITIONS. CONTRACTOR SHALL NOTIFY ENGINEER IMMEDIATELY IF ANY DISCREPANCIES ARISE.
- CONTRACTOR IS RESPONSIBLE FOR PROTECTION OF ALL PROPERTY CORNERS.
- CONTRACTOR SHALL MATCH PROPOSED CURB AND GUTTER, CONCRETE AND PAVEMENT TO EXISTING IN GRADE AND ALIGNMENT.
- THE EARTHWORK FOR ALL BUILDING FOUNDATIONS, PAVEMENT AND SLABS SHALL BE IN ACCORDANCE WITH ARCHITECTURAL, BUILDING PLANS, AND GEOTECHNICAL REPORT. THE MORE STRINGENT CRITERIA SHALL APPLY.
- CONTRACTOR IS RESPONSIBLE FOR REPAIRING THE DAMAGE DONE TO ANY EXISTING ITEM DURING CONSTRUCTION, SUCH AS BUT NOT LIMITED TO: DRAINAGE UTILITIES, PAVEMENT, STRIPING, CURB, ETC. REPAIRS SHALL BE EQUAL TO, OR BETTER THAN EXISTING CONDITIONS.
- ALL WORK AND MATERIALS SHALL COMPLY WITH ALL COUNTY REGULATIONS, CODES, AND O.S.H.A. STANDARDS.
- CONTRACTOR SHALL REFER TO THE ARCHITECTURAL PLANS FOR EXACT LOCATIONS AND DIMENSIONS OF EXISTING BUILDINGS, DIMENSIONS AND EXACT BUILDING AND UTILITY ENTRANCE LOCATIONS.
- PLEASE NOTE: THE LOCATION FOR ALL ADJACENT ROADWAYS, EXISTING DEVELOPMENTS, AND PROPOSED LAND USES MUST BE SHOWN IN THE SITE PLAN.
- PARKING SPACES MUST NOT BE LOCATED WITHIN 25' OF ANY STOP SIGN OR 25' FROM THE RIGHT OF WAY AT ENTRANCE DRIVEWAYS (THROAT DISTANCE).

**SITE DATA**

STATEMENT OF INTENT: OWNER PROPOSES A HIGH INTENSITY MULTIFAMILY DEVELOPMENT FOR TOWNHOMES USE AND ITS ACCESSORY INFRASTRUCTURE TO SUPPORT IT.

SITE ADDRESS: HILLVIEW DRIVE

EXISTING LAND USE: LOW DENSITY RESIDENTIAL

PROPOSED LAND USE: HIGH DENSITY RESIDENTIAL

LANDSCAPE BUFFER

BASED ON 0.5 OPACITY	REQUIRED	PROVIDED
NORTH:	25'	25'
WEST:	25'	25'
EAST:	25'	25'
SOUTH:	25'	25'

ZONING: CURRENT PD, A-1; PROPOSED R-3

SUBJECT SITE: NORTH: A-1; EAST: CITY, A-1; WEST: C-3, A-1

BUILDING SETBACKS

	REQUIRED	PROVIDED
FRONT:	35'	35'
REAR:	35'	35'
SIDE (N):	35'	35'
SIDE (S):	35'	35'

PARKING

	REQUIRED	PROVIDED
2 PER DU x 72 = 144	= 144	144
TOTAL REQUIRED		

NOTE: DU = DWELLING UNIT

OPEN SPACE

Minimum	REQUIRED	PROVIDED
	25%	56.77%

FAR

	REQUIRED	PROVIDED
MAX ALLOWED 13 DU/AC x 10.6 AC = 137 DU		72 DU

BLDG HEIGHT

	REQUIRED	PROVIDED
MAX ALLOWED 35 FT		24.95 FT

**LAND AREAS**

TOTAL LAND AREA = 461736 FT<sup>2</sup> ± 10.6 Acres ±  
 TOTAL IMPERVIOUS AREA = 149474FT<sup>2</sup> 32.37%  
 TOTAL PERVIOUS AREA = 312262 FT<sup>2</sup> 67.63%

**FLOOD ZONE:**  
 THIS PROPERTY LIES WITHIN FLOOD ZONE 'X'. AS PER THE FLOOD INSURANCE RATE MAPS NUMBER 12117C0145F MAP REVISED SEPTEMBER 28th, 2007.

**LEGAL DESCRIPTION:**

PARCEL 36 LEGAL DESCRIPTION: COMMENCE AT THE NORTHEAST CORNER OF THE WEST 3 CHAINS OF THE EAST 1/2 OF THE N.E. 1/4 OF THE S.W. 1/4 OF SECTION 22, TOWNSHIP 21 SOUTH, RANGE 29 EAST AND RUN S00°05'09"W ALONG THE EAST LINE OF THE WEST 3 CHAINS OF THE EAST 1/2 OF THE N.E. 1/4 OF THE S.W. 1/4 OF SAID SECTION 22 25.00 FEET TO A POINT ON THE SOUTHERLY RIGHT OF WAY LINE OF HILL VIEW DRIVE, SAID POINT BEING THE POINT OF BEGINNING, THENCE CONTINUE S00°05'09"W ALONG SAID EAST LINE 1053.66 FEET, THENCE RUN S89°44'54"W 294.31 FEET, THENCE RUN N00°05'07"E 698.83 FEET, THENCE RUN N89°44'53"E 194.31 FEET, THENCE RUN S00°05'07"E 355.00 FEET TO A POINT ON THE SOUTHERLY RIGHT OF WAY LINE OF HILL VIEW DRIVE, THENCE RUN N00°05'07"E 100.00 FEET TO THE POINT OF BEGINNING. CONTAINING 5.5382 ACRES. TOGETHER WITH AND SUBJECT TO AN EASEMENT FOR INGRESS AND EGRESS DESCRIBED AS FOLLOWS:

