



**SEMINOLE COUNTY
PLANNING & DEVELOPMENT DIVISION
1101 EAST FIRST STREET, ROOM 2028
SANFORD, FLORIDA 32771
(407) 665-7371 EPLANDESK@SEMINOLECOUNTYFL.GOV**

PROJ. #: 24-80000092

PRE-APPLICATION

INCOMPLETE APPLICATIONS WILL NOT BE ACCEPTED

APPLICATION FEE

<input type="checkbox"/> PRE-APPLICATION	\$50.00
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PROJECT

PROJECT NAME:	St Anthony Workshop Bldg		
PARCEL ID #(S):	23-21-29-300-0090-0000		
TOTAL ACREAGE:	0.01 0.09	BCC DISTRICT:	3: Constantine
ZONING:	R-1AA	FUTURE LAND USE:	LDR

APPLICANT

NAME:	Father Daoud Tawadrous	COMPANY:	St. Anthony Coptic Orthodox Church Inc	
ADDRESS:	1185 N Wymore Road			
CITY:	Maitland	STATE:	FL	ZIP: 32751
PHONE:	321- 422-0944	EMAIL:	peterishak79@gmail.com; fr.daoudt@gmail.com	

CONSULTANT

NAME:	COMPANY:		
ADDRESS:			
CITY:	STATE:	ZIP:	
PHONE:	EMAIL:		

PROPOSED DEVELOPMENT (CHECK ALL THAT APPLY)

SUBDIVISION LAND USE AMENDMENT REZONE SITE PLAN SPECIAL EXCEPTION

Description of proposed development:
 A house for workshops and priest from out of town to rest. There will be power & water in the struture and also available at the multi-use building already existing

STAFF USE ONLY

COMMENTS DUE: 7/19	COM DOC DUE: 7/25	DRC MEETING: 8/7
<input type="checkbox"/> PROPERTY APPRAISER SHEET <input type="checkbox"/> PRIOR REVIEWS:		
ZONING: R-1AA	FLU: LDR	LOCATION: on the west side of Wymore Rd, south of Oranole Rd
W/S: Seminole County	BCC: 3: Constantine	

Wymore Rd

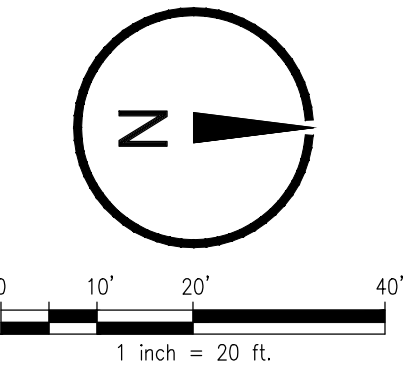
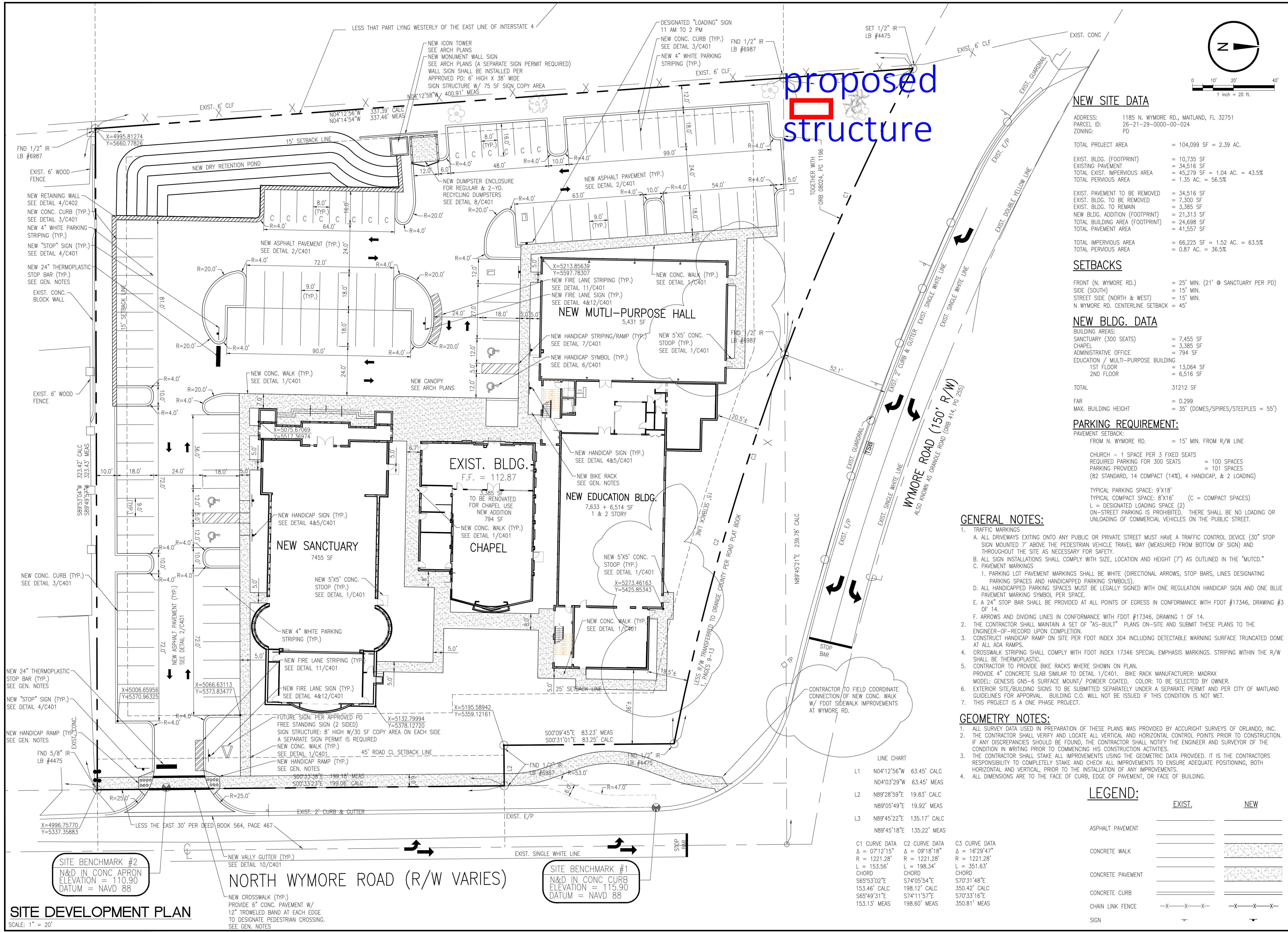
Wymore Rd



16
x
44

Crushed
Concrete

Main
Entrance



NEW SITE DATA

ADDRESS: 1185 N. WYMORE RD., MAITLAND, FL 32751
 PARCEL ID: 26-21-29-0000-00-024
 ZONING: PD

TOTAL PROJECT AREA = 104,099 SF = 2.39 AC.
 EXIST. BLDG. (FOOTPRINT) = 10,735 SF
 EXISTING PAVEMENT = 34,516 SF
 TOTAL EXIST. IMPERVIOUS AREA = 45,279 SF = 1.04 AC. = 43.5%
 TOTAL PERVIOUS AREA = 1.35 AC. = 56.5%

EXIST. PAVEMENT TO BE REMOVED = 34,516 SF
 EXIST. BLDG. TO BE REMOVED = 7,300 SF
 EXIST. BLDG. TO REMAIN = 3,385 SF
 NEW BLDG. ADDITION (FOOTPRINT) = 21,313 SF
 TOTAL BUILDING AREA (FOOTPRINT) = 24,698 SF
 TOTAL PAVEMENT AREA = 41,557 SF

TOTAL IMPERVIOUS AREA = 66,225 SF = 1.52 AC. = 63.5%
 TOTAL PERVIOUS AREA = 0.87 AC. = 36.5%

SETBACKS

FRONT (N. WYMORE RD.) = 25' MIN. (21' @ SANCTUARY PER PD)
 SIDE (SOUTH) = 15' MIN.
 STREET SIDE (NORTH & WEST) = 15' MIN.
 N WYMORE RD. CENTERLINE SETBACK = 45'

NEW BLDG. DATA

BUILDING AREAS:
 SANCTUARY (300 SEATS) = 7,455 SF
 CHAPEL = 3,385 SF
 ADMINISTRATIVE OFFICE = 794 SF
 EDUCATION / MULTI-PURPOSE BUILDING
 1ST FLOOR = 13,064 SF
 2ND FLOOR = 6,516 SF

TOTAL = 31,212 SF

FAR = 0.299
 MAX. BUILDING HEIGHT = 35' (DOMES/SPIRES/STEEPLES = 55')

PARKING REQUIREMENT:

PAVEMENT SETBACK:
 FROM N. WYMORE RD. = 15' MIN. FROM R/W LINE

CHURCH - 1 SPACE PER 3 FIXED SEATS
 REQUIRED PARKING FOR 300 SEATS = 100 SPACES
 PARKING PROVIDED = 101 SPACES
 (82 STANDARD, 14 COMPACT (14%), 4 HANDICAP, & 2 LOADING)

TYPICAL PARKING SPACE: 9'X16'
 TYPICAL COMPACT SPACE: 8'X16' (C = COMPACT SPACES)
 1 DESIGNATED LOADING SPACE (2)
 1-10' STREET PARKING IS PROHIBITED. THERE SHALL BE NO LOADING OR UNLOADING OF COMMERCIAL VEHICLES ON THE PUBLIC STREET.

GENERAL NOTES:

- TRAFFIC MARKINGS
 A. ALL DRIVEWAYS EXITING ONTO ANY PUBLIC OR PRIVATE STREET MUST HAVE A TRAFFIC CONTROL DEVICE (30" STOP SIGN MOUNTED 7' ABOVE THE PEDESTRIAN VEHICLE TRAVEL WAY (MEASURED FROM BOTTOM OF SIGN) AND THROUGHOUT THE SITE AS NECESSARY FOR SAFETY.
 B. ALL SIGN INSTALLATIONS SHALL COMPLY WITH SIZE, LOCATION AND HEIGHT (7') AS OUTLINED IN THE "MUTCD."
 C. PAVEMENT MARKINGS
 1. PARKING LOT PAVEMENT MARKINGS SHALL BE WHITE (DIRECTIONAL ARROWS, STOP BARS, LINES DESIGNATING PARKING SPACES AND HANDICAPPED PARKING SYMBOLS).
 D. ALL HANDICAPPED PARKING SPACES MUST BE LEGALLY SIGNED WITH ONE REGULATION HANDICAP SIGN AND ONE BLUE PAVEMENT MARKING SYMBOL PER SPACE.
 E. A 24" STOP BAR SHALL BE PROVIDED AT ALL POINTS OF EGRESS IN CONFORMANCE WITH FDOT #17346, DRAWING #3 OF 14.
 F. ARROWS AND DIVIDING LINES IN CONFORMANCE WITH FDOT #17346, DRAWING 1 OF 14.
- THE CONTRACTOR SHALL MAINTAIN A SET OF "AS-BUILT" PLANS ON-SITE AND SUBMIT THESE PLANS TO THE ENGINEER-OF-RECORD UPON COMPLETION.
- CONSTRUCT HANDICAP RAMP ON SITE PER FDOT INDEX 304 INCLUDING DETECTABLE WARNING SURFACE TRUNCATED DOME AT ALL ADA RAMPS.
- CROSSWALK STRIPING SHALL COMPLY WITH FDOT INDEX 17346 SPECIAL EMPHASIS MARKINGS. STRIPING WITHIN THE R/W SHALL BE THERMOPLASTIC.
- CONTRACTOR TO PROVIDE BIKE RACKS WHERE SHOWN ON PLAN. PROVIDE 4" CONCRETE SLAB SIMILAR TO DETAIL 1/C401. BIKE RACK MANUFACTURER: MADRAX MODEL: GENESIS GNS-6 SURFACE MOUNT/ POWDER COATED. COLOR: TO BE SELECTED BY OWNER.
- EXTERIOR SITE/BUILDING SIGNS TO BE SUBMITTED SEPARATELY UNDER A SEPARATE PERMIT AND PER CITY OF MAITLAND GUIDELINES FOR APPLICABLE. BUILDING C.O. WILL NOT BE ISSUED IF THIS CONDITION IS NOT MET.
- THIS PROJECT IS A ONE PHASE PROJECT.

GEOMETRY NOTES:

- ALL SURVEY DATA USED IN PREPARATION OF THESE PLANS WAS PROVIDED BY ACCURIGHT SURVEYS OF ORLANDO, INC.
- THE CONTRACTOR SHALL VERIFY AND LOCATE ALL VERTICAL AND HORIZONTAL CONTROL POINTS PRIOR TO CONSTRUCTION. IF ANY DISCREPANCIES SHOULD BE FOUND, THE CONTRACTOR SHALL NOTIFY THE ENGINEER AND SURVEYOR OF THE CONDITION IN WRITING PRIOR TO COMMENCING HIS CONSTRUCTION ACTIVITIES.
- THE CONTRACTOR SHALL STAKE ALL IMPROVEMENTS USING THE GEOMETRIC DATA PROVIDED. IT IS THE CONTRACTORS RESPONSIBILITY TO COMPLETELY STAKE AND CHECK ALL IMPROVEMENTS TO ENSURE ADEQUATE POSITIONING, BOTH HORIZONTAL AND VERTICAL, PRIOR TO THE INSTALLATION OF ANY IMPROVEMENTS.
- ALL DIMENSIONS ARE TO THE FACE OF CURB, EDGE OF PAVEMENT, OR FACE OF BUILDING.

LEGEND:

	EXIST.	NEW
ASPHALT PAVEMENT		
CONCRETE WALK		
CONCRETE PAVEMENT		
CONCRETE CURB		
CHAIN LINK FENCE		
SIGN		

LINE CHART

L1	N04°12'56"W	63.45' CALC
	N04°03'29"W	63.45' MEAS
L2	N89°28'59"E	19.83' CALC
	N89°05'49"E	19.92' MEAS
L3	N89°45'22"E	135.17' CALC
	N89°45'18"E	135.22' MEAS

C1 CURVE DATA	C2 CURVE DATA	C3 CURVE DATA
Δ = 07°12'15"	Δ = 09°18'18"	Δ = 16°29'47"
R = 1221.28'	R = 1221.28'	R = 1221.28'
L = 153.56'	L = 198.34'	L = 351.63'
CHORD	CHORD	CHORD
S65°53'02"E	S74°05'54"E	S70°31'48"E
153.46' CALC	198.12' CALC	350.42' CALC
S65°49'31"E	S74°11'57"E	S70°33'16"E
153.13' MEAS	198.60' MEAS	350.81' MEAS

SITE DEVELOPMENT PLAN
 SCALE: 1" = 20'

ENGINEERING
 PLANNING
 URBAN DESIGN

SKConsortium, Inc.

