



SEMINOLE COUNTY  
PLANNING & DEVELOPMENT DIVISION  
1101 EAST FIRST STREET, ROOM 2028  
SANFORD, FLORIDA 32771  
(407) 665-7371 EPLANDESK@SEMINOLECOUNTYFL.GOV

PROJ. #: 23-80000152

Received: 11/14/23

Paid: 11/14/2023

## PRE-APPLICATION

### INCOMPLETE APPLICATIONS WILL NOT BE ACCEPTED

#### APPLICATION FEE



PRE-APPLICATION

\$50.00

#### PROJECT

PROJECT NAME: Fifth Third Bank: Lake Mary (Boston Market Renovation)

PARCEL ID #(S): 18-20-30-511-0000-0040

TOTAL ACREAGE: 0.58

BCC DISTRICT: 4: Lockhart

ZONING: PD (ETOR)

FUTURE LAND USE: COM Planned Development

#### APPLICANT

NAME: Amalia Bamis

COMPANY: BDG Architects, LLP

ADDRESS: 400 N Ashley, suite 600, Tampa, FL 33602

CITY: Tampa

STATE: Florida

ZIP: 33602

PHONE: 727-928-6299

EMAIL: amalia.bamis@bdgllp.com

#### CONSULTANT

NAME: Brett Nevaril

COMPANY: Infinity Engineering Group

ADDRESS: 1208 E Kennedy Blvd, suite 230

CITY: Tampa

STATE: FL

ZIP: 33602

PHONE: 813-434-4770

EMAIL: Brett@iegroup.net

#### PROPOSED DEVELOPMENT (CHECK ALL THAT APPLY)

☐ SUBDIVISION    ☐ LAND USE AMENDMENT    ☐ REZONE    ☒ SITE PLAN    ☐ SPECIAL EXCEPTION

Description of proposed development: Renovation of Existing Boston Market fast food restaurant to become a bank facility. Minor Building & Site Improvements.

#### STAFF USE ONLY

COMMENTS DUE:

COM DOC DUE:

DRC MEETING:

☐ PROPERTY APPRAISER SHEET    ☐ PRIOR REVIEWS:

ZONING: PD

FLU: COM

LOCATION:

W/S: 4: Lockhart

BCC: 4: Lockhart

on the south side of W Lake Mary Blvd,  
east of Sun Dr



## PROJECT NARRATIVE

**PROJECT NAME:** Fifth Third Bank- Lake Mary (Boston Market Renovation)

**PROPERTY OWNER:** Penuel CO LLC **Mailing:** C/O Boston Market Corp 14103 Denver West Pkwy  
Property Admin S@212 Lakewood, Co 80401-3114