COMMENCE AT THE NORTHEAST CORNER OF THE WEST 3 CHAINS OF THE EAST 1/2 OF THE N.E. 1/4 OF THE S.W. 1/4 OF SECTION 22, TOWNSHIP 21 SOUTH, RANGE 29 EAST AND RUN S00°05'09"W ALONG THE EAST LINE OF THE WEST 3 CHAINS OF THE EAST 1/2 OF THE N.W. 1/4 OF THE S.W. 1/4 OF SAID SECTION 22 25.00 FEET TO A POINT ON THE SOUTHERLY RIGHT OF WAY LINE OF HILL VIEW DRIVE, THENCE RUN S89°50'53"W 178.00 FEET ALONG SAID SOUTHERLY RIGHT OF WAY, THENCE RUN S00°05'07"W 305.00 FEET TO THE POINT OF BEGINNING, THENCE CONTINUE S00°05'07"W 50.14 FEET, THENCE RUN S89°44'53"W 20.00 FEET, THENCE RUN N00°05'07"E 32.62 FEET, THENCE RUN S89°44'53"W 172.62 FEET, THENCE RUN S00°05'07"W 145.07 FEET, THENCE RUN N89°44'53"E 86.31 FEET, THENCE RUN S00°05'07"W 816.03 FEET TO A POINT ON THE SOUTH LINE OF THE N.E. 1/4 OF THE S.W. 1/4 OF SAID SECTION 22, THENCE RUN S89°26'55"W ALONG SAID SOUTH LINE 20.00 FEET, THENCE RUN N00°05'07"E 601.39 FEET, THENCE RUN S89°44'53"W 107.24 FEET, THENCE RUN N00°05'07"E 10.00 FEET, THENCE RUN S89°44'53"W 10.00 FEET, THENCE RUN N00°05'07"E 10.00 FEET, THENCE RUN N89°44'53"E 117.24 FEET, THENCE RUN N00°05'07"E 176.74 FEET, THENCE RUN S89°44'53"W 86.19 FEET, THENCE RUN N00°05'07"E 185.07 FEET, THENCE RUN N89°44'53"E 192.62 FEET, THENCE RUN S00°05'07"W 2.45 FEET, THENCE RUN N89°50'53"E 20.00 FEET TO THE POINT OF BEGINNING.

PARCEL 36A LEGAL DESCRIPTION: BEGIN 559.12 FEET WEST OF CENTER OF SECTION RUN WEST 98 FEET, THENCE SOUTH 330 FEET, THENCE EAST 98 FEET, THENCE NORTH 330 FEET TO BEGINNING OF SECTION 22, TOWNSHIP 21 SOUTH, RANGE 29 EAST, SEMINOLE COUNTY, FLORIDA.


PARCEL 36C LEGAL DESCRIPTION: COMMENCE AT THE NORTHEAST CORNER OF THE WEST 3 CHAINS OF THE EAST 1/2 OF THE N.E. 1/4 OF THE S.W. 1/4 OF SECTION 22, TOWNSHIP 21 SOUTH, RANGE 29 EAST AND RUN S 00° 05' 09"W ALONG THE EAST LINE OF SAID WEST 3 CHAINS OF THE EAST 1/2 OF THE N.E. 1/4 OF THE S.W. 1/4 OF SAID SECTION 22 1368.81 FEET, THENCE RUN S. 89° 26' 55" W. 525.63 FEET ALONG THE SOUTH LINE OF THE N.E. 1/4 OF THE S.W. 1/4 OF SAID SECTION 22, THENCE RUN N. 00° 05' 07" E. 656.72 FEET ALONG THE WEST LINE OF THE SOUTH 3/4 OF THE EAST 1/2 OF THE WEST 1/2 OF THE N.E. 1/4 OF THE S.W. 1/4 OF SAID SECTION 22, THENCE RUN N. 89° 44' 53" E. 135.00 FEET, THENCE RUN N. 00° 05' 07"E. 162.57 FEET TO THE POINT OF BEGINNING, THENCE CONTINUE N. 00° 05' 07" E. 165.07 FEET, THENCE RUN N. 89° 44' 53" E. 192.62 FEET, THENCE RUN S. 00° 05' 08"W 2.45 FEET, THENCE RUN N. 89° 50' 53" E. 98.00 FEET, THENCE RUN S. 00° 05' 07"W 50.00 FEET, THENCE RUN S. 89° 44' 53" W. 194.31 FEET, THENCE RUN S. 00° 05' 07"W 112.45 FEET, THENCE RUN S. 89° 44' 53" W. 96.31 FEET TO THE POINT OF BEGINNING. CONTAINING .5940 ACRES. TOGETHER WITH AND SUBJECT TO AN EASEMENT FOR INGRESS AND EGRESS DESCRIBED AS FOLLOWS:

COMMENCE AT THE NORTHEAST CORNER OF THE WEST 3 CHAINS OF THE EAST 1/2 OF THE N.E. 1/4 OF THE S.W. 1/4 OF SECTION 22, TOWNSHIP 21 SOUTH, RANGE 29 EAST AND RUN S00°05'09"W ALONG THE EAST LINE OF THE WEST 3 CHAINS OF THE EAST 1/2 OF THE N.W. 1/4 OF THE S.W. 1/4 OF SAID SECTION 22 25.00 FEET TO A POINT ON THE SOUTHERLY RIGHT OF WAY LINE OF HILL VIEW DRIVE, THENCE RUN S89°50'53"W 178.00 FEET ALONG SAID SOUTHERLY RIGHT OF WAY, THENCE RUN S00°05'07"W 305.00 FEET TO THE POINT OF BEGINNING, THENCE CONTINUE S00°05'07"W 50.14 FEET, THENCE RUN S89°44'53"W 20.00 FEET, THENCE RUN N00°05'07"E 32.62 FEET, THENCE RUN S89°44'53"W 172.62 FEET, THENCE RUN S00°05'07"W 145.07 FEET, THENCE RUN N89°44'53"E 86.31 FEET, THENCE RUN S00°05'07"W 816.03 FEET TO A POINT ON THE SOUTH LINE OF THE N.E. 1/4 OF THE S.W. 1/4 OF SAID SECTION 22, THENCE RUN S89°26'55"W ALONG SAID SOUTH LINE 20.00 FEET, THENCE RUN N00°05'07"E 601.39 FEET, THENCE RUN S89°44'53"W 107.24 FEET, THENCE RUN N00°05'07"E 10.00 FEET, THENCE RUN N89°44'53"E 117.24 FEET, THENCE RUN N00°05'07"E 176.74 FEET, THENCE RUN S89°44'53"W 86.19 FEET, THENCE RUN N00°05'07"E 185.07 FEET, THENCE RUN N89°44'53"E 192.62 FEET, THENCE RUN S00°05'07"W 2.45 FEET, THENCE RUN N89°50'53"E 20.00 FEET TO THE POINT OF BEGINNING.