1053 N. ORLANDO AVE., SUITE 3 • MAITLAND, FLORIDA 32751
 TELEPHONE 407-629-4288 • FACSIMILE 407-629-1656 • E# 7080

Seal: Majid Kalagachi P.E. 41046

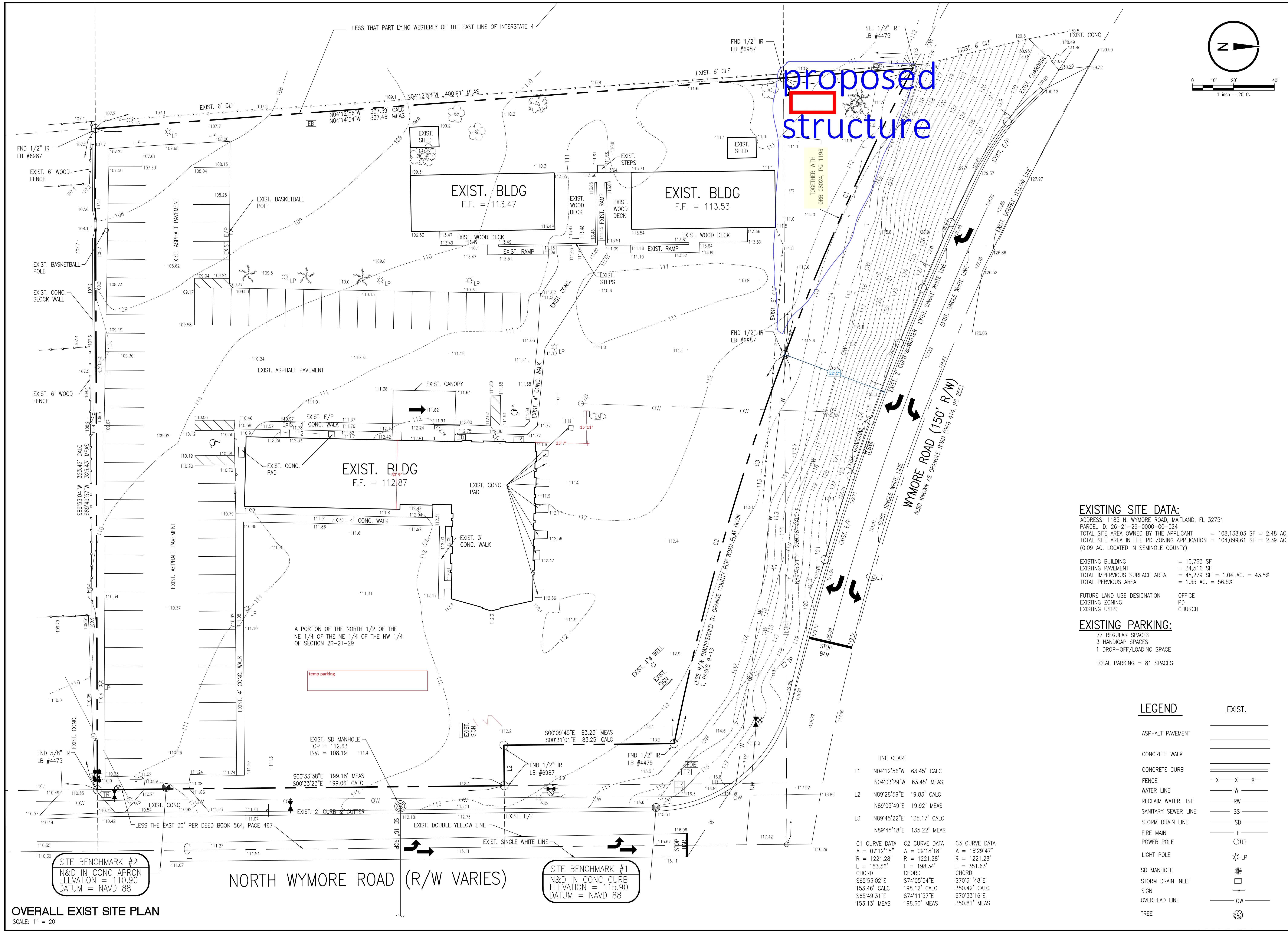
SITE DEVELOPMENT PLAN
SITE PLAN APPROVAL
ST. ANTHONY COPTIC ORTHODOX CHURCH
 MAITLAND, FLORIDA

50% PRICE SET 5-22-17
 PERMIT SET 6-22-17
 PER SUFFICIENCY 8-22-17

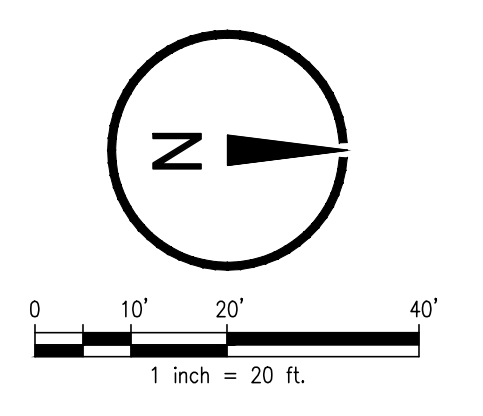
PER CITY OF MAITLAND 10-16-17
 PER FIRE 12-8-17
 PER CITY OF MAITLAND 12-29-17
 REVISED BLDGS PER OWNER 4-27-18
 REVISED PLAN 5-22-18
 ADDED SIDEWALK, GRADES 2-26-19

Issue Date and Purpose
 Project Number: **1703**

Drawn by: D. FORSYTH
 Checked: M. KALAGACHI
 File No: SKR001924X35
C101



proposed structure



EXISTING SITE DATA:
 ADDRESS: 1185 N. WYMORE ROAD, MAITLAND, FL 32751
 PARCEL ID: 26-21-29-0000-00-024
 TOTAL SITE AREA OWNED BY THE APPLICANT = 108,138.03 SF = 2.48 AC.
 TOTAL SITE AREA IN THE PD ZONING APPLICATION = 104,099.61 SF = 2.39 AC.
 (0.09 AC. LOCATED IN SEMINOLE COUNTY)

EXISTING BUILDING = 10,763 SF
 EXISTING PAVEMENT = 34,516 SF
 TOTAL IMPERVIOUS SURFACE AREA = 45,279 SF = 1.04 AC. = 43.5%
 TOTAL PERVIOUS AREA = 1.35 AC. = 56.5%

FUTURE LAND USE DESIGNATION OFFICE
 EXISTING ZONING PD
 EXISTING USES CHURCH

EXISTING PARKING:
 77 REGULAR SPACES
 3 HANDICAP SPACES
 1 DROP-OFF/LOADING SPACE
 TOTAL PARKING = 81 SPACES

LEGEND	EXIST.
ASPHALT PAVEMENT	
CONCRETE WALK	
CONCRETE CURB	
FENCE	
WATER LINE	
RECLAIM WATER LINE	
SANITARY SEWER LINE	
STORM DRAIN LINE	
FIRE MAIN	
POWER POLE	
LIGHT POLE	
SD MANHOLE	
STORM DRAIN INLET	
SIGN	
OVERHEAD LINE	
TREE	

LINE CHART	C1 CURVE DATA	C2 CURVE DATA	C3 CURVE DATA
L1 N04°12'56"W 63.45' CALC	Δ = 07°12'15"	Δ = 09°18'18"	Δ = 16°29'47"
N04°03'29"W 63.45' MEAS	R = 1221.28'	R = 1221.28'	R = 1221.28'
L2 N89°28'59"E 19.83' CALC	L = 153.56'	L = 198.34'	L = 351.63'
N89°05'49"E 19.92' MEAS	CHORD	CHORD	CHORD
L3 N89°45'22"E 135.17' CALC	S65°53'02"E	S74°05'54"E	S70°31'48"E
N89°45'18"E 135.22' MEAS	153.46' CALC	198.12' CALC	350.42' CALC
	S65°49'31"E	S74°11'57"E	S70°33'16"E
	153.13' MEAS	198.60' MEAS	350.81' MEAS

OVERALL EXIST SITE PLAN
 SCALE: 1" = 20'

Seal: Majid Kalaghchi P.E. 41046

OVERALL EXIST. SITE PLAN
 SITE PLAN APPROVAL
 ST. ANTHONY COPTIC ORTHODOX CHURCH
 MAITLAND, FLORIDA

50% PRICE SET 5-22-17
 PERMIT SET 6-22-17
 PER SUFFICIENCY 8-22-17

PER CITY OF MAITLAND 10-16-17
 PER FIRE 12-8-17
 PER CITY OF MAITLAND 12-29-17

Issue Date and Purpose
 Project Number: 1703

Drawn by: D. FORSYTH
 Checked: M. KALAGHCHI
 File No: 18042019024X35

C001

February 20, 2024

Mr. Thomas Campbell
Florida Department of Business and Professional Regulation
2601 Blair Stone Road, Building C
Tallahassee, Florida 32399-6563

**RE: Plan Approval
SWEETWATER PORTABLES
Plan # AR-SIDE LOFTED BARN-23**

Dear Mr. Campbell,

Pursuant to the requirements of the Department of Business & Professional Regulation, the above referenced documents have been reviewed for compliance with:

**2023 Florida Building Code, 8th Edition
2020 National Electrical Code (NFPA-70)**

All mandatory comments have been satisfied and plans are approved for construction by a currently approved modular building manufacturer.

These documents were reviewed for only what is to be constructed in the factory. Any work performed at the site, such as the foundation, is under the authority and jurisdiction of the local Building Official.

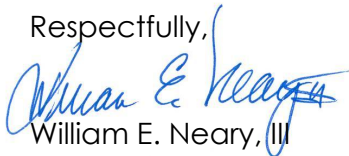
Third Party Agency approval in no way alleviates the builder/manufacturer from complying with all the applicable codes, which may or may not be identified in this review. Approval also does not preclude the local building official from requiring work be performed that was not previously reviewed, approved, and constructed under the State of Florida's Manufactured (Modular) Building Program to make the building, code compliant, for the intended use.

A signed and sealed set of plans are maintained on file with Top Line Engineering, LLC.

If you require my assistance in any way, please do not hesitate to contact me.

Thank you.

Respectfully,



William E. Neary, III
Plans Examiner
SMI-79, SMP-51, ICC 5185040, LSUCCC U02478
Business Partner
Top Line Engineering, LLC
BILL.TLE@yahoo.com

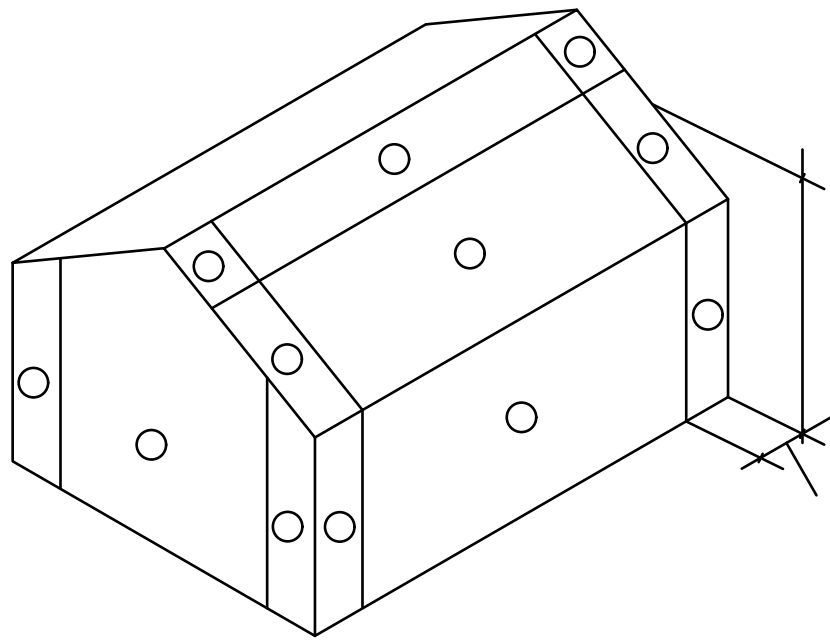
PLEASE NOTE:

Any questions regarding local permitting should be directed to the Manufacturer. The Manufacturer's contact information can be found in the title block of the plans.

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2024-02-20 TOP LINE ENGINEERING, LLC APPROVAL

TOP LINE ENGINEERING, LLC
 STRUCTURAL ENGINEERS
 William E. Neary, III
 SMP-51, SMI-79, ICC 5185040
 10649 Oakview Pointe Terrace
 Gotha, Florida 34734



NOT APPROVED FOR HVHZ

4.6.2 PRESSURE TREATED STRUCTURAL LUMBER IS NOT TO BE USED FOR INTERIOR FRAMING.
 4.6.3 BUILDING SKIDS ARE ALLOWED TO BE IN DIRECT CONTACT WITH EARTH AND SHALL BE GROUND CONTACT PRESSURE TREATED.

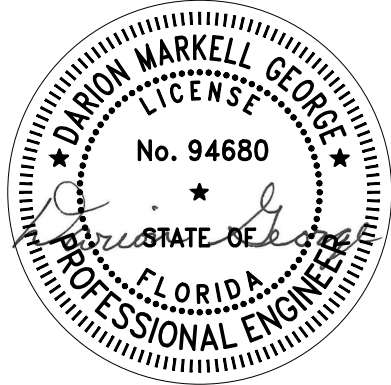
5.0 FASTENERS
 5.1 SEE FASTENING SCHEDULE THIS SHEET
 5.2 ALL FASTENERS AND CONNECTORS IN CONTACT WITH PRESSURE TREATED WOOD SHALL BE HOT DIPPED GALVANIZED OR STAINLESS STEEL

6.0 ROOF COMPONENTS
 6.1 SHINGLES
 6.1.1 FASTENERS SHALL BE GALVANIZED ROOFING NAILS WITH A MINIMUM 12 GA. SHANK AND MINIMUM 3/8" DIA. HEAD.
 6.1.2 FASTENERS SHALL BE LONG ENOUGH TO PENETRATE THE SHINGLES AND PROTRUDE AT LEAST 3/4" INTO OR THROUGH THE ROOF SHEATHING.
 6.1.3 SHINGLES SHALL COMPLY WITH M-DC PA 107-LATEST.
 6.1.4 SHINGLES SHALL BE 25-YEAR RATED (MIN).
 6.1.5 SHINGLES SHALL BE INSTALLED PER MANUFACTURER'S SPECIFICATIONS

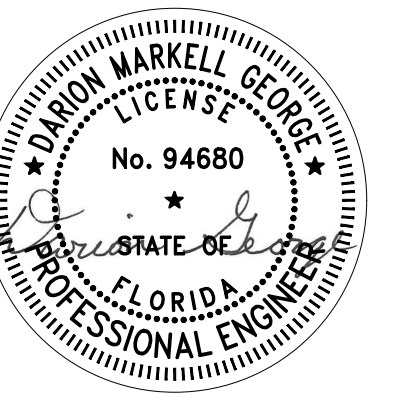
6.2 METAL
 6.2.1 ALL METAL DECK SHALL CONFORM TO THE REQUIREMENTS OF THE STEEL DECK INSTITUTE.
 6.2.2 METAL ROOF DECK SHALL BE 36" WIDE, 29 PRIME GA. CSMI PANEL-LOC PLUS PANEL (MIN)
 6.2.3 ROOF DECK SHALL BE FASTENED IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS.
 6.2.4 ALL ENDS AND SIDES ARE TO BE ATTACHED WITH #12 HEX HEAD GALV SELF-TAPPING TEK SCREWS.
 6.2.5 USE WELD WASHERS FOR ALL DECKING 24 GA. AND THINNER.

6.3 ALL ROOF CLADDING SHALL BE RATED FOR THE WIND PRESSURE PER THE 2023 FBC 8
 6.4 ALL ROOF CLADDING SHALL BE INSTALLED IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS.