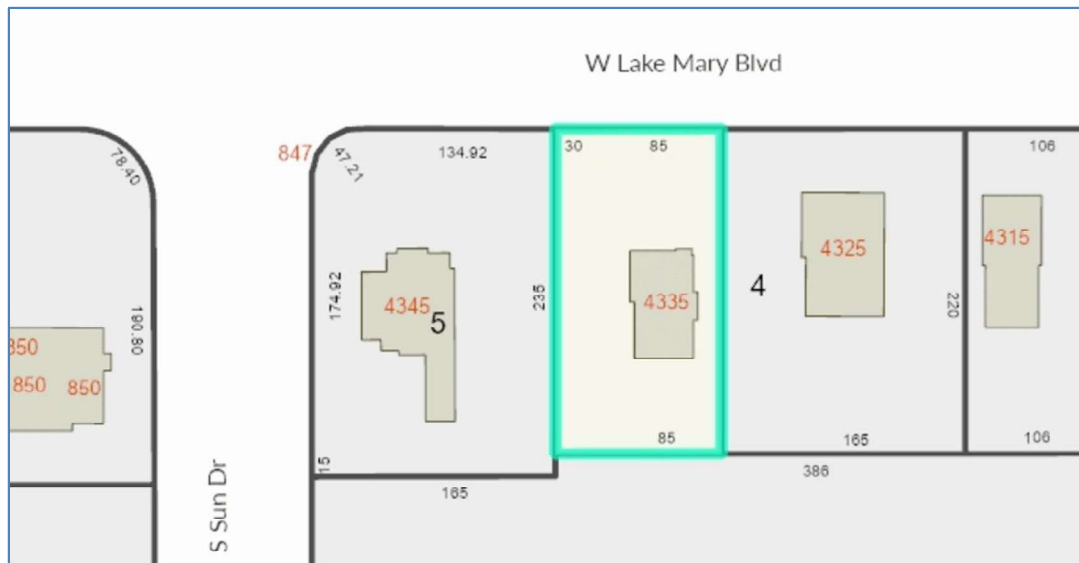
**JURISDICTION:** Seminole County

**PROJECT LOCATION:** 4335 W Lake Mary Blvd, Lake Mary, Seminole County, FL 32746  
Subdivision: Greenwood at Lake Mary

**PROJECT DESCRIPTION:** Renovation/Conversion of a former fast-food restaurant (~2,857 SF) to become a bank facility with one existing drive-thru lane remaining. Minor exterior building modifications to match Fifth Third Bank branding standards.

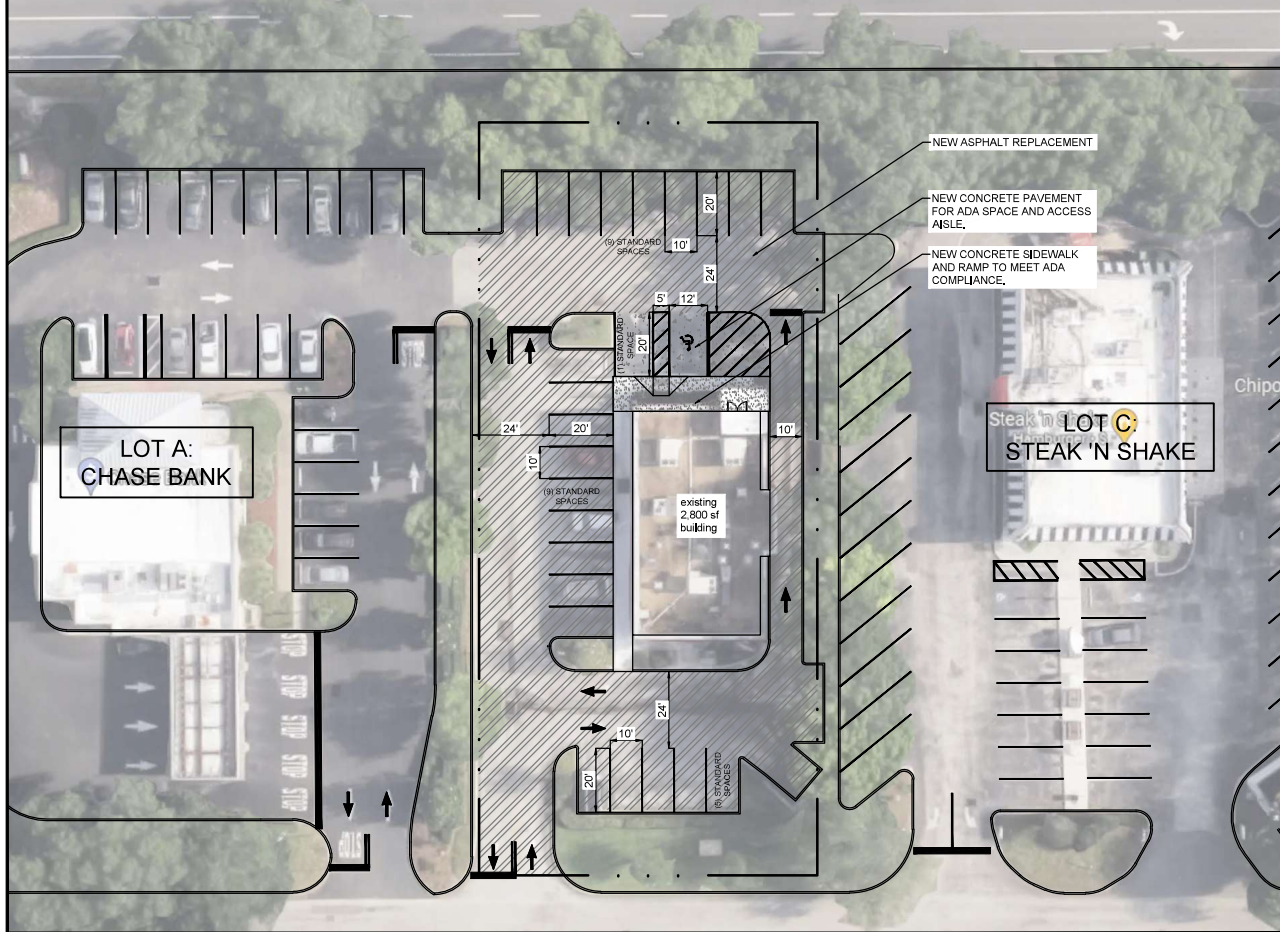
Minor site improvements include replacing all asphalt pavement (Base and Sub-Base to remain), Replacing concrete pavement for ADA parking space and concrete sidewalk and ramp to meet ADA compliance. Quantity of existing parking spaces.