PARCEL 36D LEGAL DESCRIPTION: LEG SEC 22 TWP 21S RGE 29E BEG SE COR OF W 1/4 OF NE 1/4 SW 1/4 RUN N 612.55 FT E 114.07 FT S 611.95 FT W 114.07 FT TO BEG (1.6032 AC)

PARCEL 36E LEGAL DESCRIPTION: COMMENCE AT THE NORTHEAST CORNER OF THE WEST 3 CHAINS OF THE EAST 1/2 OF THE N.E. 1/4 OF THE S.W. 1/4 OF SECTION 22, TOWNSHIP 21 SOUTH, RANGE 29 EAST AND RUN S. 00°05'09" W. ALONG THE EAST LINE OF SAID WEST 3 CHAINS OF THE EAST 1/2 OF THE N.E. 1/4 OF THE S.W. 1/4 OF SAID SECTION 22, 1078.88 FEET TO THE POINT OF BEGINNING, THENCE CONTINUE S. 00°05'09"W ALONG SAID EAST LINE 230.15 FEET, THENCE RUN S 89°26'55"W ALONG THE SOUTH LINE OF THE N.E. 1/4 OF THE S.W. 1/4 OF SAID SECTION 22 302.40 FEET, THENCE RUN N 00°05'07"E. 231.74 FEET, THENCE RUN N 89°44'54"E. 302.40 FEET TO THE POINT OF BEGINNING. CONTAINING 1.6032 ACRES.

PARCEL 36F LEGAL DESCRIPTION: COMMENCE AT THE NORTHEAST CORNER OF THE WEST 3 CHAINS OF THE EAST 1/2 OF THE N.E. 1/4 OF THE S.W. 1/4 OF SECTION 22, TOWNSHIP 21 SOUTH, RANGE 29 EAST, LESS THE SOUTH 942.8 FEET, TOGETHER WITH THAT CERTAIN 1970 FLEET MOBILE HOME, I.D. #SL3406, LOCATED THEREON.

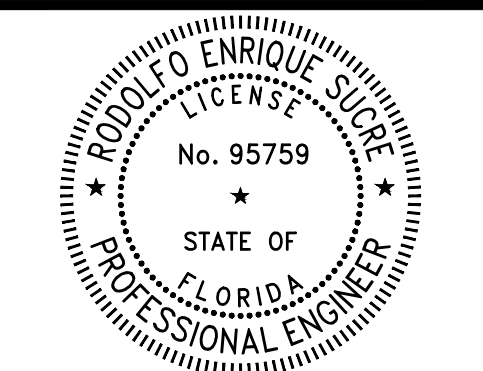


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FLORIDA

MIAMI - ORLANDO - TAMPA - JACKSONVILLE

786-687-2677, 407-743-2754, 813-375-0656 - 904-717-2831



RODOLFO ENRIQUE SUCRE, STATE OF FLORIDA, PROFESSIONAL ENGINEER, LICENSE NO (95759). THIS ITEM HAS BEEN DIGITALLY SIGNED AND SEALED BY RODOLFO ENRIQUE SUCRE ON THE DATE INDICATED HERE. PRINTED COPIES OF THIS DOCUMENT ARE NOT CONSIDERED SIGNED AND SEALED AND THE SIGNATURE MUST BE VERIFIED ON ANY ELECTRONIC COPIES.

Designed by:	Checked by:	Approved by:	Date:	Job No.:	No.	By	Revision	Date
R.S.	V.R.	R.S.	10/17/2023					

Plans Prepared By: RSP Engineers

NOT APPROVED FOR CONSTRUCTION

**SITE PLAN**

**PROJECT NAME**  
HILLVIEW DRIVE  
ALTAMONTE SPRINGS, FLORIDA  
SEMINOLE COUNTY, FLORIDA

Sheet No.

# C-3.0

# Property Record Card

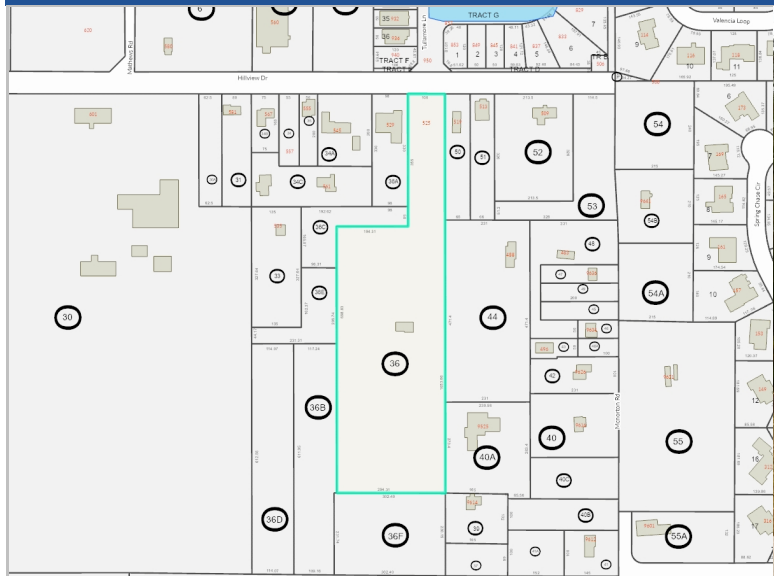


**Parcel** 22-21-29-300-0360-0000

**Property Address** 525 HILLVIEW DR ALTAMONTE SPRINGS, FL 32714

## Parcel Location

## Site View



22212930003600000 01/27/2022

## Parcel Information

## Value Summary

<b>Parcel</b>	22-21-29-300-0360-0000
<b>Owner(s)</b>	UPSON, TERRY L
<b>Property Address</b>	525 HILLVIEW DR ALTAMONTE SPRINGS, FL 32714
<b>Mailing</b>	525 HILLVIEW DR ALTAMONTE SPG, FL 32714-1602
<b>Subdivision Name</b>	
<b>Tax District</b>	01-COUNTY-TX DIST 1
<b>DOR Use Code</b>	01-SINGLE FAMILY
<b>Exemptions</b>	00-HOMESTEAD(1994)
<b>AG Classification</b>	No

	2024 Working Values	2023 Certified Values
<b>Valuation Method</b>	Cost/Market	Cost/Market
<b>Number of Buildings</b>	1	1
<b>Depreciated Bldg Value</b>	\$48,529	\$48,563
<b>Depreciated EXFT Value</b>	\$400	\$400
<b>Land Value (Market)</b>	\$276,500	\$276,500
<b>Land Value Ag</b>		
<b>Just/Market Value</b>	\$325,429	\$325,463
<b>Portability Adj</b>		
<b>Save Our Homes Adj</b>	\$203,160	\$206,755
<b>Amendment 1 Adj</b>	\$0	\$0
<b>P&amp;G Adj</b>	\$0	\$0
<b>Assessed Value</b>	\$122,269	\$118,708

## 2023 Certified Tax Summary

**2023 Tax Amount without Exemptions** \$4,331.26    **2023 Tax Savings with Exemptions** \$3,282.44  
**2023 Tax Bill Amount** \$1,048.82

\* Does NOT INCLUDE Non Ad Valorem Assessments

## Legal Description

SEC 22 TWP 21S RGE 29E  
 BEG 459.12 FT W & 25 FT S OF NE  
 COR OF SW 1/4 RUN S 1053.66 FT W  
 294.31 FT N 698.83 FT E 194.31 FT  
 N 355 FT E 100 FT TO BEG  
 (5.5362 AC)