*****NOTE: ANY QUESTIONS REGARDING THE PLANS/PERMITTING SHOULD BE DIRECTED TO THE MANUFACTURER, WHOSE CONTACT INFORMATION IS FOUND IN THE TITLE BLOCK OF THE PLANS.**



RAVIAN
 ENGINEERING



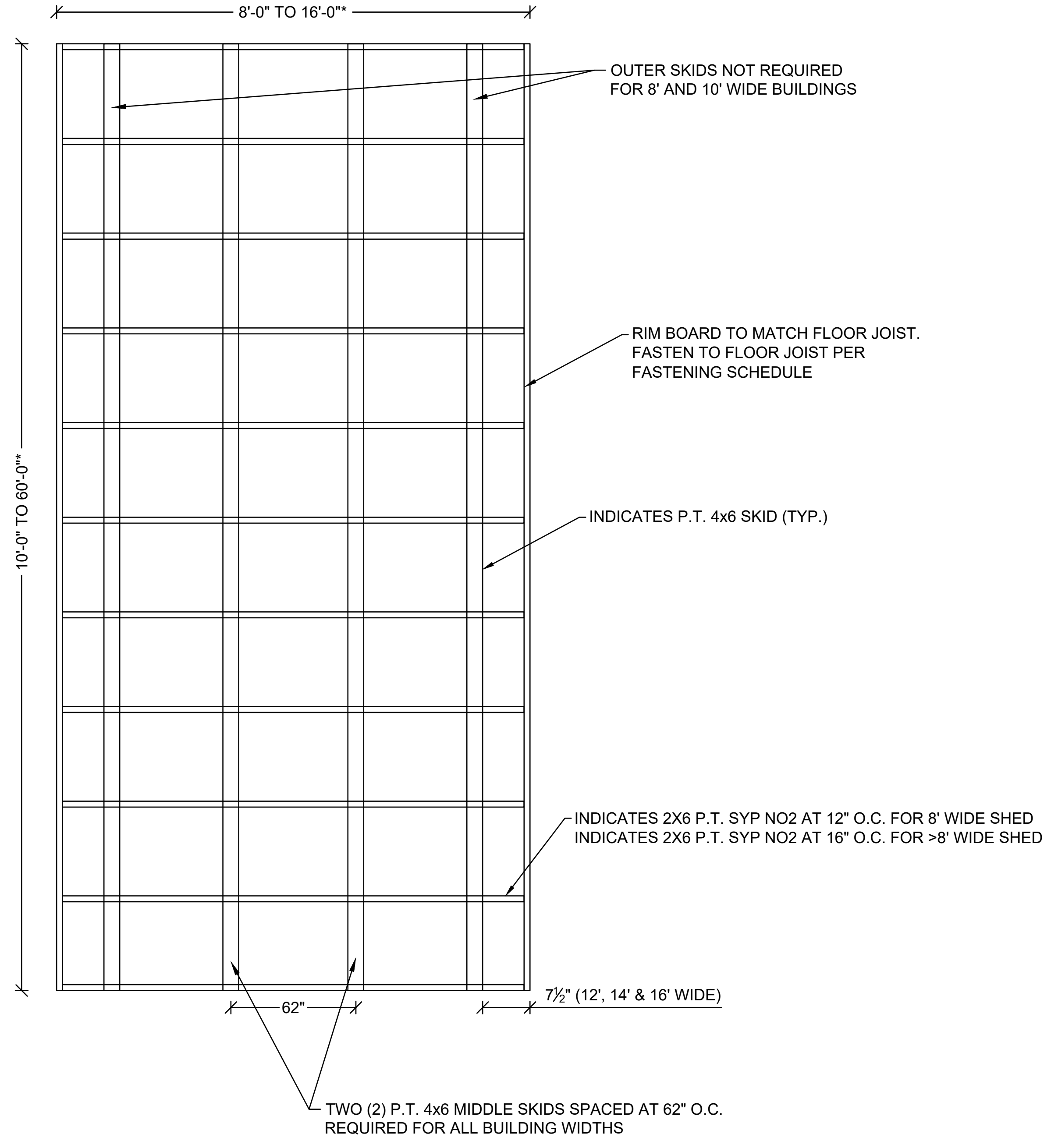
RAVIAN
ENGINEERING
P.O. BOX 802
PADUCAH, KY 42002
www.ravianeng.com

DRAWN BY
DMG
CHECKED BY
DATE
FEBRUARY 21, 2024

REVISION/ISSUED	DATE	BY
FINAL SUBMITTAL	2/21/2024	DMG

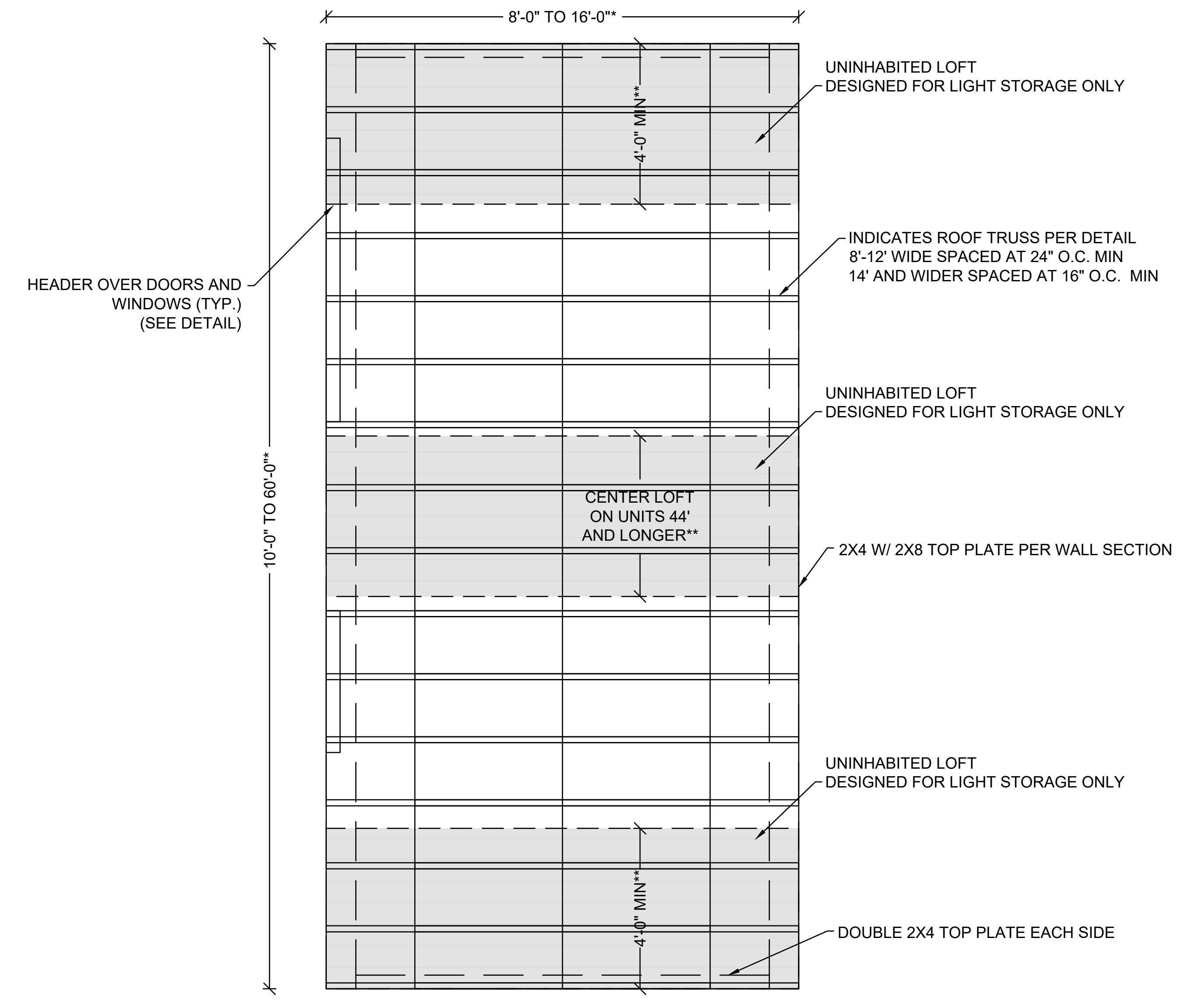
SIDE LOFTED BARN
FRAMING PLANS
STOR-MOR
PORTABLE BUILDINGS
1104 PARIS ROAD
MAYFIELD, KY

SHEET
2
PROJECT
2401.00



TYPICAL FLOOR FRAMING PLAN

*FLOOR AREA SHALL NOT EXCEED 719 S.F.

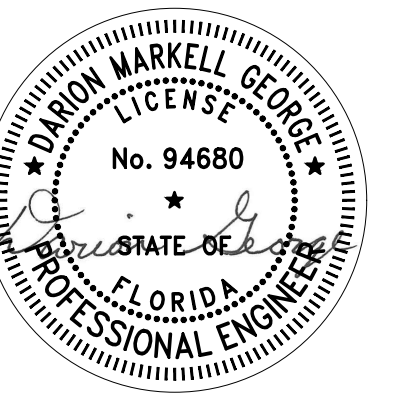


**UNINHABITED LOFT NOTE:
SEE STOR-MOR CONSTRUCTION
MANUAL FOR SPECIFIC LOFT SIZING

ROOF FRAMING PLAN

TOP LINE ENGINEERING, LLC
STRUCTURAL ENGINEERS
William E. Neary, III
SMP-51, SMI-79, ICC 5185040
10649 Oakview Pointe Terrace
Gotha, Florida 34734

2024-02-20 TOP LINE ENGINEERING, LLC APPROVAL



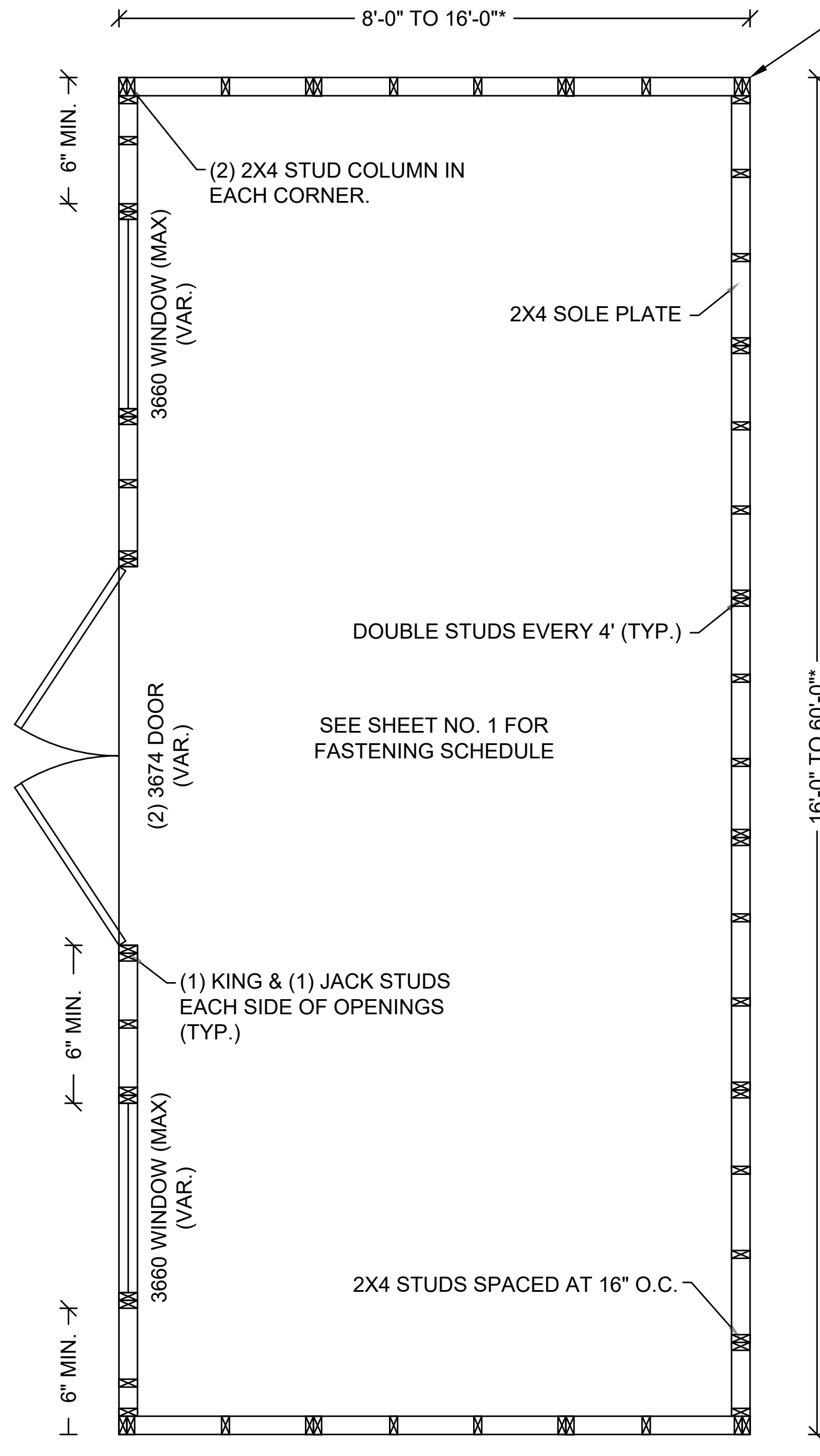
RAVIAN
ENGINEERING
P.O. BOX 802
PADUCAH, KY 42002
www.ravianeng.com