**PARCEL ID:** 18-20-30-511-0000-0040 | **PARCEL AREA:** 25,300 SF / 0.58 AC



# W LAKE MARY BOULEVARD

W Lake Mary B



## SITE DATA

SITE ADDRESS: 4335 W LAKE MARY BOULEVARD  
LAKE MARY, FL 32746

FIN: 18-20-30-511-0000-0040

BUILDING AREA: EXISTING 2,800 SF BUILDING

EXISTING ZONING: COMMERCIAL PUD (C-2 REQUIREMENTS)

SITE AREA: 25,300 SF / 0.58 AC

EXISTING USE: RESTAURANT WITH DRIVE THRU

FUTURE USE: BANK WITH DRIVE THRU

### PARKING DATA

BANK PARKING REQUIRED: 1 SPACE PER 300 SF OF G.F.A.  
2,800 SF x (1 / 300 SF) = 9 SPACES

TOTAL PARKING PROVIDED: STANDARD PARKING = 24 SPACES  
ADA PARKING = 1 SPACE  
TOTAL PARKING PROVIDED = 25 SPACES

PARKING SPACE SIZE: 10' x 20' MINIMUM

### LANDSCAPE REQUIREMENTS:

LANDSCAPE BUFFER - FRONT  
LANDSCAPE BUFFER - SIDE  
LANDSCAPE BUFFER - REAR

### REQUIRED

= 10'  
= 10'  
= 10'

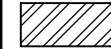
### BUILDING REQUIREMENTS:

BUILDING SETBACK - FRONT  
BUILDING SETBACK - SIDE  
BUILDING SETBACK - REAR

### REQUIRED

= 25'  
= 0'  
= 10'

## LEGEND



NEW ASPHALT PAVEMENT REPLACEMENT



NEW CONCRETE PAVEMENT



NEW CONCRETE SIDEWALK REPLACEMENT

## ARCHITECT/ ENGINEER OF RECORD

BDG ARCHITECTS  
400 N Ashley Dr Ste 600  
Tampa, Florida 33602

P: 813.323.9233  
F: 813.323.9238  
www.bdgfla.com



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FIFTH THIRD BANK  
LAKE MARY

4335 W LAKE MARY BOULEVARD  
LAKE MARY, FL 32746



JOB NO. 230643

DATE: 11-10-23

DRAWN BY: IEG

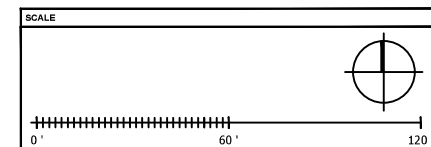
SCALE: 1" = 60'

SHEET TITLE:

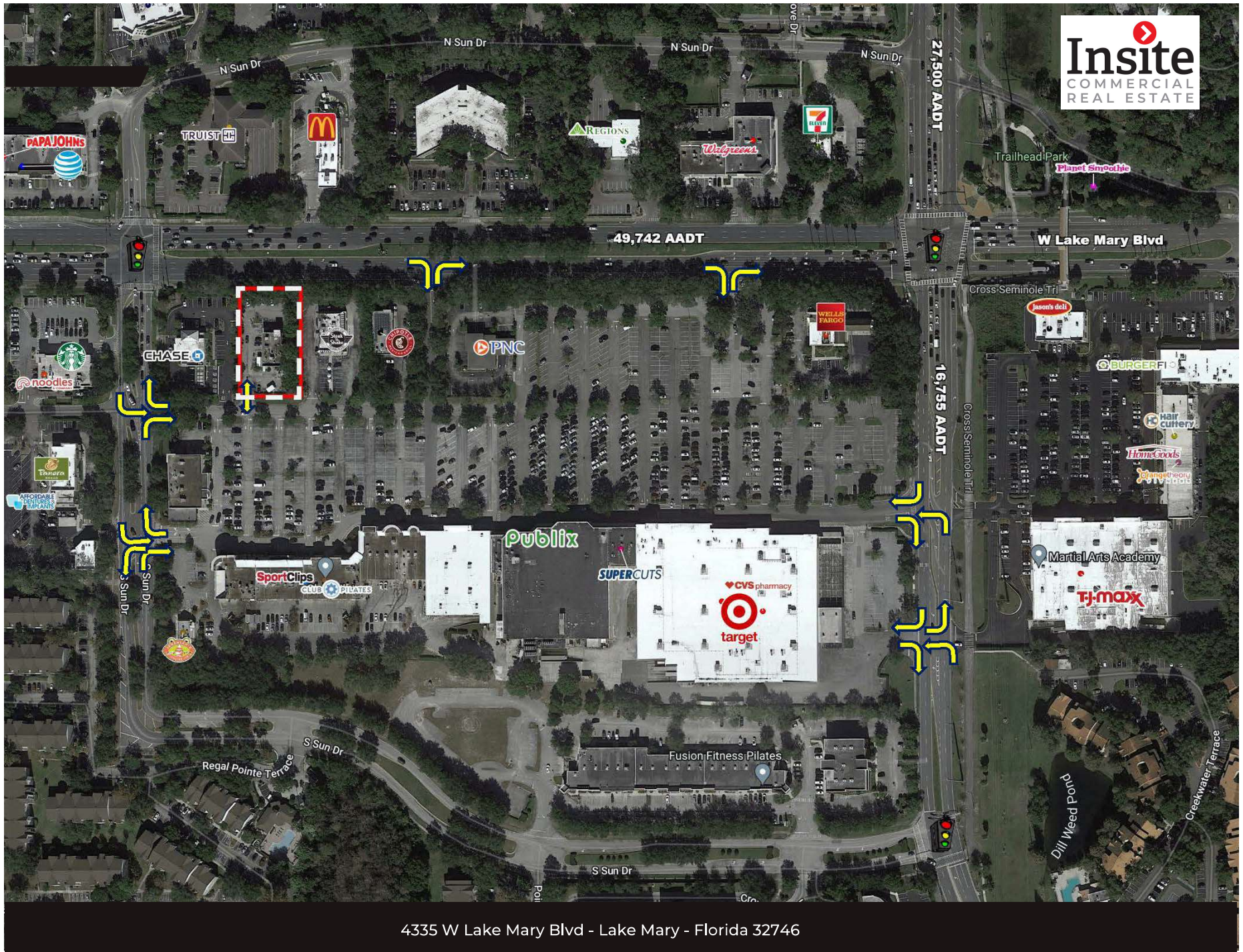
TEST FOR FIT