## Taxes

Taxing Authority	Assessment Value	Exempt Values	Taxable Value
ROAD DISTRICT	\$122,269	\$50,000	\$72,269
SJWM(Saint Johns Water Management)	\$122,269	\$50,000	\$72,269
FIRE	\$122,269	\$50,000	\$72,269
COUNTY GENERAL FUND	\$122,269	\$50,000	\$72,269
Schools	\$122,269	\$25,000	\$97,269

## Sales

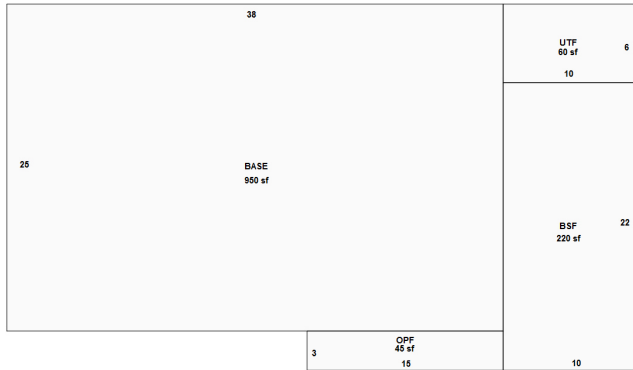
Description	Date	Book	Page	Amount	Qualified	Vac/Imp
ADMINISTRATIVE DEED	09/01/1986	01767	1987	\$100	No	Vacant

## Land

Method	Frontage	Depth	Units	Units Price	Land Value
ACREAGE			5.53	\$50,000.00	\$276,500

## Building Information

#	Description	Year Built**	Bed	Bath	Fixtures	Base Area	Total SF	Living SF	Ext Wall	Adj Value	Repl Value	Appendages								
1	SINGLE FAMILY	1964	2	1.0	3	950	1,275	1,170	CONC BLOCK	\$48,529	\$82,603	<table border="1" style="width: 100%; border-collapse: collapse;"> <thead> <tr style="background-color: #003366; color: white;"> <th>Description</th> <th>Area</th> </tr> </thead> <tbody> <tr> <td>UTILITY FINISHED</td> <td style="text-align: right;">60.00</td> </tr> <tr> <td>BASE SEMI FINISHED</td> <td style="text-align: right;">220.00</td> </tr> <tr> <td>OPEN PORCH FINISHED</td> <td style="text-align: right;">45.00</td> </tr> </tbody> </table>	Description	Area	UTILITY FINISHED	60.00	BASE SEMI FINISHED	220.00	OPEN PORCH FINISHED	45.00
Description	Area																			
UTILITY FINISHED	60.00																			
BASE SEMI FINISHED	220.00																			
OPEN PORCH FINISHED	45.00																			



Sketch by Apex Sketch

Building 1 - Page 1

\*\* Year Built (Actual / Effective)

## Permits

Permit #	Description	Agency	Amount	CO Date	Permit Date
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## Extra Features

Description	Year Built	Units	Value	New Cost
SHED	01/01/1964	1	\$400	\$1,000

## Zoning

Zoning	Zoning Description	Future Land Use	Future Land Use Description
A-1	Low Density Residential	LDR	Agricultural-1Ac

## Utility Information

Fire Station	Power	Phone(Analog)	Water Provider	Sewer Provider	Garbage Pickup	Recycle	Yard Waste	Hauler
13.00	DUKE	CENTURY LINK	NA	NA	TUE/FRI	WED	WED	Advanced Disposal

## Political Representation

Commissioner	US Congress	State House	State Senate	Voting Precinct
Dist 3 - Lee Constantine	Dist 7 - Stephanie Murphy	Dist 30 - Joy Goff-Marcil	Dist 9 - Jason Brodeur	52

## School Information

Elementary School District	Middle School District	High School District
Spring Lake	Teague	Lake Brantley

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# Property Record Card



**Parcel** 22-21-29-300-036A-0000

**Property Address** 529 HILLVIEW DR ALTAMONTE SPRINGS, FL 32714

## Parcel Location

## Site View



222129300036A0000 01/27/2022

## Parcel Information

## Value Summary

<b>Parcel</b>	22-21-29-300-036A-0000
<b>Owner(s)</b>	UPSON, TERRY JR
<b>Property Address</b>	529 HILLVIEW DR ALTAMONTE SPRINGS, FL 32714
<b>Mailing</b>	529 HILLVIEW DR ALTAMONTE SPG, FL 32714-1602
<b>Subdivision Name</b>	
<b>Tax District</b>	01-COUNTY-TX DIST 1
<b>DOR Use Code</b>	01-SINGLE FAMILY
<b>Exemptions</b>	00-HOMESTEAD(2010)
<b>AG Classification</b>	No

	2024 Working Values	2023 Certified Values
<b>Valuation Method</b>	Cost/Market	Cost/Market
<b>Number of Buildings</b>	1	1
<b>Depreciated Bldg Value</b>	\$214,489	\$213,028
<b>Depreciated EXFT Value</b>	\$1,200	\$1,200
<b>Land Value (Market)</b>	\$51,800	\$51,800
<b>Land Value Ag</b>		
<b>Just/Market Value</b>	\$267,489	\$266,028
<b>Portability Adj</b>		
<b>Save Our Homes Adj</b>	\$62,436	\$66,947
<b>Amendment 1 Adj</b>	\$0	\$0
<b>P&amp;G Adj</b>	\$0	\$0
<b>Assessed Value</b>	\$205,053	\$199,081

## 2023 Certified Tax Summary

**2023 Tax Amount without Exemptions** \$3,540.30    **2023 Tax Savings with Exemptions** \$1,421.88  
**2023 Tax Bill Amount** \$2,118.42

\* Does NOT INCLUDE Non Ad Valorem Assessments

## Legal Description

SEC 22 TWP 21S RGE 29E  
 BEG 559.12 FT W OF CEN OF  
 SEC RUN W 98 FT S 330 FT E  
 98 FT N 330 FT TO BEG

## Taxes

Taxing Authority	Assessment Value	Exempt Values	Taxable Value
ROAD DISTRICT	\$205,053	\$50,000	\$155,053
SJWM(Saint Johns Water Management)	\$205,053	\$50,000	\$155,053
FIRE	\$205,053	\$50,000	\$155,053
COUNTY GENERAL FUND	\$205,053	\$50,000	\$155,053
Schools	\$205,053	\$25,000	\$180,053