DRAWN BY
DMG
CHECKED BY
DATE
FEBRUARY 21, 2024

REVISION/ISSUED	DATE	BY
FINAL SUBMITTAL	2/21/2024	DMG

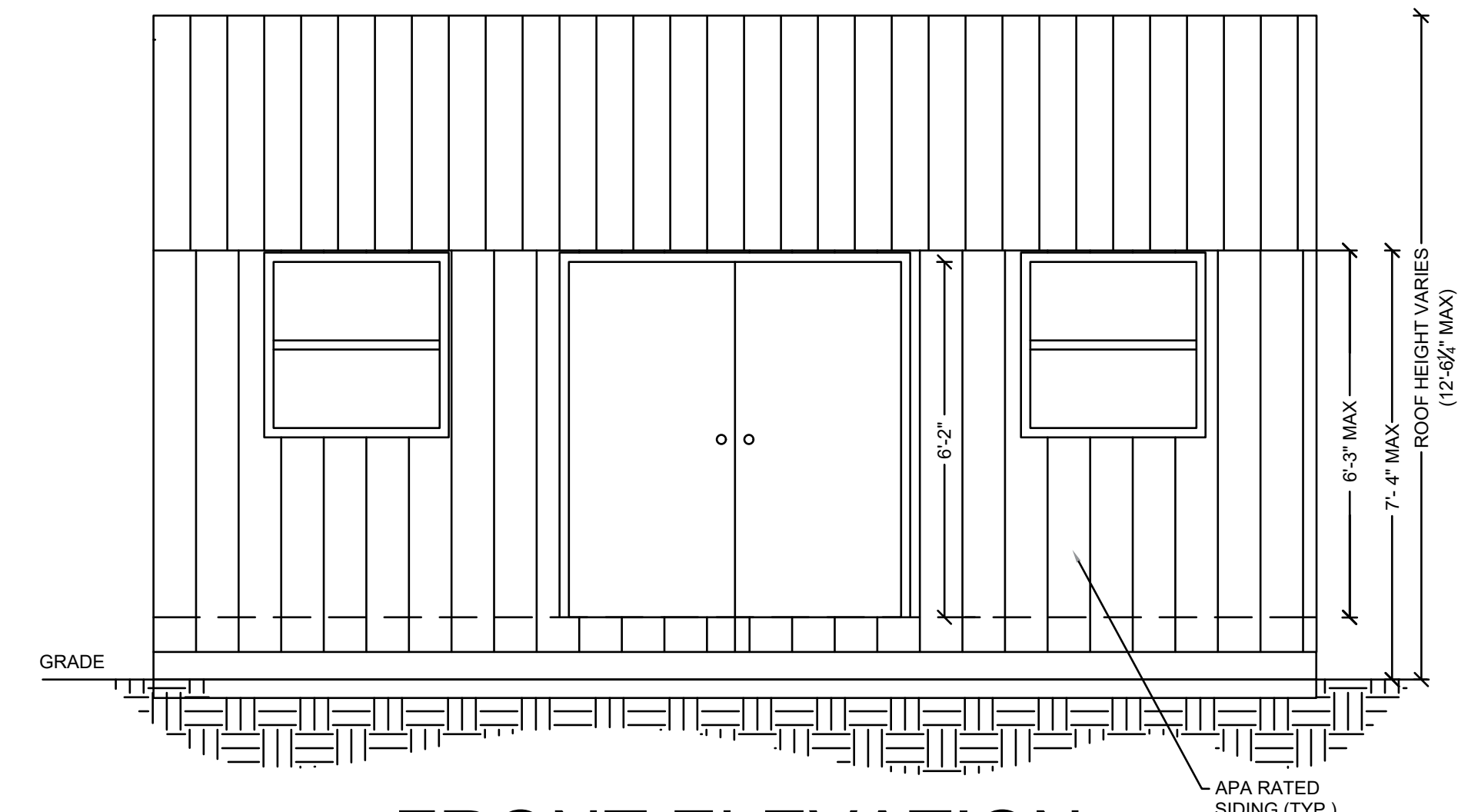
SIDE LOFTED BARN
PLAN & ELEVATION
STOR-MOR
PORTABLE BUILDINGS
1104 PARIS ROAD
MAYFIELD, KY

SHEET
3
PROJECT
2401.00

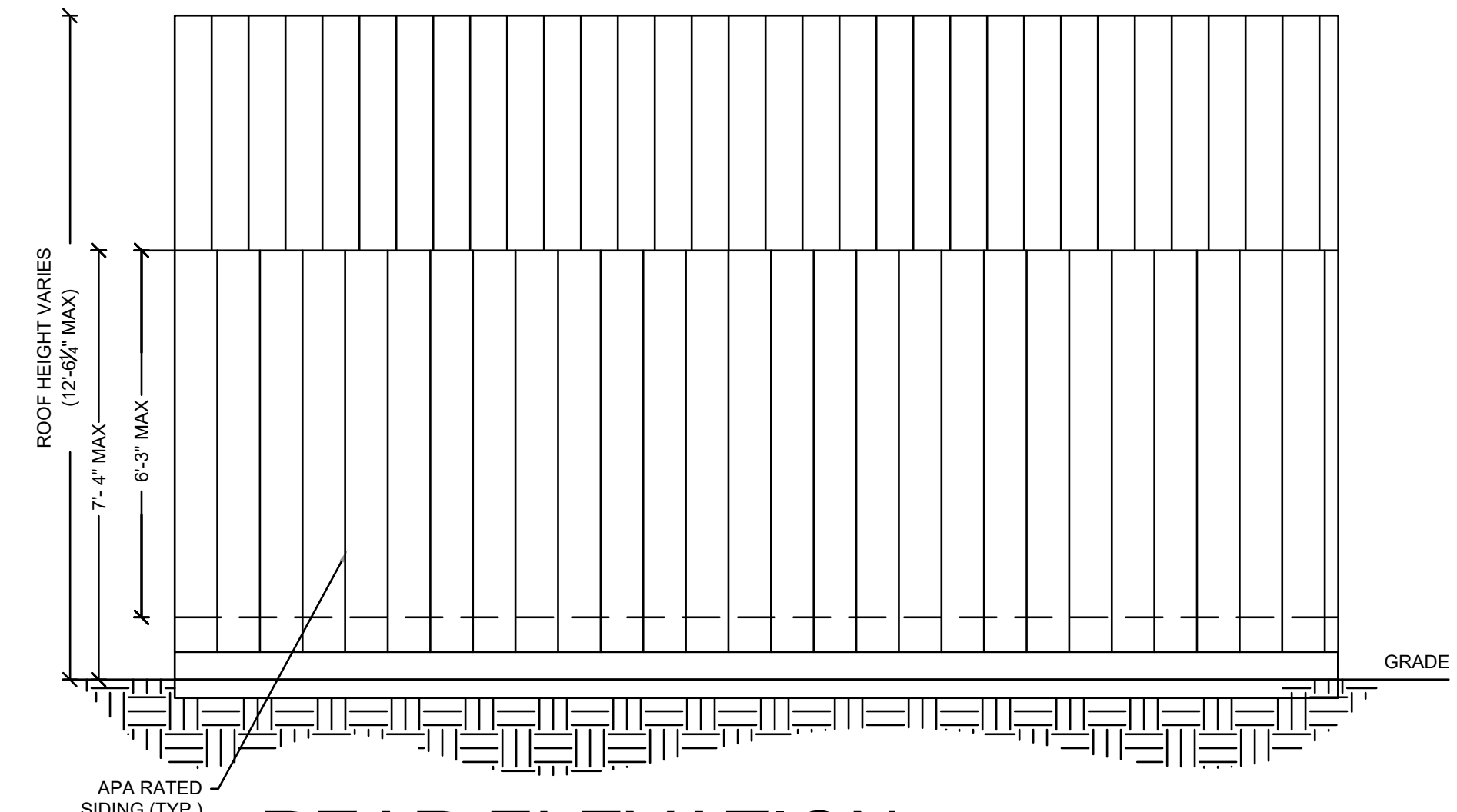


SIDE LOFTED BARN FLOOR PLAN
N.T.S.

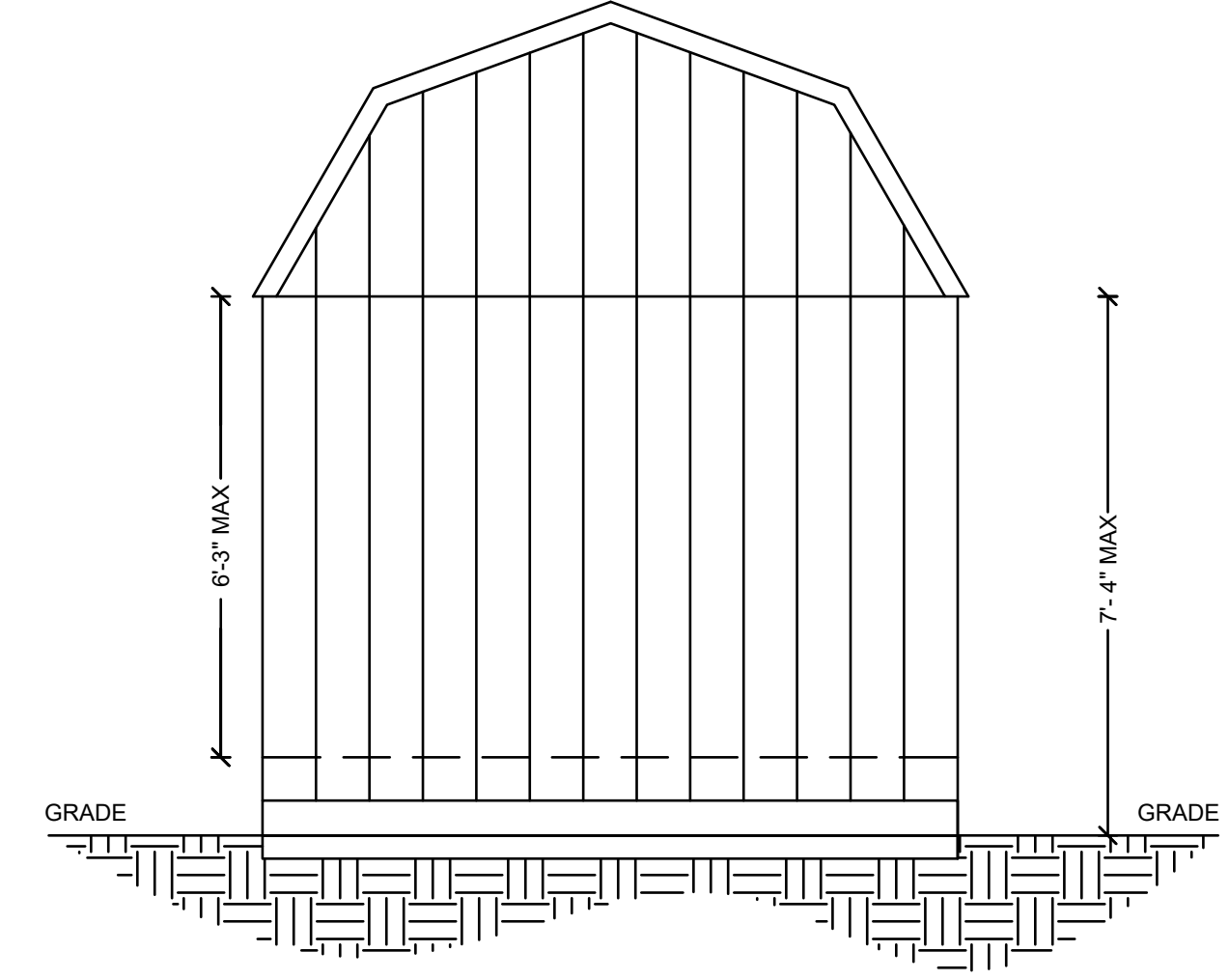
END WALLS MAY EXTEND TO EITHER THE INTERIOR OR EXTERIOR OF THE SIDE WALLS



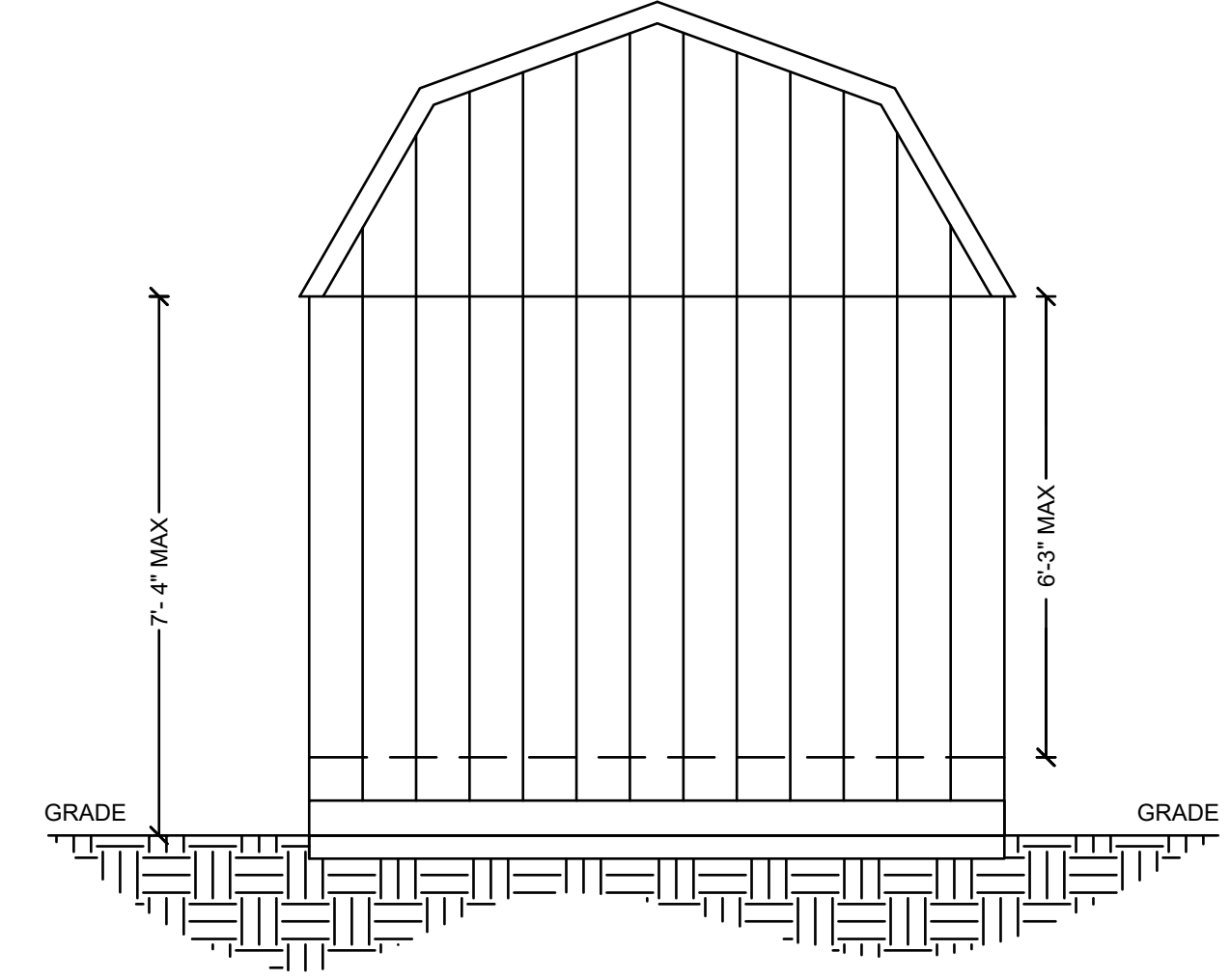
FRONT ELEVATION



REAR ELEVATION



LEFT ELEVATION



RIGHT ELEVATION

SIDE LOFTED BARN ELEVATIONS
N.T.S.