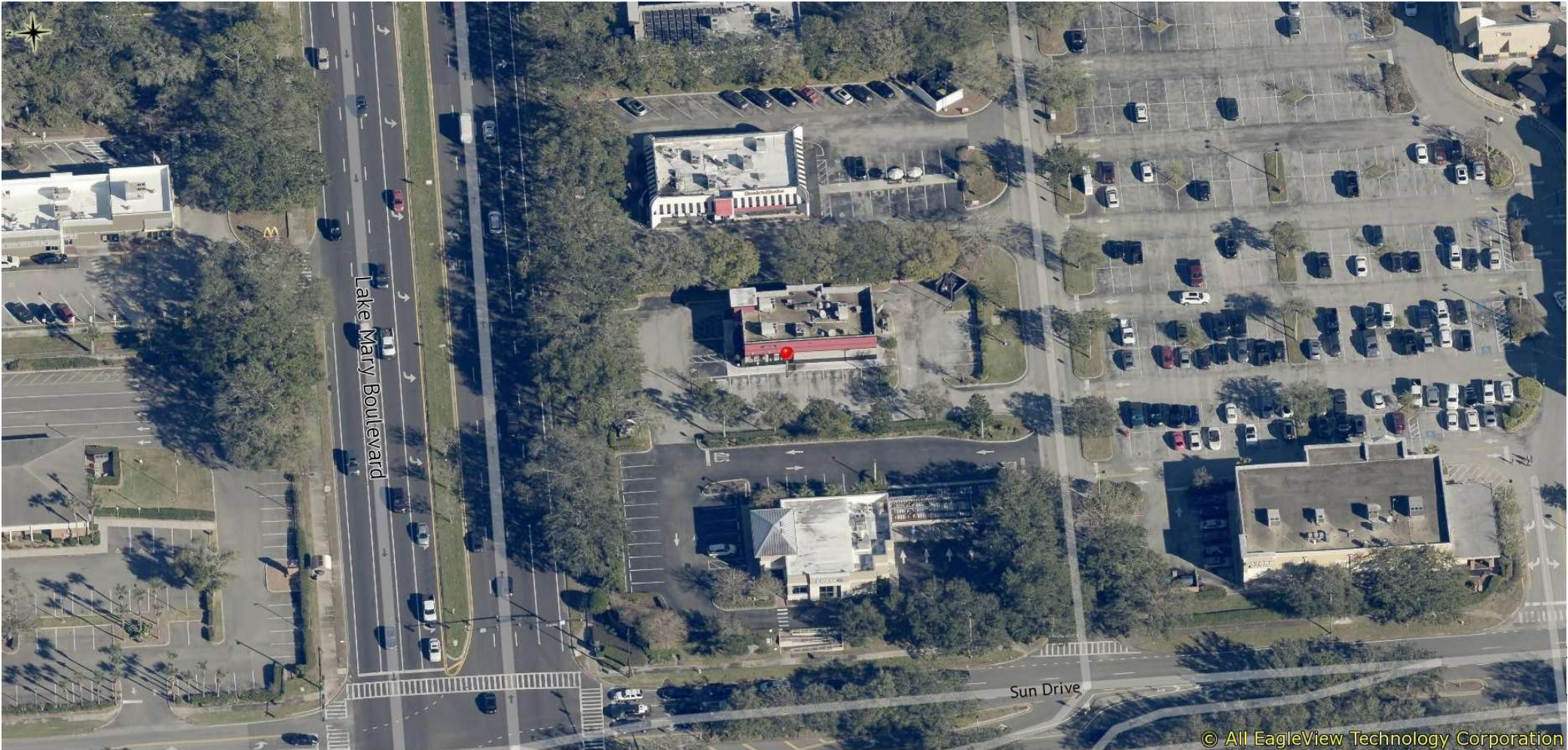
SHEET NUMBER:

1A



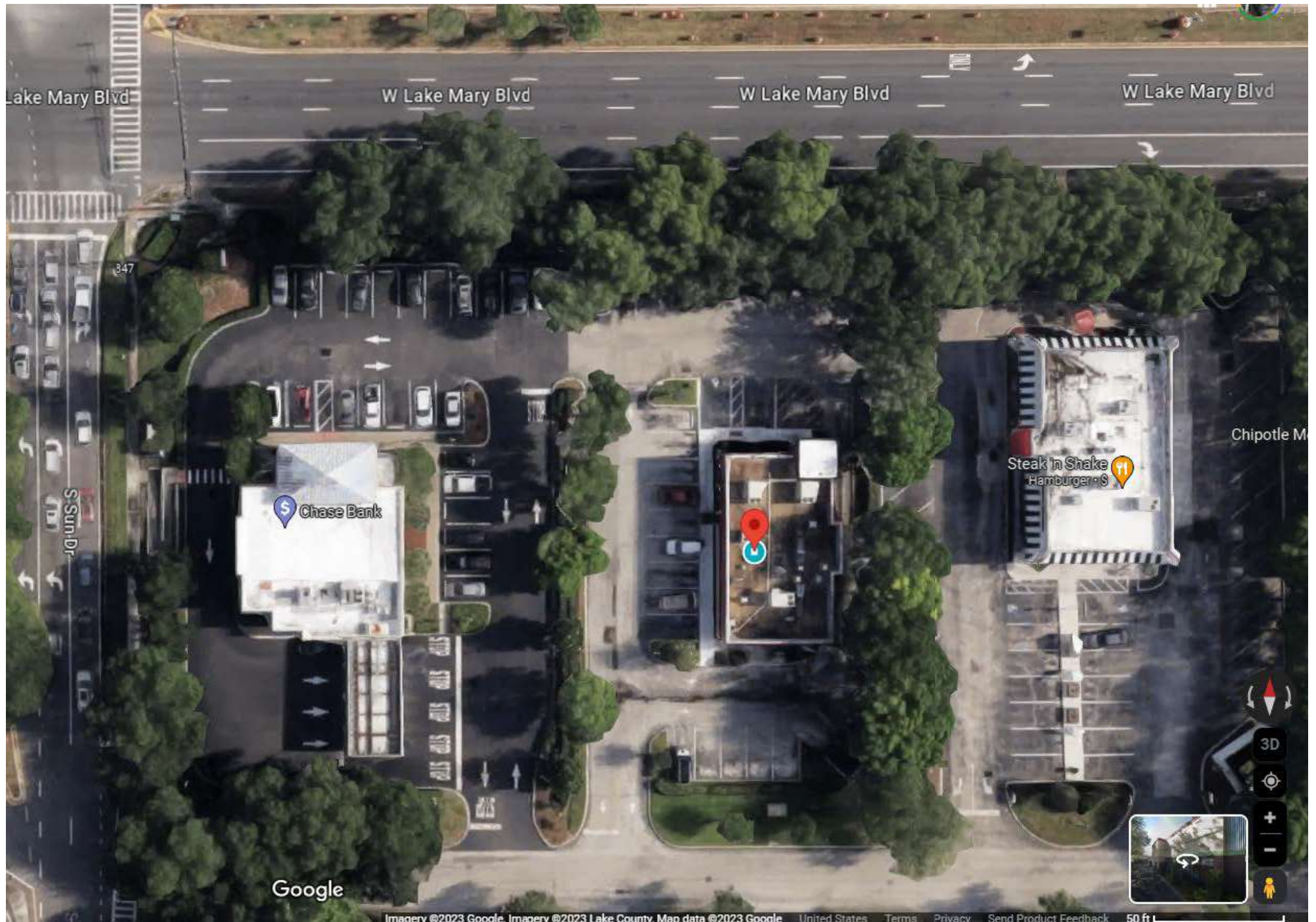
# EXISTING SITE- VICINITY





© All EagleView Technology Corporation

# EXISTING SITE



EXISTING PROPERTY PHOTOS



[illegible]

WATER LINE  
FIRE HYDRANT ASSEMBLY  
BLINDOFF  
VALVE AND C I VALVE BOX  
REDUCER  
DOUBLE WATER SERVICE W/ METERS  
SINGLE SERVICE W/ METER



SAN SEWER LINE  
 DOUBLE SERVICE LATERAL  
 SINGLE SERVICE LATERAL  
 SANITARY MANHOLE  
 CLEANOUT  
 SEWER MAIN IN CONC ENCASUREMENT  
 LIFT STATION  
 FORCE MAIN

4. STATEMENT OF INTENT:  
APPLICANT PROPOSES TO DEVELOP AN 32 SEAT BOSTON CHICKEN RESTAURANT WITH A DRIVE-THRU PICK-UP WINDOW AND ASSOCIATED PAVED PARKING FACILITIES. THE SITE IS LOT 8 OF THE LAKES HARBOR COLLECTION-PHASE II SHOPPING CENTER AND WILL CONNECT TO WATER, SEWER, AND DRAINAGE SERVICE STUBS PROVIDED TO IT VIA THE SHOPPING CENTER'S MASTER SYSTEM.

- [illegible]

[illegible]

Figure 1 shows two signs. The top sign is an octagonal stop sign with the word "STOP" in the center. The bottom sign is a circular "DO NOT ENTER" sign with a horizontal bar across the middle. Both signs are shown within square frames.

85-1  
30" x 30"

ASPHALT PAVING

NOTE:  
ALL DUMPSTER  
OPAQUE SCREEN

DUMPSTER

The diagram illustrates the construction of a sidewalk at a street corner. It shows two views: a plan view (top) and a section view (bottom). The plan view shows the sidewalk extending from the curb towards the building. A note indicates: "SIDEWALK TO BE CONSTRUCTED OF 3000 psi CONCRETE MAX. SLUMP 5". Dimensions shown include a 6' wide sidewalk and a 6" thick concrete slab. The section view shows the vertical profile of the sidewalk, including the curb, the concrete slab, and the base layer. A note points to the curb area: "THIS APPLICABLE TO THE SE... ANY SPECIFIC COMMISSIONER OF THE CO... PLANS OR... IN A ROAD... DOES NOT... MEETS FOR... SIBILITY OF... OF PLANS AND... THE COUNTY... OR NATURAL...".

Diagram illustrating the construction of a concrete pad. The pad is 12' x 12', 3000 psi concrete, reinforced with #3 rebar, 12' O.C.W. (On Center Width). The pad is shown resting on asphalt paving. An expansion joint (1/2") is indicated at the end of the pad. A note specifies: ALL DUMPSHED PADS SHALL BE PROVIDED W/ OPAQUE SCREEN FENCE & GATE 6" IN HEIGHT.