## Sales

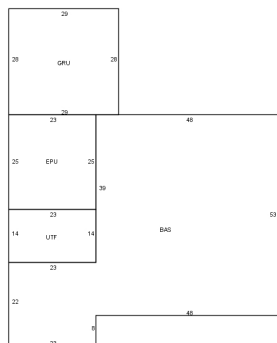
Description	Date	Book	Page	Amount	Qualified	Vac/Imp
PROBATE RECORDS	05/01/2009	07194	0566	\$100	No	Improved
PROBATE RECORDS	01/01/2009	07121	1697	\$100	No	Improved
SPECIAL WARRANTY DEED	02/01/2003	04792	1827	\$96,000	No	Improved
CERTIFICATE OF TITLE	01/01/2003	04681	1034	\$100	No	Improved
CERTIFICATE OF TITLE	08/01/2002	04495	0714	\$26,300	No	Improved

## Land

Method	Frontage	Depth	Units	Units Price	Land Value
ACREAGE			0.74	\$70,000.00	\$51,800

## Building Information

#	Description	Year Built**	Bed	Bath	Fixtures	Base Area	Total SF	Living SF	Ext Wall	Adj Value	Repl Value	Appendages								
1	SINGLE FAMILY	1974	4	2.0	6	3,050	4,759	3,050	SIDING GRADE 3	\$214,489	\$302,097	<table border="1" style="width: 100%; border-collapse: collapse;"> <thead> <tr> <th>Description</th> <th>Area</th> </tr> </thead> <tbody> <tr> <td>GARAGE UNFINISHED</td> <td style="text-align: right;">812.00</td> </tr> <tr> <td>ENCLOSED PORCH UNFINISHED</td> <td style="text-align: right;">575.00</td> </tr> <tr> <td>UTILITY FINISHED</td> <td style="text-align: right;">322.00</td> </tr> </tbody> </table>	Description	Area	GARAGE UNFINISHED	812.00	ENCLOSED PORCH UNFINISHED	575.00	UTILITY FINISHED	322.00
Description	Area																			
GARAGE UNFINISHED	812.00																			
ENCLOSED PORCH UNFINISHED	575.00																			
UTILITY FINISHED	322.00																			



Building 1 - Page 1

\*\* Year Built (Actual / Effective)

## Permits

Permit #	Description	Agency	Amount	CO Date	Permit Date
04017	REROOF	County	\$2,200		2/23/2005
08056	529 HILLVIEW DR: REROOF RESIDENTIAL-SFR	County	\$31,000		5/23/2023

## Extra Features

Description	Year Built	Units	Value	New Cost
FIREPLACE 1	10/01/1983	1	\$1,200	\$3,000

## Zoning

Zoning	Zoning Description	Future Land Use	Future Land Use Description
A-1	Low Density Residential	LDR	Agricultural-1Ac

## Utility Information

Fire Station	Power	Phone(Analog)	Water Provider	Sewer Provider	Garbage Pickup	Recycle	Yard Waste	Hauler
13.00	DUKE	CENTURY LINK	NA	NA	TUE/FRI	WED	WED	Advanced Disposal

## Political Representation

Commissioner	US Congress	State House	State Senate	Voting Precinct
Dist 3 - Lee Constantine	Dist 7 - Stephanie Murphy	Dist 30 - Joy Goff-Marcil	Dist 9 - Jason Brodeur	52

## School Information

Elementary School District	Middle School District	High School District
Spring Lake	Teague	Lake Brantley

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# Property Record Card

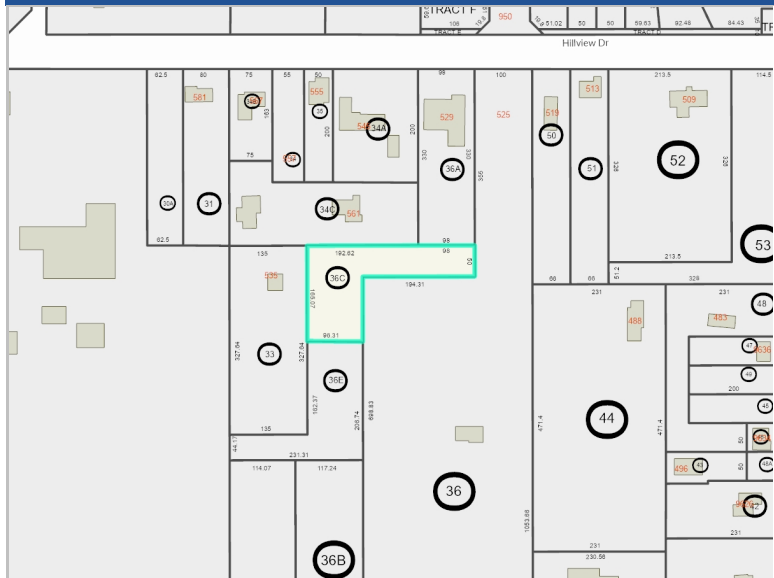


**Parcel** 22-21-29-300-036C-0000

**Property Address** HILLVIEW DR ALTAMONTE SPRINGS, FL 32701

## Parcel Location

## Site View



Sorry, No Image Available at this Time

## Parcel Information

## Value Summary

<b>Parcel</b>	22-21-29-300-036C-0000
<b>Owner(s)</b>	UPSON, TERRY JR
<b>Property Address</b>	HILLVIEW DR ALTAMONTE SPRINGS, FL 32701
<b>Mailing</b>	519 HILLVIEW DR ALTAMONTE SPG, FL 32714-1602
<b>Subdivision Name</b>	
<b>Tax District</b>	01-COUNTY-TX DIST 1
<b>DOR Use Code</b>	00-VACANT RESIDENTIAL
<b>Exemptions</b>	None
<b>AG Classification</b>	No

	2024 Working Values	2023 Certified Values
<b>Valuation Method</b>	Cost/Market	Cost/Market
<b>Number of Buildings</b>	0	0
<b>Depreciated Bldg Value</b>		
<b>Depreciated EXFT Value</b>		
<b>Land Value (Market)</b>	\$47,200	\$47,200
<b>Land Value Ag</b>		
<b>Just/Market Value</b>	\$47,200	\$47,200
<b>Portability Adj</b>		
<b>Save Our Homes Adj</b>	\$0	\$0
<b>Amendment 1 Adj</b>	\$0	\$0
<b>P&amp;G Adj</b>	\$0	\$0
<b>Assessed Value</b>	\$47,200	\$47,200

## 2023 Certified Tax Summary

<b>2023 Tax Amount without Exemptions</b>	<b>\$628.14</b>
<b>2023 Tax Bill Amount</b>	<b>\$628.14</b>