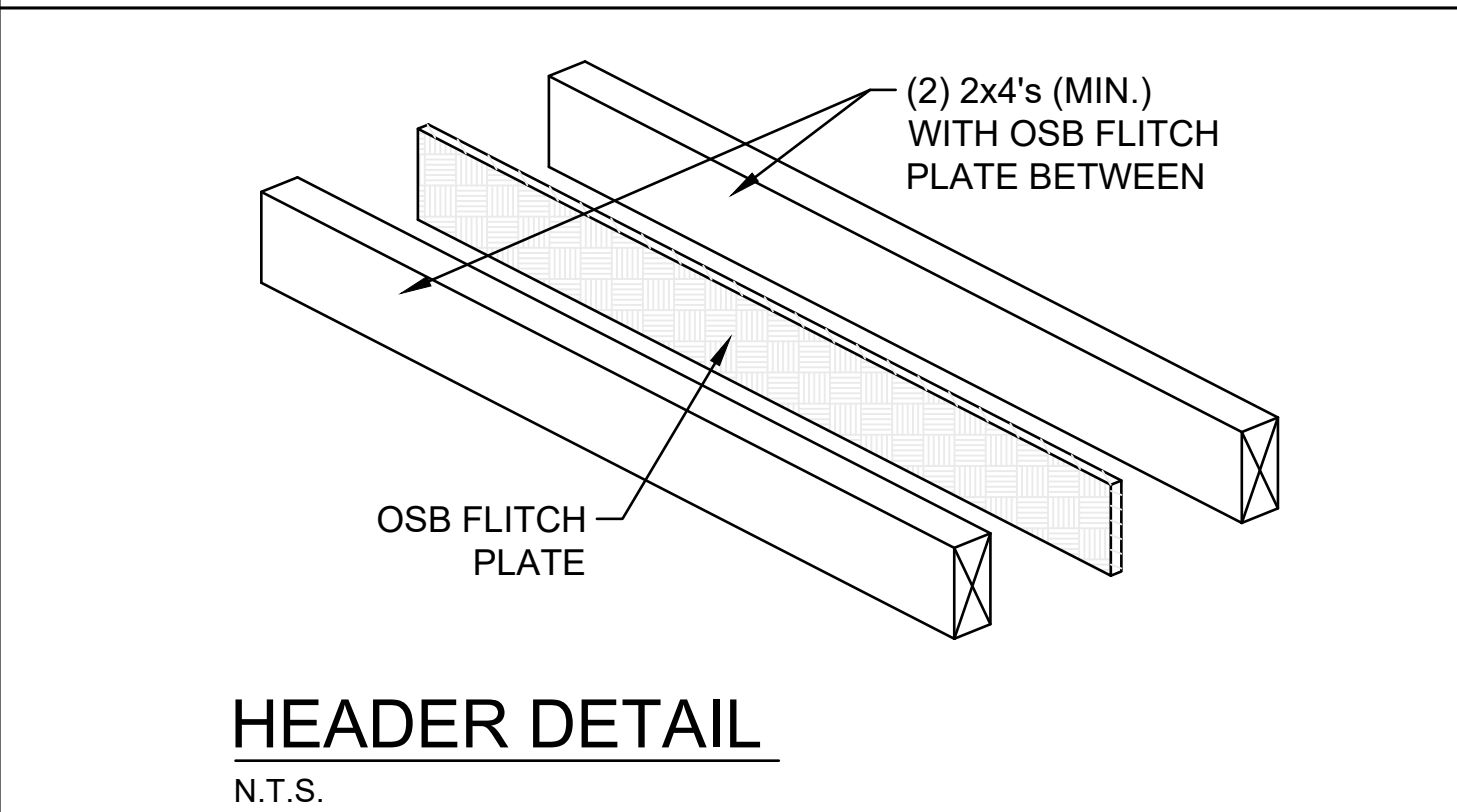
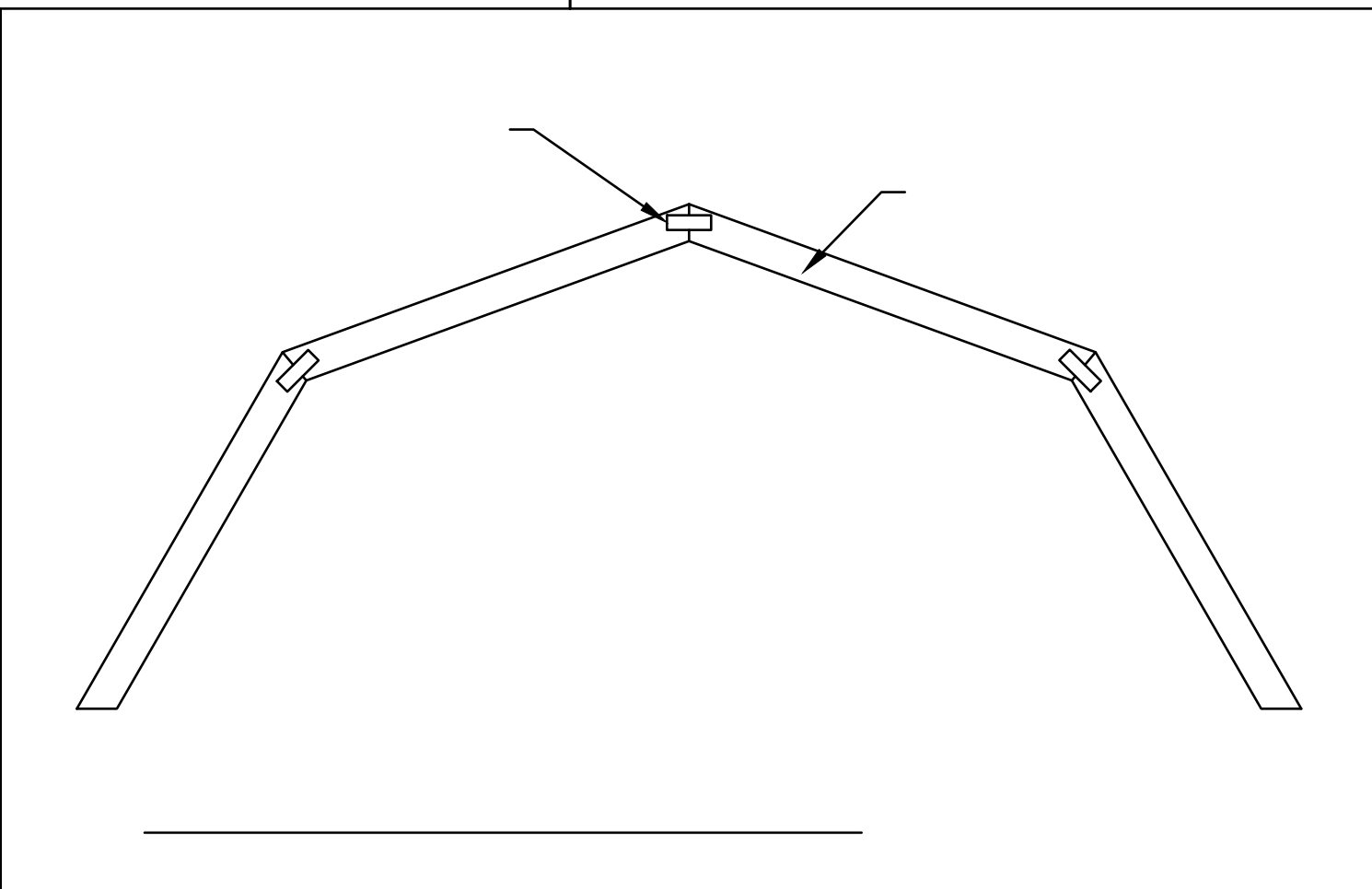
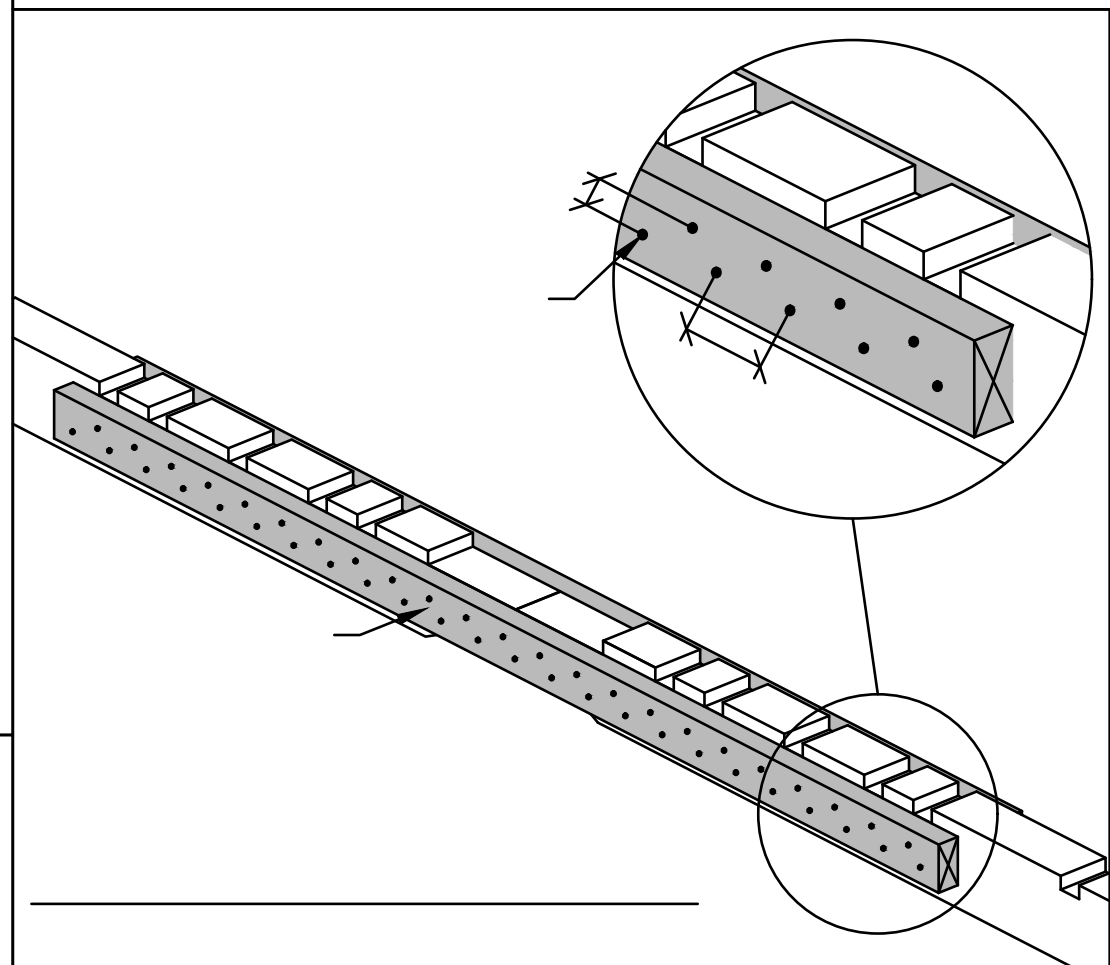
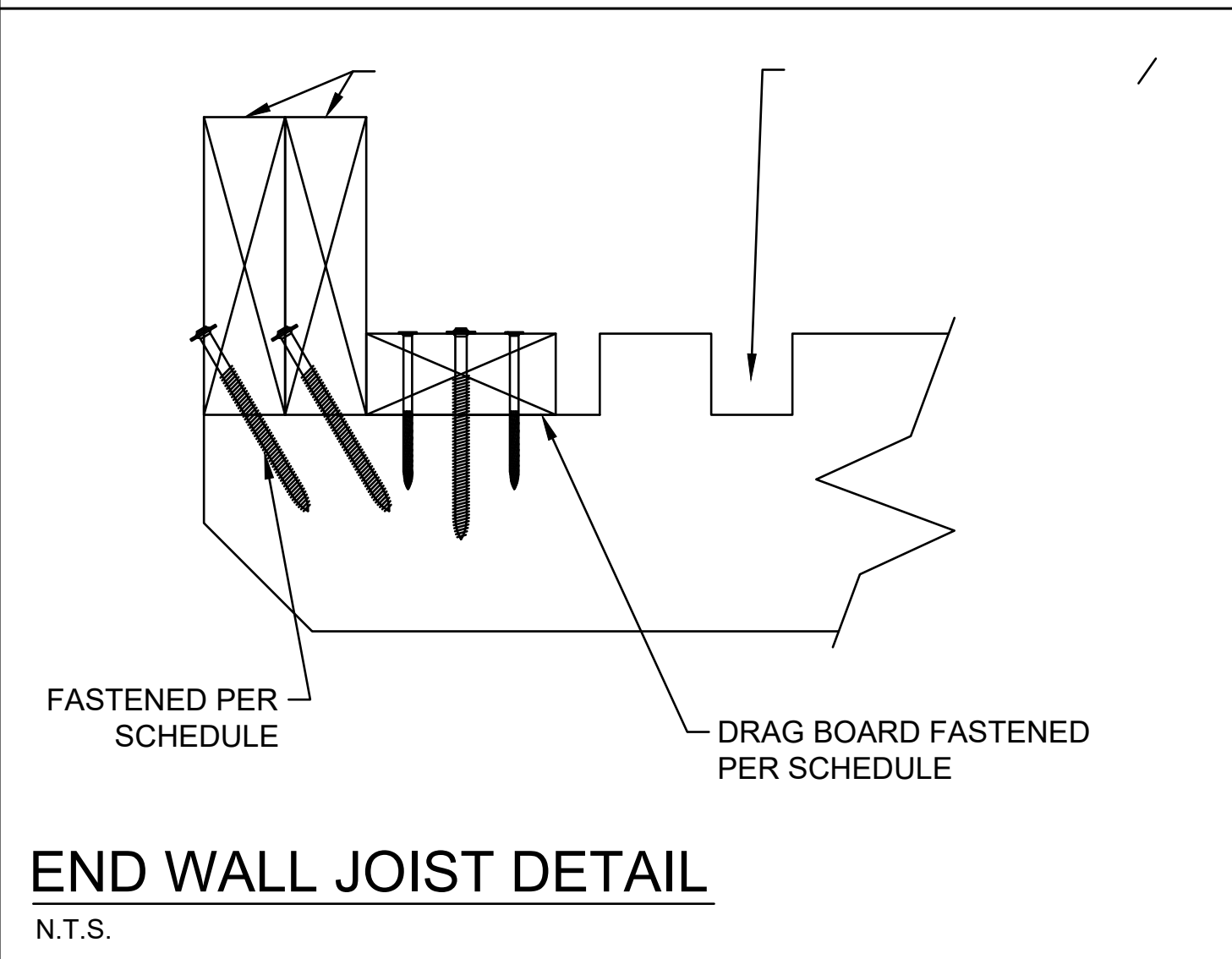
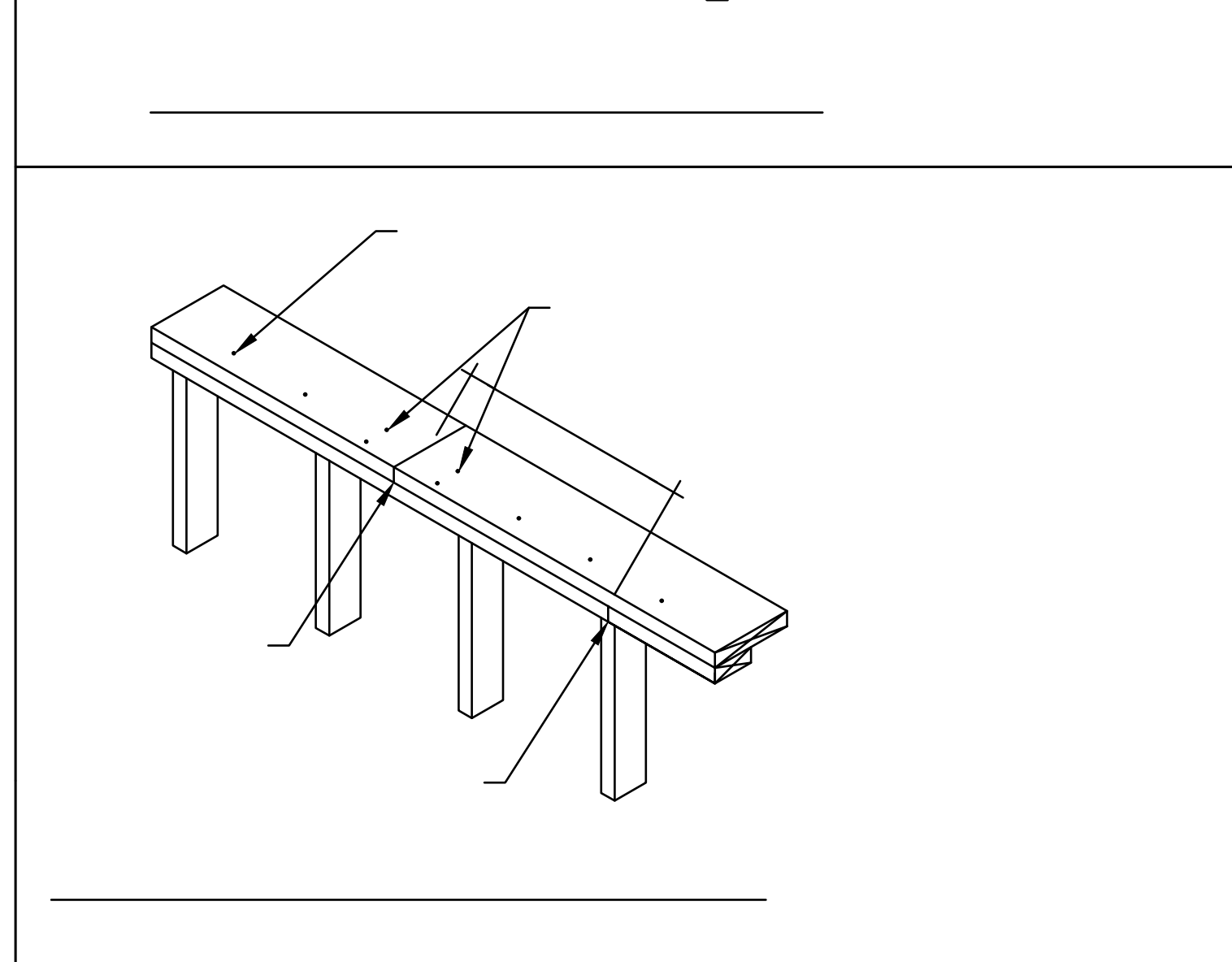
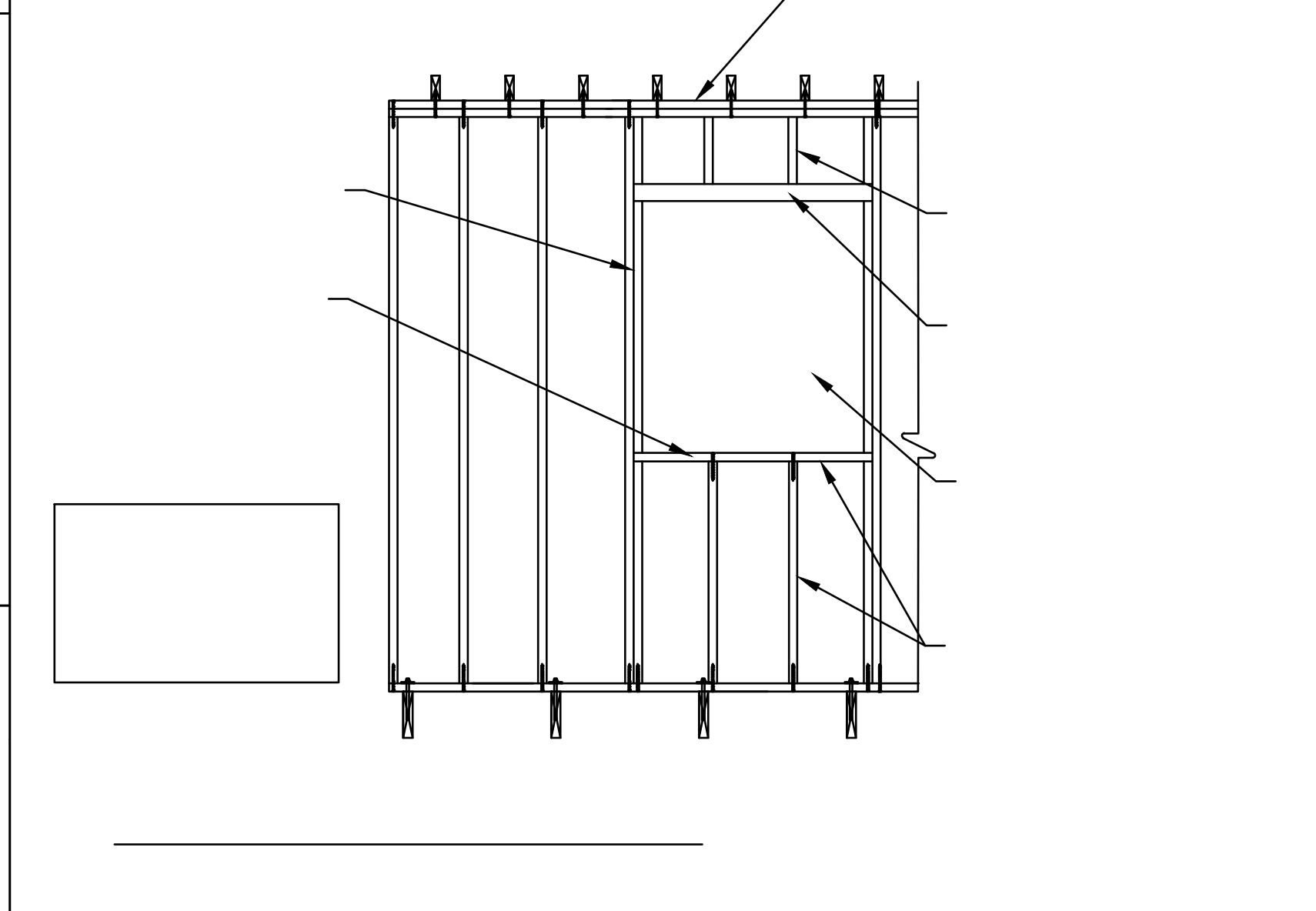
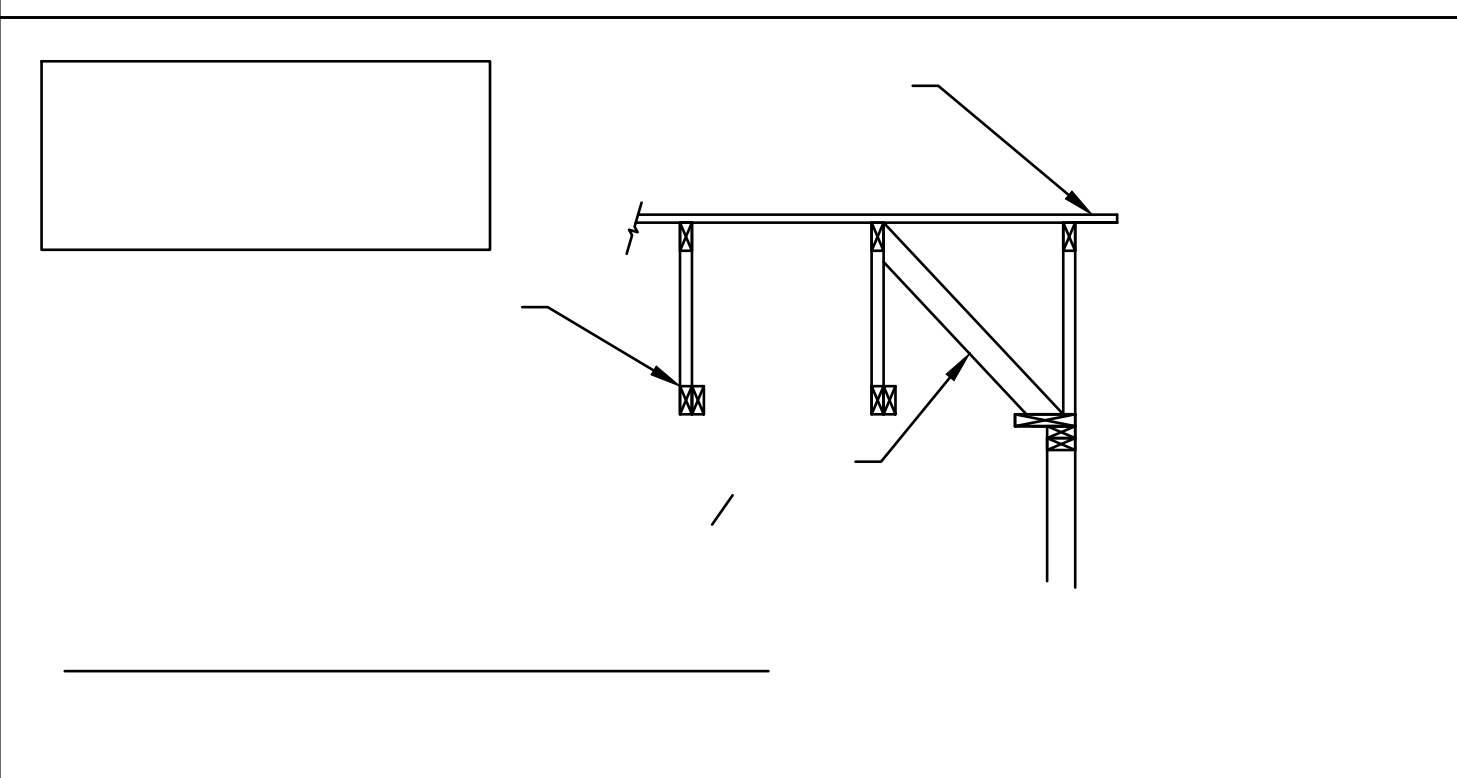
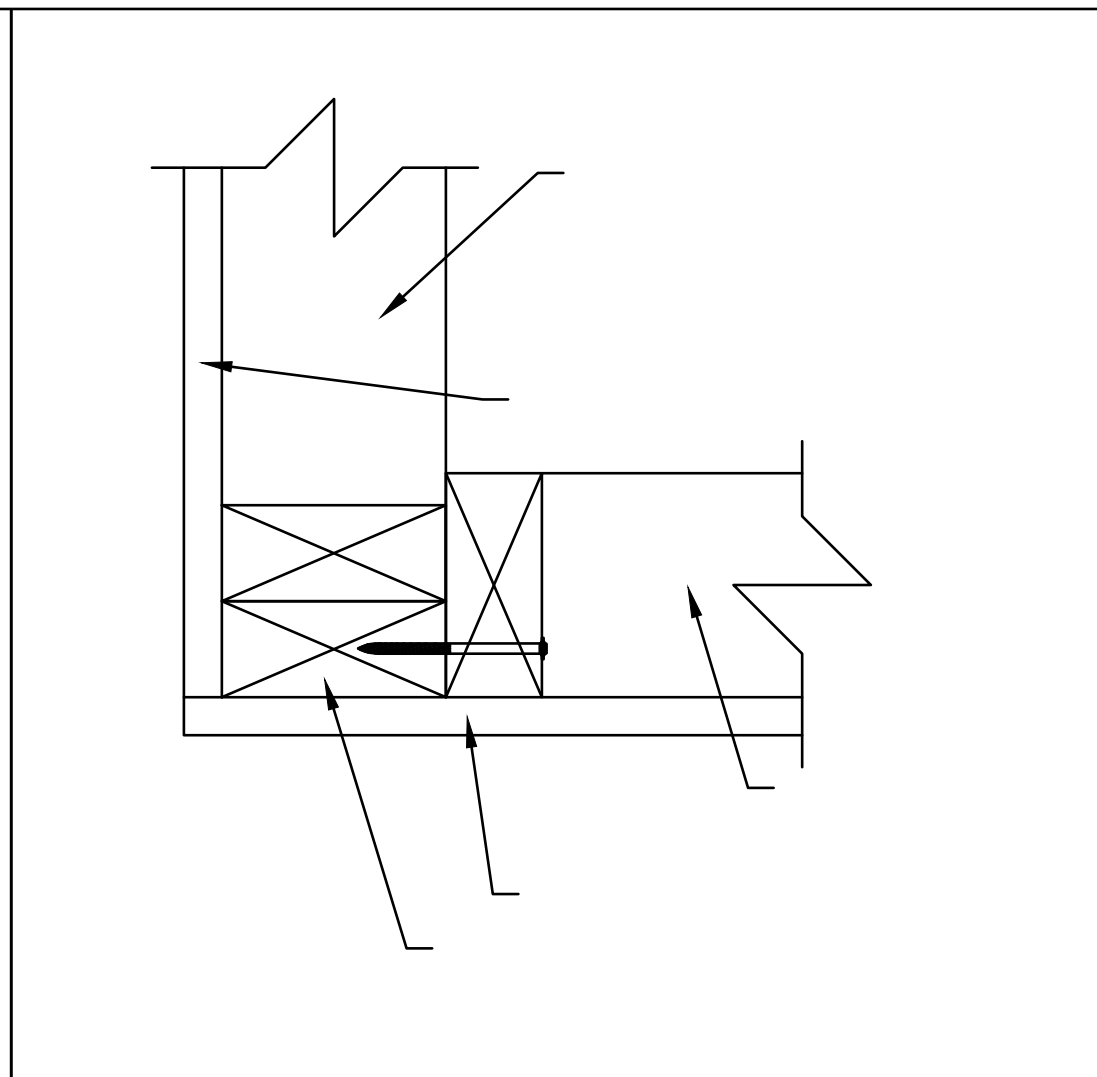
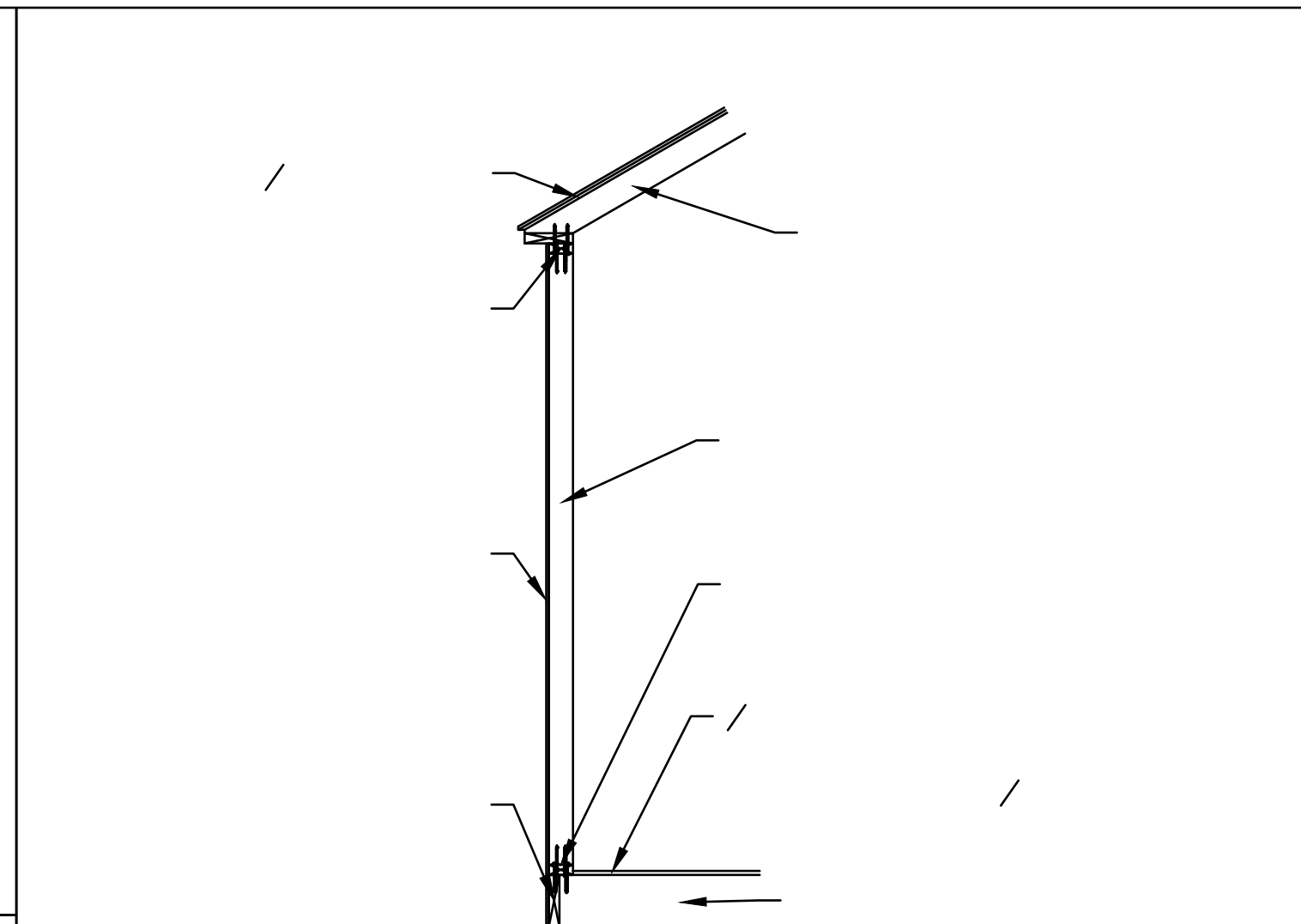