362A GRANT STREET  
LONGWOOD, FLORIDA 32750  
(407) 331-3773  
SITE PLANNING CONSULTING ENGINEERING  
ENVIRONMENTAL PERMITTING

ENGINEER \_\_\_\_\_

MANAGER \_\_\_\_\_

COUNTY \_\_\_\_\_

DESIGN RWH DRAFT JSS CHECK \_\_\_\_\_

PROJECT NO. 930174A

DATE NOV., 1993

SCALE 1" = 20'

1

# Property Record Card



**Parcel** 18-20-30-511-0000-0040

**Property Address** 4335 W LAKE MARY BLVD LAKE MARY, FL 32746

## Parcel Location



## Site View



## Parcel Information

<b>Parcel</b>	18-20-30-511-0000-0040
<b>Owner(s)</b>	PENUEL CO LLC
<b>Property Address</b>	4335 W LAKE MARY BLVD LAKE MARY, FL 32746
<b>Mailing</b>	C/O BOSTON MARKET CORP 14103 DENVER WEST PKWY PROPERTY ADMIN S@212 LAKEWOOD, CO 80401-3114
<b>Subdivision Name</b>	GREENWOOD AT LAKE MARY
<b>Tax District</b>	01-COUNTY-TX DIST 1
<b>DOR Use Code</b>	22-FAST FOOD RESTAURANT
<b>Exemptions</b>	None
<b>AG Classification</b>	No

## Value Summary

	2024 Working Values	2023 Certified Values
<b>Valuation Method</b>	Cost/Market	Cost/Market
<b>Number of Buildings</b>	1	1
<b>Depreciated Bldg Value</b>	\$345,916	\$343,683
<b>Depreciated EXFT Value</b>	\$16,349	\$13,722
<b>Land Value (Market)</b>	\$568,491	\$568,491
<b>Land Value Ag</b>		
<b>Just/Market Value</b>	\$930,756	\$925,896
<b>Portability Adj</b>		
<b>Save Our Homes Adj</b>	\$0	\$0
<b>Amendment 1 Adj</b>	\$0	\$0
<b>P&amp;G Adj</b>	\$0	\$0
<b>Assessed Value</b>	\$930,756	\$925,896

## 2023 Certified Tax Summary

<b>2023 Tax Amount without Exemptions</b>	<b>\$12,321.82</b>
<b>2023 Tax Bill Amount</b>	<b>\$12,321.82</b>

\* Does NOT INCLUDE Non Ad Valorem Assessments

## Legal Description

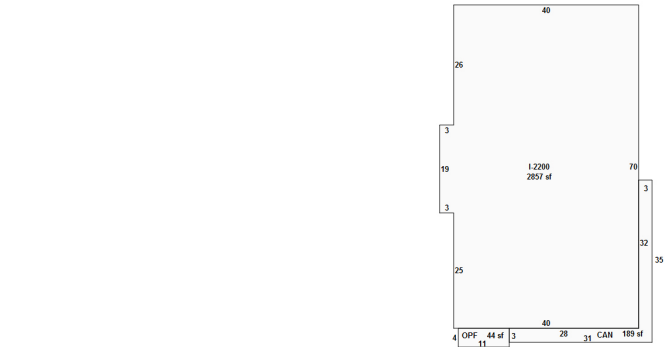
W 85 FT OF LOT 4 & E 30 FT OF  
LOT 5  
GREENWOOD AT LAKE MARY  
PB 45 PGS 67 & 68

Taxes			
Taxing Authority	Assessment Value	Exempt Values	Taxable Value
ROAD DISTRICT	\$930,756	\$0	\$930,756
SJWM(Saint Johns Water Management)	\$930,756	\$0	\$930,756
FIRE	\$930,756	\$0	\$930,756
COUNTY GENERAL FUND	\$930,756	\$0	\$930,756
Schools	\$930,756	\$0	\$930,756

Sales						
Description	Date	Book	Page	Amount	Qualified	Vac/Imp
SPECIAL WARRANTY DEED	06/01/2013	08072	1156	\$2,377,900	No	Improved
SPECIAL WARRANTY DEED	07/01/2007	06799	0819	\$100	No	Improved
QUIT CLAIM DEED	05/01/2000	03858	0870	\$100	No	Improved
SPECIAL WARRANTY DEED	04/01/1994	02759	1384	\$16,500	No	Vacant
WARRANTY DEED	07/01/1992	02447	1438	\$5,960,400	No	Vacant