\* Does NOT INCLUDE Non Ad Valorem Assessments

## Legal Description

SEC 22 TWP 21S RGE 29E  
 BEG 559.12 FT W & 380 FT S OF NE  
 COR OF SW 1/4 RUN W 194.31 FT S  
 112.45 FT W 96.31 FT N 165.07 FT  
 E 192.62 FT S 2.45 FT E 98 FT S  
 50 FT TO BEG  
 (.594 AC)

## Taxes

Taxing Authority	Assessment Value	Exempt Values	Taxable Value
ROAD DISTRICT	\$47,200	\$0	\$47,200
SJWM(Saint Johns Water Management)	\$47,200	\$0	\$47,200
FIRE	\$47,200	\$0	\$47,200
COUNTY GENERAL FUND	\$47,200	\$0	\$47,200
Schools	\$47,200	\$0	\$47,200

## Sales

Description	Date	Book	Page	Amount	Qualified	Vac/Imp
PROBATE RECORDS	05/01/2009	07197	0979	\$100	No	Vacant
PROBATE RECORDS	01/01/2009	07121	1697	\$100	No	Vacant
ADMINISTRATIVE DEED	09/01/1986	01767	1995	\$100	No	Vacant

## Land

Method	Frontage	Depth	Units	Units Price	Land Value
ACREAGE			0.59	\$80,000.00	\$47,200

## Building Information

### Permits

Permit #	Description	Agency	Amount	CO Date	Permit Date
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## Extra Features

Description	Year Built	Units	Value	New Cost
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## Zoning

Zoning	Zoning Description	Future Land Use	Future Land Use Description
A-1	Low Density Residential	LDR	Agricultural-1Ac

## Utility Information

Fire Station	Power	Phone(Analog)	Water Provider	Sewer Provider	Garbage Pickup	Recycle	Yard Waste	Hauler
13.00	DUKE	CENTURY LINK	NA	NA	NA	NA	NA	NA

## Political Representation

Commissioner	US Congress	State House	State Senate	Voting Precinct
Dist 3 - Lee Constantine	Dist 7 - Stephanie Murphy	Dist 30 - Joy Goff-Marcil	Dist 9 - Jason Brodeur	52

## School Information

Elementary School District	Middle School District	High School District
Spring Lake	Teague	Lake Brantley

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# Property Record Card

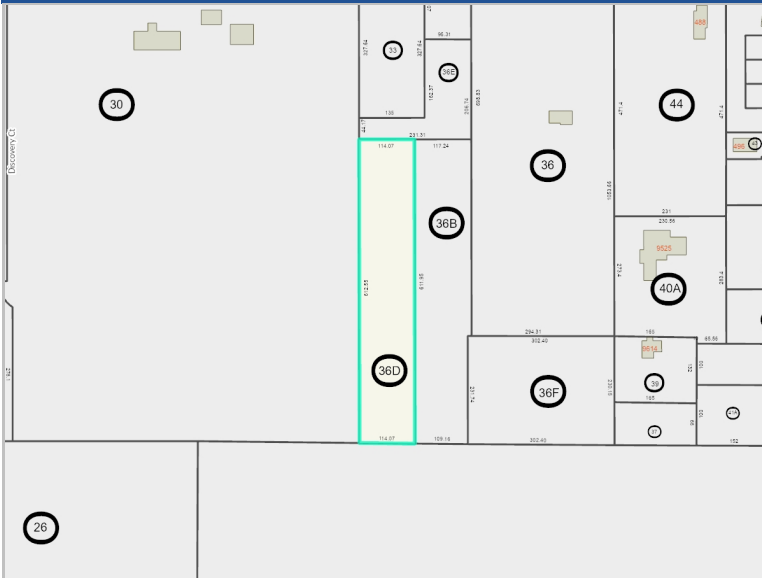


**Parcel** 22-21-29-300-036D-0000

**Property Address** HILLVIEW DR ALTAMONTE SPRINGS, FL 32701

## Parcel Location

## Site View



Sorry, No Image Available at this Time

## Parcel Information

## Value Summary

<b>Parcel</b>	22-21-29-300-036D-0000
<b>Owner(s)</b>	UPSON, TERRY
<b>Property Address</b>	HILLVIEW DR ALTAMONTE SPRINGS, FL 32701
<b>Mailing</b>	519 HILLVIEW DR ALTAMONTE SPG, FL 32714-1602
<b>Subdivision Name</b>	
<b>Tax District</b>	01-COUNTY-TX DIST 1
<b>DOR Use Code</b>	00-VACANT RESIDENTIAL
<b>Exemptions</b>	None
<b>AG Classification</b>	No

	2024 Working Values	2023 Certified Values
<b>Valuation Method</b>	Cost/Market	Cost/Market
<b>Number of Buildings</b>	0	0
<b>Depreciated Bldg Value</b>		
<b>Depreciated EXFT Value</b>		
<b>Land Value (Market)</b>	\$96,000	\$96,000
<b>Land Value Ag</b>		
<b>Just/Market Value</b>	\$96,000	\$96,000
<b>Portability Adj</b>		
<b>Save Our Homes Adj</b>	\$0	\$0
<b>Amendment 1 Adj</b>	\$0	\$0
<b>P&amp;G Adj</b>	\$0	\$0
<b>Assessed Value</b>	\$96,000	\$96,000

## 2023 Certified Tax Summary

<b>2023 Tax Amount without Exemptions</b>	<b>\$1,277.57</b>
<b>2023 Tax Bill Amount</b>	<b>\$1,277.57</b>

\* Does NOT INCLUDE Non Ad Valorem Assessments

## Legal Description

SEC 22 TWP 21S RGE 29E  
 BEG SE COR OF W 1/4 OF NE 1/4 OF  
 SW 1/4 RUN N 612.55 FT E 114.07  
 FT S 611.95 FT W 114.07 FT TO BEG  
 (1.6032 AC)



## Taxes

Taxing Authority	Assessment Value	Exempt Values	Taxable Value
ROAD DISTRICT	\$96,000	\$0	\$96,000
SJWM(Saint Johns Water Management)	\$96,000	\$0	\$96,000
FIRE	\$96,000	\$0	\$96,000
COUNTY GENERAL FUND	\$96,000	\$0	\$96,000
Schools	\$96,000	\$0	\$96,000

## Sales

Description	Date	Book	Page	Amount	Qualified	Vac/Imp
QUIT CLAIM DEED	09/01/2002	04550	1339	\$100	No	Vacant
QUIT CLAIM DEED	04/01/1995	02972	0388	\$100	No	Vacant
ADMINISTRATIVE DEED	09/01/1986	01767	1993	\$100	No	Vacant

## Land

Method	Frontage	Depth	Units	Units Price	Land Value
ACREAGE			1.6	\$60,000.00	\$96,000