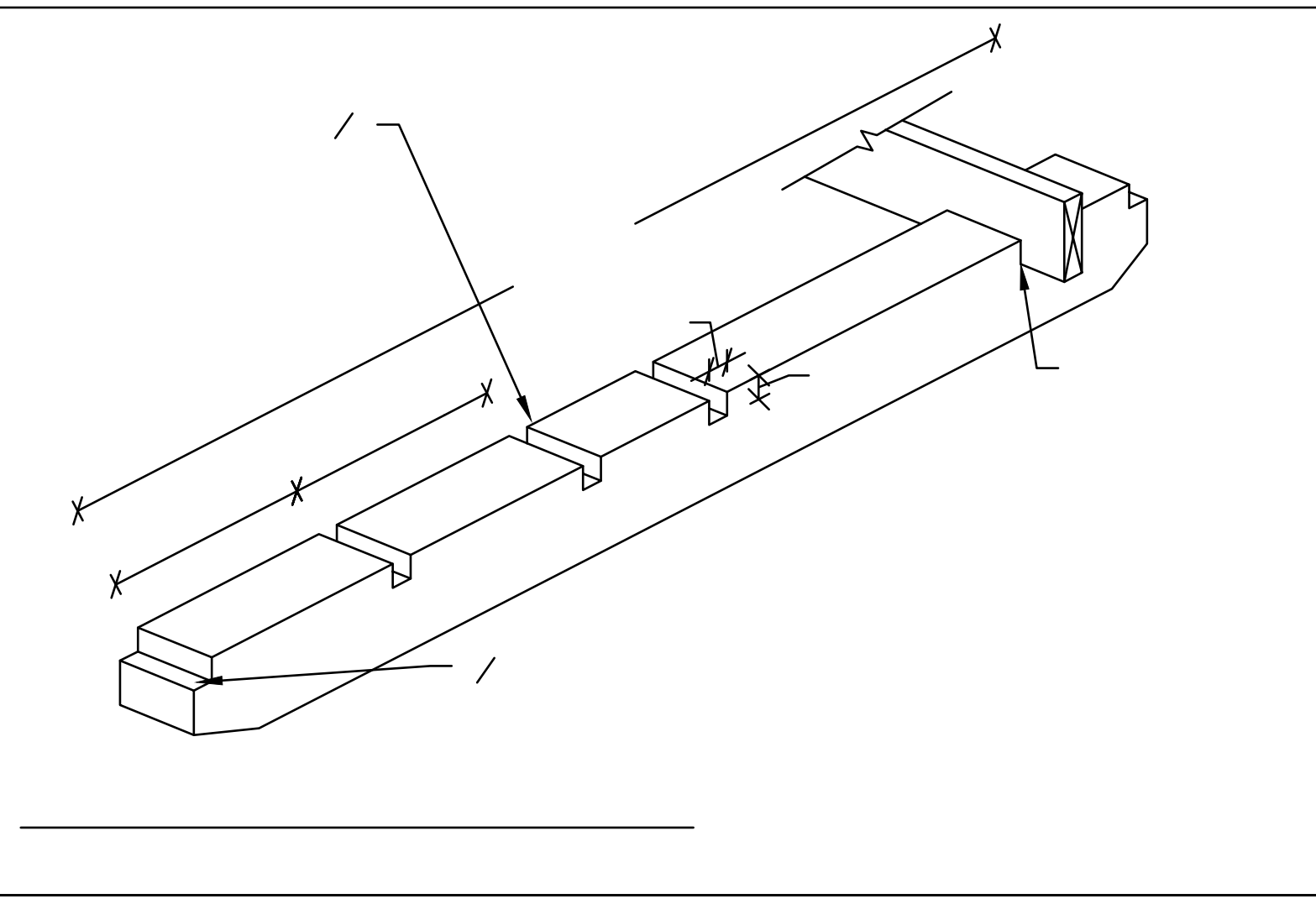
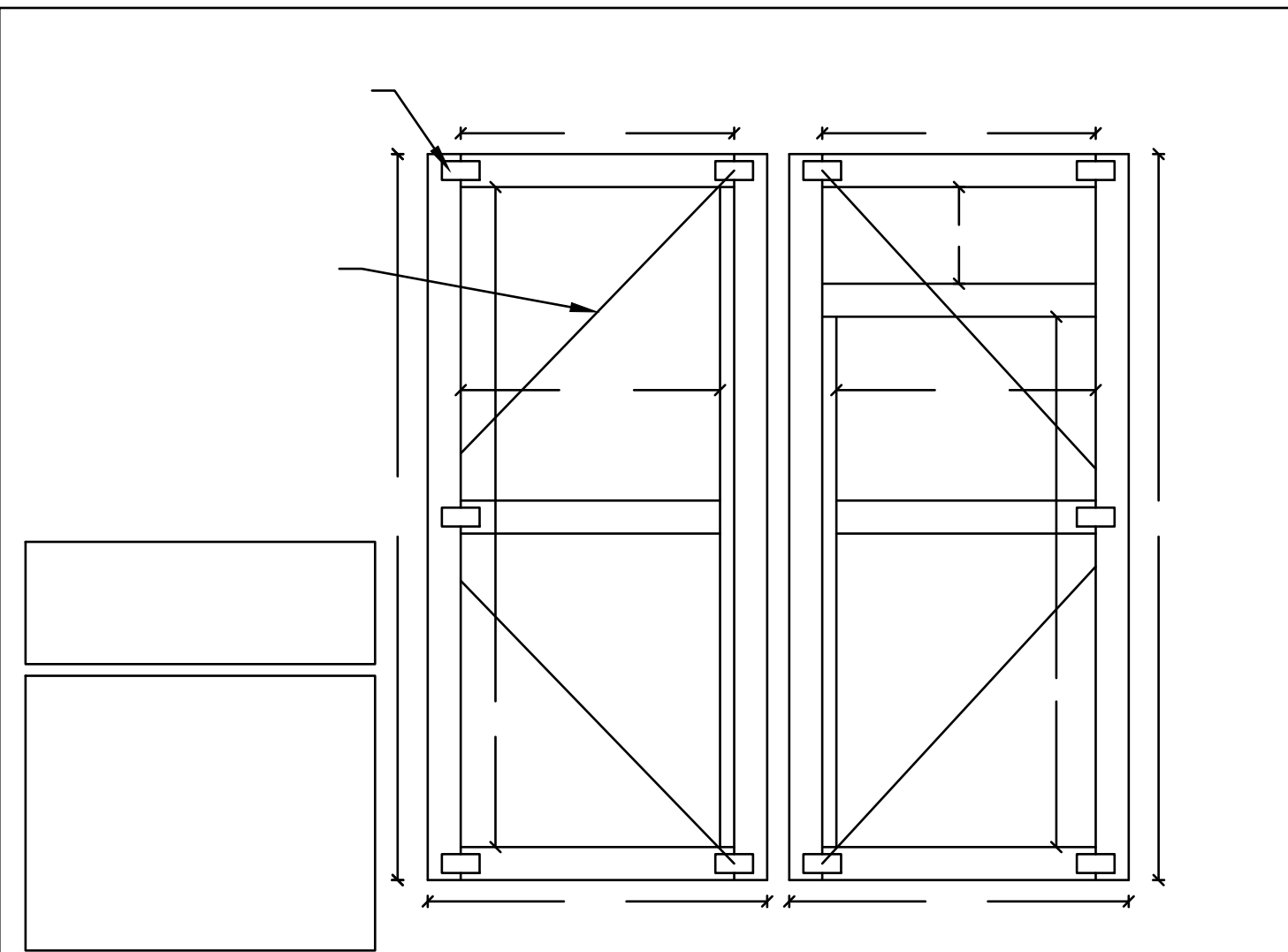
BUILDING WIDTH*	MAX. END WALL OPENINGS WIDTH	MAX. BUILDING LENGTH*
8'-0"	3'-0"	24'-0"
	6'-0"	12'-0"
10'-0"	3'-0"	42'-0"
	6'-0"	24'-0"
12'-0"	3'-0"	56'-0"
	6'-0"	36'-0"
	9'-0"	18'-0"
14'-0"	3'-0"	60'-0"
	6'-0"	50'-0"
	9'-0"	30'-0"
16'-0"	6'-0"	60'-0"
	9'-0"	42'-0"