Land					
Method	Frontage	Depth	Units	Units Price	Land Value
SQUARE FEET			25300	\$22.47	\$568,491

Building Information									
#	Description	Year Built Actual/Effective	Stories	Total SF	Ext Wall	Adj Value	Repl Value	Appendages	
1	MASONRY PILASTER .	1994/2006	1	2857.00	CONCRETE BLOCK - MASONRY	\$345,916	\$435,115	Description	Area
								OPEN PORCH FINISHED	44.00
								CANOPY	189.00



Sketch by Ryan Skerch

Permits					
Permit #	Description	Agency	Amount	CO Date	Permit Date
04961	FIRE ALARM - BOSTON CHICKEN	County	\$900		7/1/1994
13118	INTERIOR ALTERATIONS	Altamonte Springs	\$55,000	1/17/2007	11/27/2006
02752	857 SUN DR	County	\$200,000	7/25/1994	4/1/1994
04085	BOSTON CHICKEN COMPANY DOING WORK - FIREMASTER	County	\$550		6/1/1994
00508	BOSTON MARKET RANGE HOOD SUPPR	County	\$1,286		1/1/1996
00219	INSTALL FIRE ALARM SYSTEM	County	\$2,499		1/1/2002
09383	NEW MENU BOARDS, SPKR & RELOCATE EQUIP	County	\$35,000		10/1/2001
01422	4 SIGNS	County	\$0		2/1/2002
04377	LAKE MARY BOSTON CHICKEN AUTOMATIC SPRINKLER 857 SUN DR	County	\$2,800		6/1/1994
00362	RANGE HOOD SUPPRESSION SYSTEM	County	\$3,895		1/11/2007
00201	WALL SIGN	County	\$5,000		1/8/2007
00299	REROOF	County	\$8,095		1/10/2007
08147	MECHANICAL	County	\$6,800		9/27/2013
00556	INSTALLING WALL SIGNS	County	\$1,800		1/17/2017
09590	PLUMBING	County	\$16,600		7/13/2017

Extra Features				
Description	Year Built	Units	Value	New Cost
WALKS CONC COMM	06/01/1994	775	\$1,445	\$3,612
COMMERCIAL CONCRETE DR 4 IN	06/01/1994	144	\$268	\$671
BRICK WALKWAY	06/01/1994	90	\$329	\$823
BLOCK WALL	06/01/1994	234	\$861	\$2,153
COMMERCIAL ASPHALT DR 2 IN	06/01/1994	13,720	\$13,446	\$33,614

Zoning			
Zoning	Zoning Description	Future Land Use	Future Land Use Description
PD	Commercial	COM	Planned Development

Utility Information								
Fire Station	Power	Phone(Analog)	Water Provider	Sewer Provider	Garbage Pickup	Recycle	Yard Waste	Hauler
36.00	DUKE	AT&T	SEMINOLE COUNTY UTILITIES	SEMINOLE COUNTY UTILITIES	NA	NA	NA	NA

Political Representation				
Commissioner	US Congress	State House	State Senate	Voting Precinct
Dist 4 - Amy Lockhart	Dist 7 - Stephanie Murphy	Dist 29 - Scott Plakon	Dist 9 - Jason Brodeur	20

School Information		
Elementary School District	Middle School District	High School District
Lake Mary	Greenwood Lakes	Lake Mary



**Seminole County Government  
Development Services Department  
Planning and Development Division  
Credit Card Payment Receipt**

If you have questions about your application or payment, please email us [eplandesk@seminolecountyfl.gov](mailto:eplandesk@seminolecountyfl.gov) or call us at: (407) 665-7371.

**Receipt Details**

**Date:** 11/14/2023 8:55:53 AM  
**Project:** 23-80000152  
**Credit Card Number:** 55\*\*\*\*\*4517  
**Authorization Number:** 010289  
**Transaction Number:** 141123C1C-9CB711F2-0BB5-48B8-9D8A-0619CE19E695  
**Total Fees Paid:** 52.50

**Fees Paid**

<b>Description</b>	<b>Amount</b>
CC CONVENIENCE FEE -- PZ	2.50
PRE APPLICATION	50.00
<b>Total Amount</b>	<b>52.50</b>