## Building Information

### Permits

Permit #	Description	Agency	Amount	CO Date	Permit Date
----------	-------------	--------	--------	---------	-------------

## Extra Features

Description	Year Built	Units	Value	New Cost
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## Zoning

Zoning	Zoning Description	Future Land Use	Future Land Use Description
A-1	Low Density Residential	LDR	Agricultural-1Ac

## Utility Information

Fire Station	Power	Phone(Analog)	Water Provider	Sewer Provider	Garbage Pickup	Recycle	Yard Waste	Hauler
13.00	DUKE	CENTURY LINK	NA	NA	NA	NA	NA	NA

## Political Representation

Commissioner	US Congress	State House	State Senate	Voting Precinct
Dist 3 - Lee Constantine	Dist 7 - Stephanie Murphy	Dist 30 - Joy Goff-Marcil	Dist 9 - Jason Brodeur	52

## School Information

Elementary School District	Middle School District	High School District
Spring Lake	Teague	Lake Brantley

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# Property Record Card

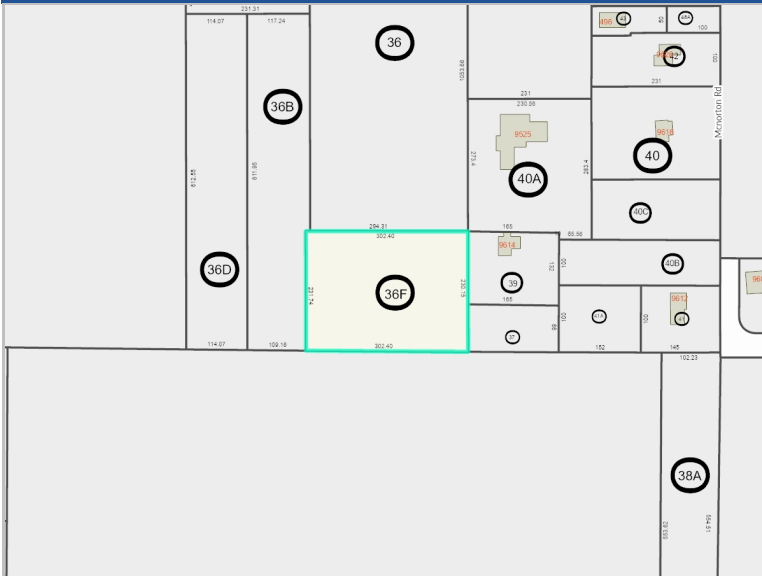


**Parcel** 22-21-29-300-036F-0000

**Property Address** HILLVIEW DR ALTAMONTE SPRINGS, FL 32714

## Parcel Location

## Site View



Sorry, No Image Available at this Time

## Parcel Information

## Value Summary

<b>Parcel</b>	22-21-29-300-036F-0000
<b>Owner(s)</b>	UPSON, TERRY
<b>Property Address</b>	HILLVIEW DR ALTAMONTE SPRINGS, FL 32714
<b>Mailing</b>	519 HILLVIEW DR ALTAMONTE SPG, FL 32714-1602
<b>Subdivision Name</b>	
<b>Tax District</b>	01-COUNTY-TX DIST 1
<b>DOR Use Code</b>	00-VACANT RESIDENTIAL
<b>Exemptions</b>	None
<b>AG Classification</b>	No

	2024 Working Values	2023 Certified Values
<b>Valuation Method</b>	Cost/Market	Cost/Market
<b>Number of Buildings</b>	0	0
<b>Depreciated Bldg Value</b>		
<b>Depreciated EXFT Value</b>		
<b>Land Value (Market)</b>	\$96,000	\$96,000
<b>Land Value Ag</b>		
<b>Just/Market Value</b>	\$96,000	\$96,000
<b>Portability Adj</b>		
<b>Save Our Homes Adj</b>	\$0	\$0
<b>Amendment 1 Adj</b>	\$0	\$0
<b>P&amp;G Adj</b>	\$0	\$0
<b>Assessed Value</b>	\$96,000	\$96,000

## 2023 Certified Tax Summary

<b>2023 Tax Amount without Exemptions</b>	<b>\$1,277.57</b>
<b>2023 Tax Bill Amount</b>	<b>\$1,277.57</b>

\* Does NOT INCLUDE Non Ad Valorem Assessments

## Legal Description

SEC 22 TWP 21S RGE 29E  
 BEG 459.12 FT W & 1078.66 FT S OF  
 NE COR OF SW 1/4 RUN S 230.15 FT  
 W 302.40 FT N 231.74 FT E 302.40  
 FT TO BEG  
 (1.6032 AC)

Taxes			
Taxing Authority	Assessment Value	Exempt Values	Taxable Value
ROAD DISTRICT	\$96,000	\$0	\$96,000
SJWM(Saint Johns Water Management)	\$96,000	\$0	\$96,000
FIRE	\$96,000	\$0	\$96,000
COUNTY GENERAL FUND	\$96,000	\$0	\$96,000
Schools	\$96,000	\$0	\$96,000

Sales						
Description	Date	Book	Page	Amount	Qualified	Vac/Imp
FINAL JUDGEMENT	10/01/2002	04559	0857	\$100	No	Vacant
QUIT CLAIM DEED	09/01/2002	04550	1343	\$100	No	Vacant
QUIT CLAIM DEED	10/01/1995	02982	0005	\$100	No	Vacant
QUIT CLAIM DEED	08/01/1990	02236	1204	\$100	No	Vacant
ADMINISTRATIVE DEED	09/01/1986	01767	1989	\$100	No	Vacant

Land					
Method	Frontage	Depth	Units	Units Price	Land Value
ACREAGE			1.6	\$60,000.00	\$96,000

Building Information					
Permits					
Permit #	Description	Agency	Amount	CO Date	Permit Date

Extra Features				
Description	Year Built	Units	Value	New Cost

Zoning			
Zoning	Zoning Description	Future Land Use	Future Land Use Description
A-1	Low Density Residential	LDR	Agricultural-1Ac

Utility Information								
Fire Station	Power	Phone(Analog)	Water Provider	Sewer Provider	Garbage Pickup	Recycle	Yard Waste	Hauler
13.00	DUKE	CENTURY LINK	NA	NA	NA	NA	NA	NA

Political Representation				
Commissioner	US Congress	State House	State Senate	Voting Precinct
Dist 3 - Lee Constantine	Dist 7 - Stephanie Murphy	Dist 30 - Joy Goff-Marcil	Dist 9 - Jason Brodeur	52

School Information		
Elementary School District	Middle School District	High School District
Spring Lake	Teague	Lake Brantley