- NOTES:
- LIMITATIONS ON TOTAL OPENING WIDTH SHALL BE BASED ON THE SHEAR WALL HEIGHT-TO-WIDTH RATIO OF 3.5:1. PANELS SHALL CONFORM TO THIS RATIO TO BE DESIGNATED AS A SHEAR WALL.
 - MAXIMUM TOTAL SIDE WALL OPENING WIDTH SHALL NOT EXCEED 2/3 OF TOTAL BUILDING LENGTH DESIGNATED AS A SHEAR WALL.

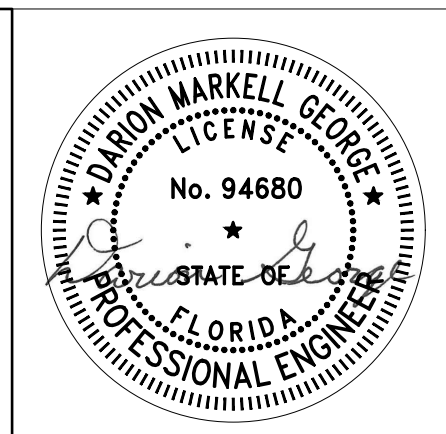
*FLOOR AREA SHALL NOT EXCEED 719 S.F.

2024-02-20 TOP LINE ENGINEERING, LLC APPROVAL

TLE TOP LINE ENGINEERING, LLC
STRUCTURAL ENGINEERS
William E. Neary, III
SMP-51, SMI-79, ICC 5185040
10649 Oakview Pointe Terrace
Gotha, Florida 34734

