

Property Record Card



Parcel 34-21-30-526-0000-4200

Property Address 7033 BETTY ST WINTER PARK, FL 32792

Parcel Location



Site View



34213052600004200 04/24/2022

Parcel Information

Parcel	34-21-30-526-0000-4200
Owner(s)	LEE, JESSICA
Property Address	7033 BETTY ST WINTER PARK, FL 32792
Mailing	7033 BETTY ST WINTER PARK, FL 32792-7535
Subdivision Name	WRENWOOD UNIT 3 3RD ADD
Tax District	01-COUNTY-TX DIST 1
DOR Use Code	01-SINGLE FAMILY
Exemptions	00-HOMESTEAD(2024)
AG Classification	No

Value Summary

	2024 Working Values	2023 Certified Values
Valuation Method	Cost/Market	Cost/Market
Number of Buildings	1	1
Depreciated Building Value	\$309,117	\$227,048
Depreciated Other Features	\$22,400	\$22,200
Land Value (Market)	\$85,000	\$85,000
Land Value Agriculture		
Just/Market Value	\$416,517	\$334,248
Portability Adjustment		
Save Our Homes Adjustment	\$0	\$77,174
Non-Hx 10% Cap (AMD 1)	\$0	\$23,633
P&G Adjustment	\$0	\$0
Assessed Value	\$416,517	\$233,441

2023 Certified Tax Summary

2023 Tax Amount w/o Exemptions/Cap \$4,448.17
2023 Tax Bill Amount

2023 Tax Savings with Exemptions/Cap \$1,745.39

* Does Not Include Non Ad Valorem Assessments

Legal Description

LOT 420
 WRENWOOD UNIT 3 3RD ADD
 PB 22 PGS 50 & 51

Taxes

Taxing Authority	Assessment Value	Exempt Values	Taxable Value
ROAD DISTRICT	\$416,517	\$50,000	\$366,517
SJWM(Saint Johns Water Management)	\$416,517	\$50,000	\$366,517
FIRE	\$416,517	\$50,000	\$366,517
COUNTY GENERAL FUND	\$416,517	\$50,000	\$366,517
Schools	\$416,517	\$25,000	\$391,517

Sales

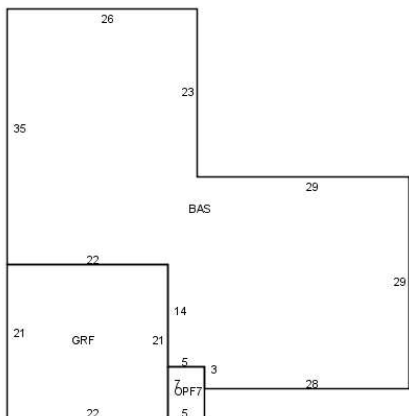
Description	Date	Book	Page	Amount	Qualified	Vac/Imp
WARRANTY DEED	08/11/2023	10493	0912	\$480,000	Yes	Improved
QUIT CLAIM DEED	10/01/2015	08584	0149	\$100	No	Improved
WARRANTY DEED	06/01/2013	08056	0222	\$175,000	Yes	Improved
QUIT CLAIM DEED	06/01/2002	04458	1303	\$100	No	Improved
FINAL JUDGEMENT	05/01/2002	04419	1990	\$100	No	Improved
WARRANTY DEED	01/01/1997	03360	0149	\$100	No	Improved
QUIT CLAIM DEED	05/01/1992	02441	0277	\$100	No	Improved
QUIT CLAIM DEED	09/01/1984	01591	0358	\$100	No	Improved
WARRANTY DEED	07/01/1979	01236	0427	\$49,600	Yes	Improved

Land

Method	Frontage	Depth	Units	Units Price	Land Value
LOT			1	\$85,000.00	\$85,000

Building Information

#	Description	Year Built**	Bed	Bath	Fixtures	Base Area	Total SF	Living SF	Ext Wall	Adj Value	Repl Value	Appendages	
1	SINGLE FAMILY	1979/2010	4	2.0	7	1,804	2,301	1,804	CB/STUCCO FINISH	\$309,117	\$324,532	Description	Area
												OPEN PORCH FINISHED	35.00
												GARAGE FINISHED	462.00



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** Year Built (Actual / Effective)

Permits

Permit #	Description	Agency	Amount	CO Date	Permit Date
17457	REROOF W/SHINGLES DUE TO HURRICANE DAMAGE	County	\$2,480		12/27/2004
04780	ELECTRICAL	County	\$1,300		6/11/2013
20811	WINDOW/DOOR REPLACEMENT	County	\$9,821		12/21/2018
08264	7033 BETTY ST: REROOF RESIDENTIAL- [WRENWOOD UNIT 3 3RD ADD]	County	\$12,771		6/9/2020

Other Features

Description	Year Built	Units	Value	New Cost
POOL 1	10/01/1982	1	\$21,000	\$35,000
SCREEN PATIO 1	06/01/1982	1	\$1,400	\$3,500

Zoning

Zoning	Zoning Description	Future Land Use	Future Land Use Description
R-1	Low Density Residential	LDR	Single Family-8400

Utility Information

Fire Station	Power	Phone(Analog)	Water Provider	Sewer Provider	Garbage Pickup	Recycle	Yard Waste	Hauler
23.00	DUKE	CENTURY LINK	CASSELBERRY	CITY OF CASSELBERRY	TUE/FRI	TUE	WED	Waste Pro

Political Representation

Commissioner	US Congress	State House	State Senate	Voting Precinct
Dist 4 - Amy Lockhart	Dist 7 - Cory Mills	Dist 38 - DAVID SMITH	Dist 10 - Jason Brodeur	67

School Information

Elementary School District	Middle School District	High School District
Eastbrook	Tuskawilla	Lake Howell

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