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# Property Record Card

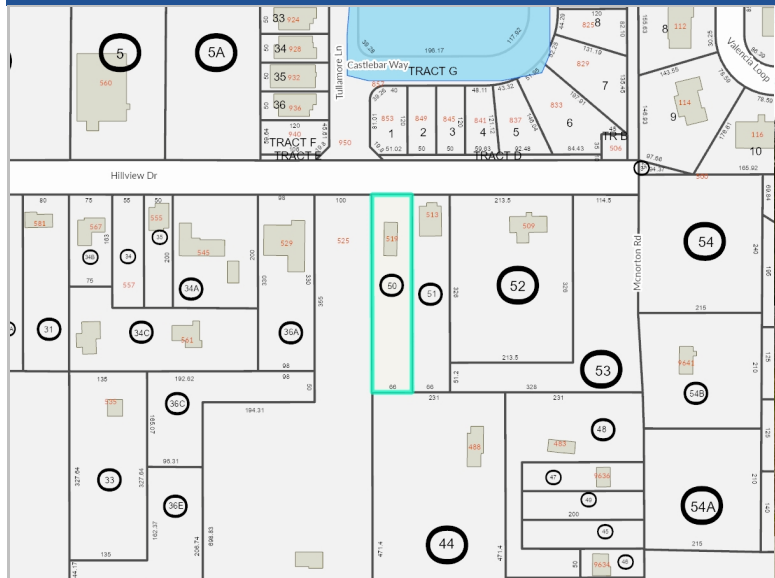


**Parcel** 22-21-29-300-0500-0000

**Property Address** 519 HILLVIEW DR ALTAMONTE SPRINGS, FL 32714

## Parcel Location

## Site View



22212930005000000 01/27/2022

## Parcel Information

## Value Summary

<b>Parcel</b>	22-21-29-300-0500-0000
<b>Owner(s)</b>	UPSON, TERRY
<b>Property Address</b>	519 HILLVIEW DR ALTAMONTE SPRINGS, FL 32714
<b>Mailing</b>	529 HILLVIEW DR ALTAMONTE SPG, FL 32714-1602
<b>Subdivision Name</b>	
<b>Tax District</b>	01-COUNTY-TX DIST 1
<b>DOR Use Code</b>	02-MOBILE/MANUFACTURED HOME
<b>Exemptions</b>	None
<b>AG Classification</b>	No

	2024 Working Values	2023 Certified Values
<b>Valuation Method</b>	Cost/Market	Cost/Market
<b>Number of Buildings</b>	1	1
<b>Depreciated Bldg Value</b>	\$22,214	\$20,549
<b>Depreciated EXFT Value</b>	\$2,800	\$2,400
<b>Land Value (Market)</b>	\$43,200	\$43,200
<b>Land Value Ag</b>		
<b>Just/Market Value</b>	\$68,214	\$66,149
<b>Portability Adj</b>		
<b>Save Our Homes Adj</b>	\$0	\$0
<b>Amendment 1 Adj</b>	\$0	\$0
<b>P&amp;G Adj</b>	\$0	\$0
<b>Assessed Value</b>	\$68,214	\$66,149

## 2023 Certified Tax Summary

**2023 Tax Amount without Exemptions** \$880.31  
**2023 Tax Bill Amount** \$880.31

\* Does NOT INCLUDE Non Ad Valorem Assessments

## Legal Description

SEC 22 TWP 21S RGE 29E  
 W 66 FT OF E 458.5 FT OF  
 NE 1/4 OF SW 1/4 (LESS S  
 942.8 FT)

## Taxes

Taxing Authority	Assessment Value	Exempt Values	Taxable Value
ROAD DISTRICT	\$68,214	\$0	\$68,214
SJWM(Saint Johns Water Management)	\$68,214	\$0	\$68,214
FIRE	\$68,214	\$0	\$68,214
COUNTY GENERAL FUND	\$68,214	\$0	\$68,214
Schools	\$68,214	\$0	\$68,214

## Sales

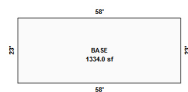
Description	Date	Book	Page	Amount	Qualified	Vac/Imp
QUIT CLAIM DEED	09/01/2002	04550	1341	\$100	No	Improved
QUIT CLAIM DEED	09/01/1995	02973	0849	\$16,900	No	Improved
QUIT CLAIM DEED	12/01/1986	01797	0840	\$100	No	Improved

## Land

Method	Frontage	Depth	Units	Units Price	Land Value
ACREAGE			0.54	\$80,000.00	\$43,200

## Building Information

#	Description	Year Built**	Bed	Bath	Fixtures	Base Area	Total SF	Living SF	Ext Wall	Adj Value	Repl Value	Appendages	
1	MOBILE HOME	1969	3	1.0	3	1,334	1,334	1,334	MOBILE HOMES AVG	\$22,214	\$55,534	Description	Area



Sketch by Apex Sketch

Building 1 - Page 1

\*\* Year Built (Actual / Effective)

## Permits

Permit #	Description	Agency	Amount	CO Date	Permit Date
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## Extra Features

Description	Year Built	Units	Value	New Cost
CARPORT 3	04/01/1969	1	\$2,800	\$7,000

## Zoning

Zoning	Zoning Description	Future Land Use	Future Land Use Description
A-1	Low Density Residential	LDR	Agricultural-1Ac

## Utility Information

Fire Station	Power	Phone(Analog)	Water Provider	Sewer Provider	Garbage Pickup	Recycle	Yard Waste	Hauler
13.00	DUKE	CENTURY LINK	NA	NA	TUE/FRI	WED	NO SERVICE	Advanced Disposal

## Political Representation

Commissioner	US Congress	State House	State Senate	Voting Precinct
Dist 3 - Lee Constantine	Dist 7 - Stephanie Murphy	Dist 30 - Joy Goff-Marcil	Dist 9 - Jason Brodeur	52

## School Information

Elementary School District	Middle School District	High School District
Spring Lake	Teague	Lake Brantley

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**Seminole County Government  
Development Services Department  
Planning and Development Division  
Credit Card Payment Receipt**

If you have questions about your application or payment, please email us [eplandesk@seminolecountyfl.gov](mailto:eplandesk@seminolecountyfl.gov) or call us at: (407) 665-7371.

**Receipt Details**

**Date:** 10/18/2023 12:59:19 PM  
**Project:** 23-80000145  
**Credit Card Number:** 48\*\*\*\*\*3449  
**Authorization Number:** 018990  
**Transaction Number:** 181023C19-4E28341D-2BFC-4EC0-A149-4B8C51F1BD9C  
**Total Fees Paid:** 52.50

**Fees Paid**

<b>Description</b>	<b>Amount</b>
CC CONVENIENCE FEE -- PZ	2.50
PRE APPLICATION	50.00
Total Amount	52.50