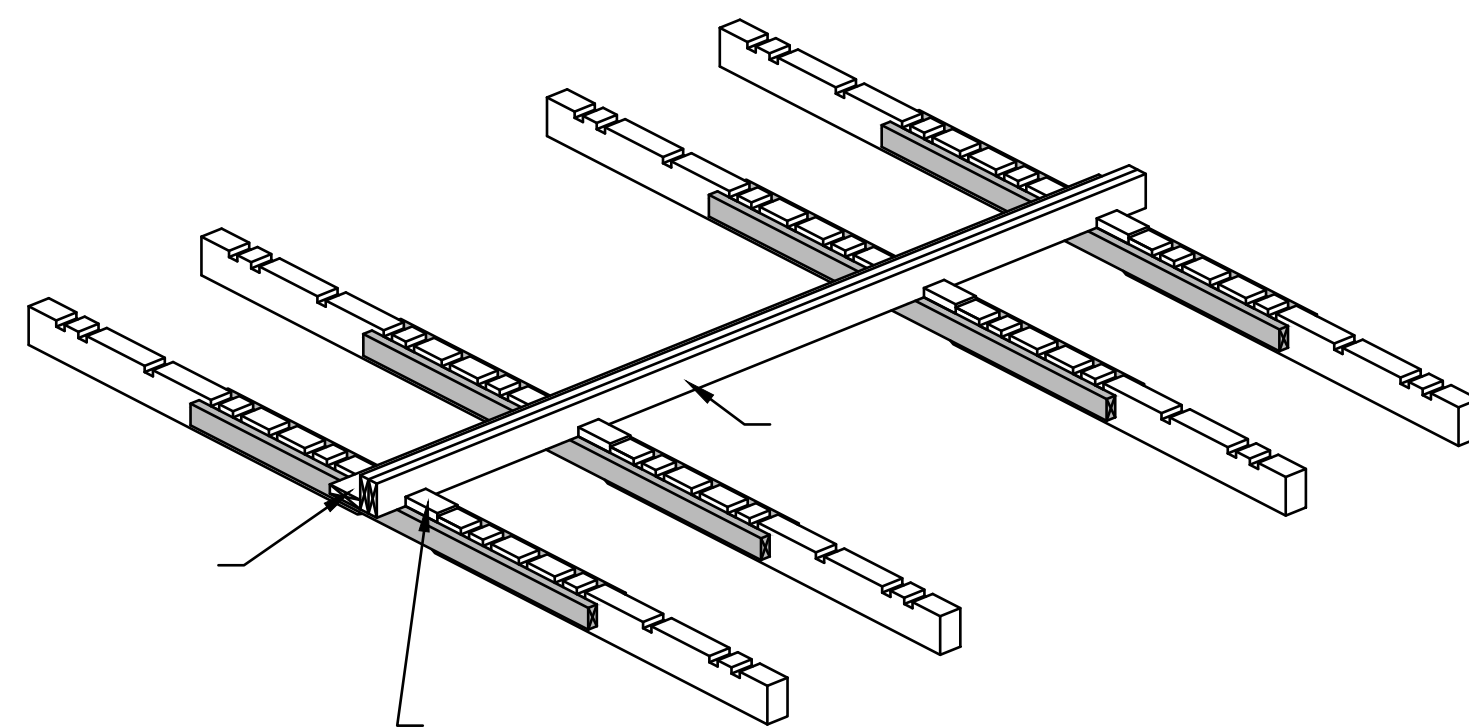
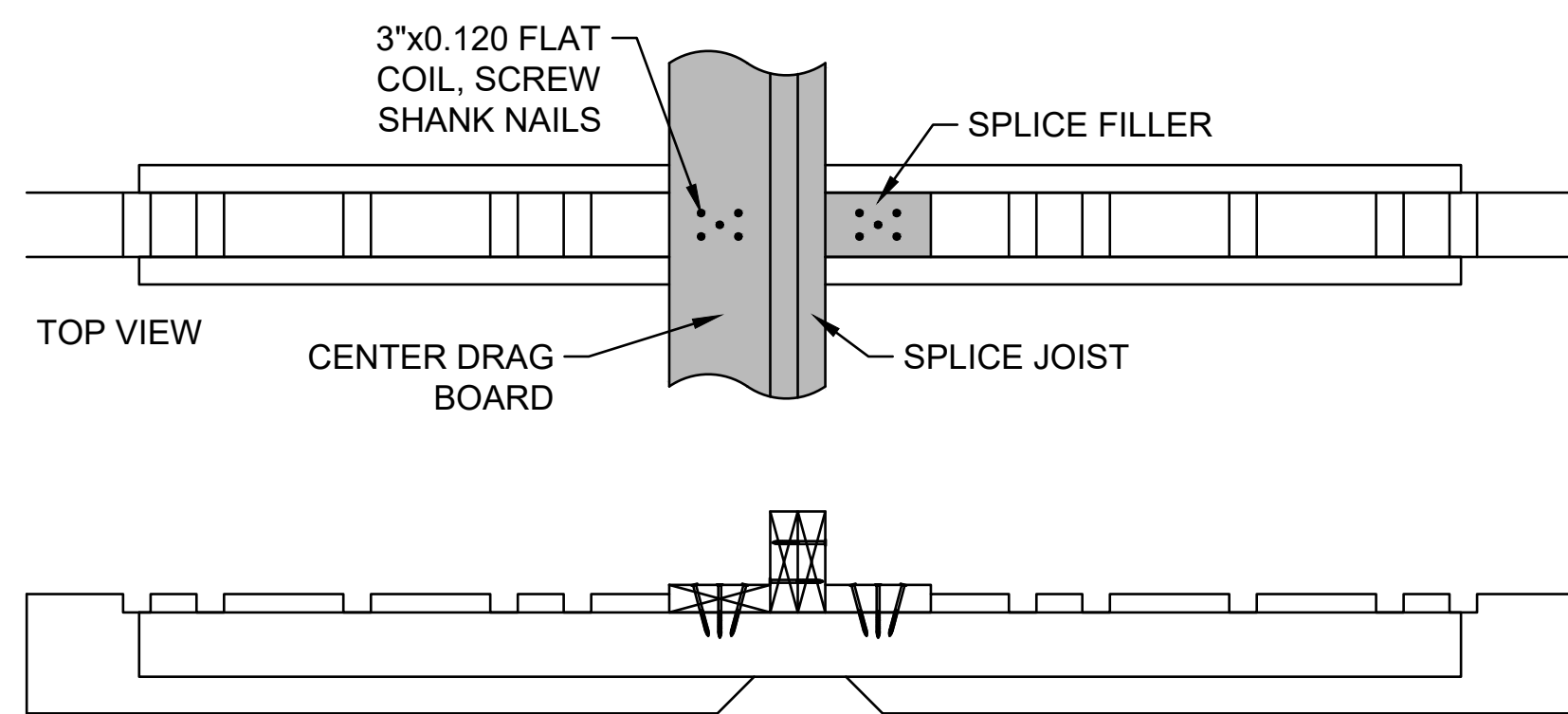
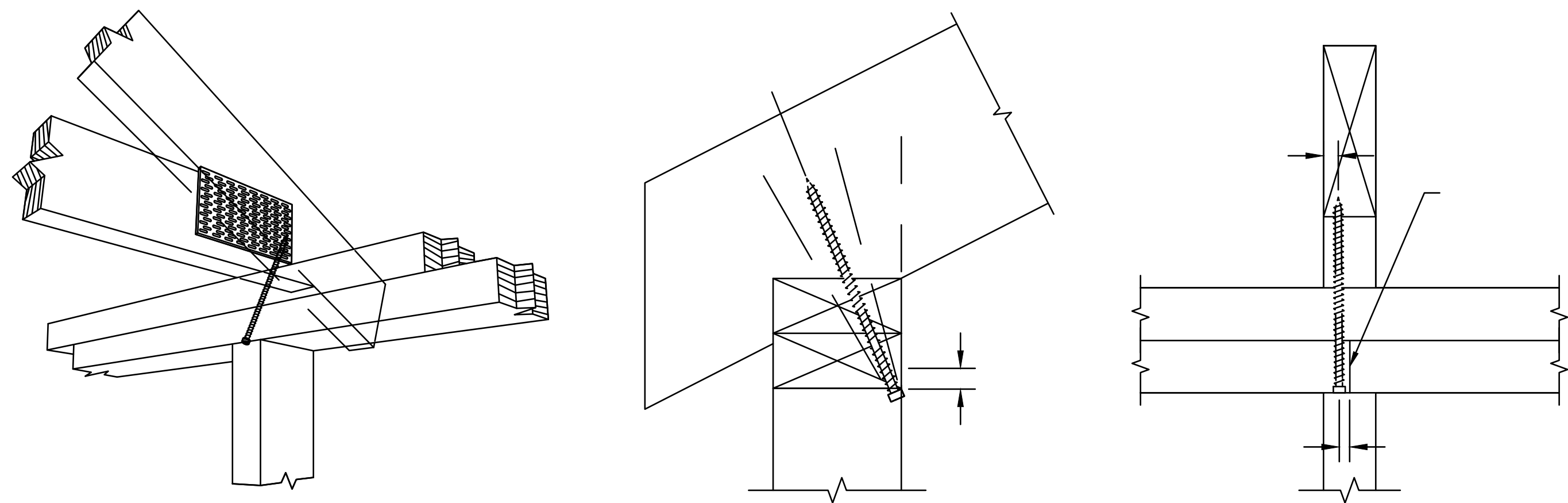
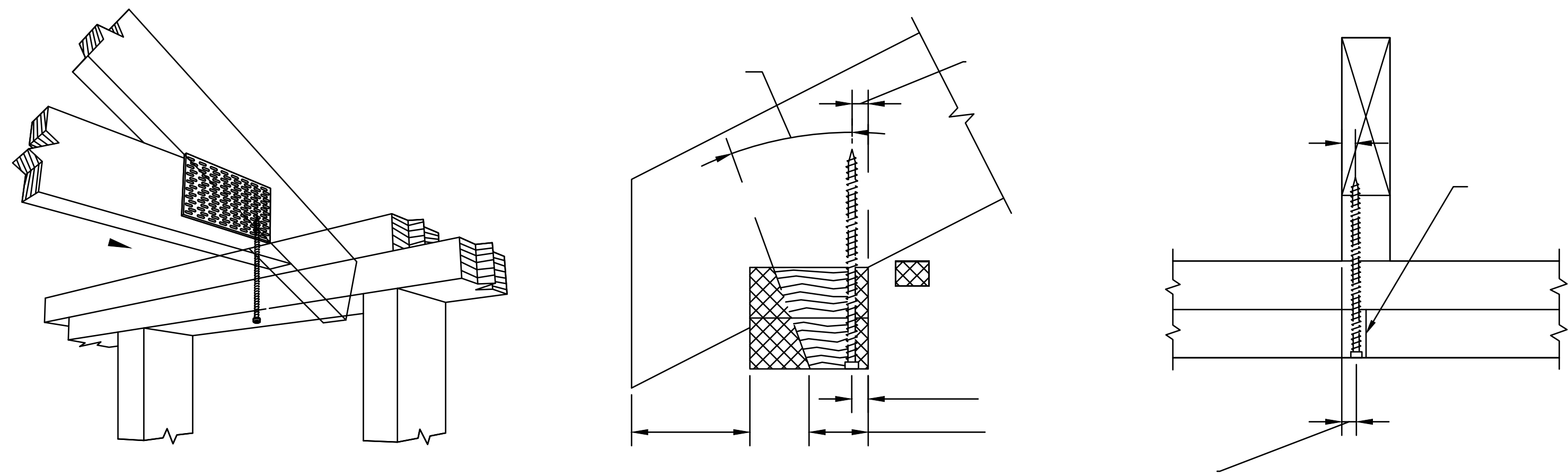


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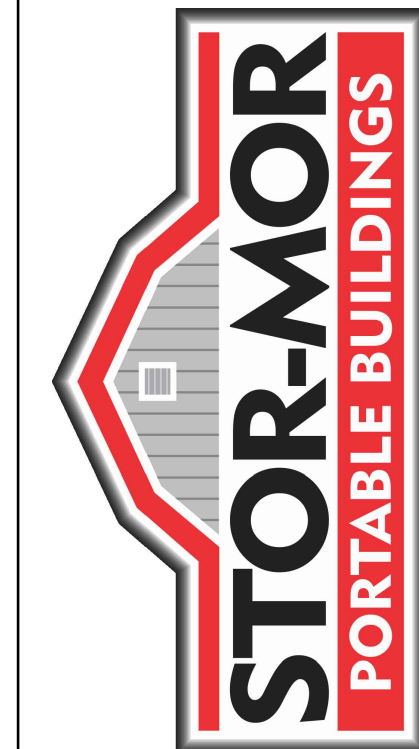
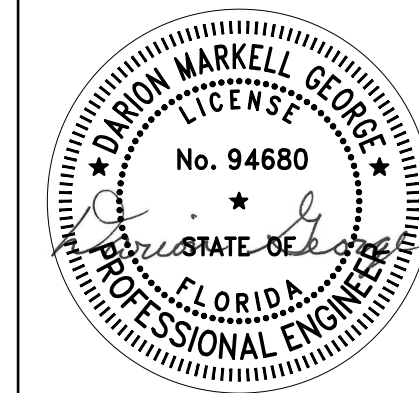


RAVIAN
ENGINEERING

2024-02-20 TOP LINE ENGINEERING, LLC APPROVAL



SIDE VIEW
JOIST AT SKID SPLICE DETAIL
 N.T.S.



RAVIAN
 ENGINEERING

TLE TOP LINE ENGINEERING, LLC
 STRUCTURAL ENGINEERS
 William E. Neary, III
 SMP-51, SMI-79, ICC 5185040
 10649 Oakview Pointe Terrace
 Gotha, Florida 34734

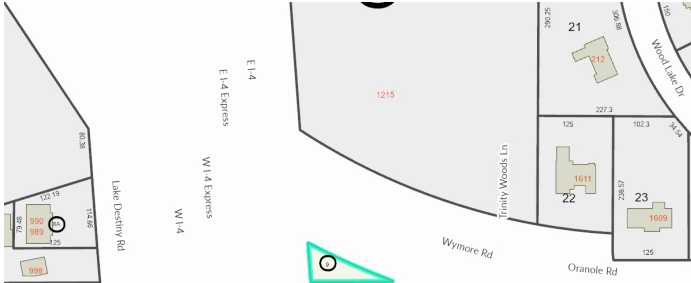
2024-02-20 TOP LINE ENGINEERING, LLC APPROVAL

Property Record Card



Parcel: **23-21-29-300-0090-0000**
 Property Address:
 Owners: **ST ANTHONY COPTIC ORTHODOX CHURCH INC**
 2024 Market Value \$231 Assessed Value \$231
 2023 Tax Bill \$3.07
 Vac General-Commercial property has a lot size of 0.09 Acres

Parcel Location



Site View

Parcel Information

Parcel	23-21-29-300-0090-0000
Property Address	
Mailing Address	1185 N WYMORE RD MAITLAND, FL 32751-4240
Subdivision	
Tax District	01:County Tax District
DOR Use Code	10:Vac General-Commercial
Exemptions	None
AG Classification	No

Value Summary

	2024 Working Values	2023 Certified Values
Valuation Method	Cost/Market	Cost/Market
Number of Buildings	0	0
Depreciated Building Value	\$0	\$0
Depreciated Other Features	\$0	\$0
Land Value (Market)	\$231	\$231
Land Value Agriculture	\$0	\$0
Market Value	\$231	\$231
Portability Adjustment	\$0	\$0
Save Our Homes Adjustment/Maximum Portability	\$0	\$0
P&G Adjustment	\$0	\$0
Non-Hx 10% Cap (AMD 1)	\$0	\$0
Assessed Value	\$231	\$231

2023 Certified Tax Summary

Tax Amount w/o Exemptions	\$3.07
Tax Bill Amount	\$3.07
Tax Savings with Exemptions	\$0.00

Owner(s)

Name - Ownership Type
ST ANTHONY COPTIC ORTHODOX CHURCH INC

Note: Does NOT INCLUDE Non Ad Valorem Assessments

Legal Description

SEC 23 TWP 21S RGE 29E
E 495 FT OF SE 1/4 OF SW
1/4 S OF RD (LESS RDS)

Taxes

Taxing Authority	Assessed	Exempt Amount	Taxable
COUNTY GENERAL FUND	\$231	\$0	\$231
Schools	\$231	\$0	\$231
FIRE	\$231	\$0	\$231
ROAD DISTRICT	\$231	\$0	\$231
SJWM(Saint Johns Water Management)	\$231	\$0	\$231

Sales

Deed Type	Date	Sale Amount	Book / Page	Sale Type	Qualified?
QUIT CLAIM DEED	4/1/2013	\$100	08024/1196	Vacant	No

Land

Units	Rate	Assessed	Market
1 Lot	\$231.13/Lot	\$231	\$231

Building Information

#	
Use	
Year Built*	
Bed	
Bath	
Fixtures	
Base Area (ft ²)	
Total Area (ft ²)	
Constuction	
Replacement Cost	
Assessed	

Building

* Year Built = Actual / Effective

Permits

Permit #	Description	Value	CO Date	Permit Date
----------	-------------	-------	---------	-------------

Extra Features

Description	Year Built	Units	Cost	Assessed
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Zoning

Zoning	R-1AA
Description	Single Family-11700
Future Land Use	LDR
Description	Low Density Residential

Political Representation

Commissioner	District 3 - Lee Constantine
US Congress	District 7 - Cory Mills
State House	District 38 - David Smith
State Senate	District 10 - Jason Brodeur
Voting Precinct	Precinct 54

School Districts

Elementary	Lake Orienta
Middle	Milwee
High	Lyman

Utilities

Fire Station #	Station: 14 Zone: 142
Power Company	DUKE
Phone (Analog)	CENTURY LINK
Water	Seminole County Utilities
Sewage	
Garbage Pickup	
Recycle	
Yard Waste	
Hauler #	

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**Seminole County Government
Development Services Department
Planning and Development Division
Credit Card Payment Receipt**

If you have questions about your application or payment, please email us eplandesk@seminolecountyfl.gov or call us at: (407) 665-7371.

Receipt Details

Date: 7/9/2024 4:56:28 PM
Project: 24-80000092
Credit Card Number: 37*****3101
Authorization Number: 291334
Transaction Number: 090724O2D-FF423D0A-8B62-4D4A-9B15-7069B75869ED
Total Fees Paid: 52.50

Fees Paid

Description	Amount
CC CONVENIENCE FEE -- PZ	2.50
PRE APPLICATION	50.00
Total Amount	52.50