



SEMINOLE COUNTY  
PLANNING & DEVELOPMENT DIVISION  
1101 EAST FIRST STREET, ROOM 2028  
SANFORD, FLORIDA 32771  
(407) 665-7371 EPLANDESK@SEMINOLECOUNTYFL.GOV

PROJ. #: 24-80000081

## PRE-APPLICATION

**INCOMPLETE APPLICATIONS WILL NOT BE ACCEPTED**

### APPLICATION FEE

<input checked="" type="checkbox"/> PRE-APPLICATION	\$50.00
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### PROJECT

PROJECT NAME: EA-Target T1918 Lake Mary
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PARCEL ID #(S): 18-20-30-511-0000-0020
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TOTAL ACREAGE: 10.4	BCC DISTRICT: <b>4: Lockhart</b>
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ZONING: PD- Planned Development	FUTURE LAND USE: COM
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### APPLICANT

NAME: Mitra Emtiazi	COMPANY: SAI Group on behalf of Electrify America
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ADDRESS: 12 Industrial Way
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CITY: Salem	STATE: NH	ZIP: 03079
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PHONE: 603-560-6366	EMAIL: memtiazi@saigrp.com
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### CONSULTANT

NAME: Mitra Emtiazi	COMPANY: SAI Group on behalf of Electrify America
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ADDRESS: 12 Industrial Way
----------------------------

CITY: Salem	STATE: NH	ZIP: 03079
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PHONE: 603-560-6366	EMAIL: memtiazi@saigrp.com
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### PROPOSED DEVELOPMENT (CHECK ALL THAT APPLY)

SUBDIVISION    LAND USE AMENDMENT    REZONE    SITE PLAN    SPECIAL EXCEPTION

Description of proposed development: installation of (10) level 3 electric vehicle chargers in an existing parking lot. Install (1) concrete pad for placement of (1) switchgear. (5) concrete pads for placement of (5) power cabinets and chargers.

### STAFF USE ONLY

COMMENTS DUE: <b>7/5</b>	COM DOC DUE: <b>7/11</b>	DRC MEETING: <b>7/17</b>
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<input type="checkbox"/> PROPERTY APPRAISER SHEET	<input type="checkbox"/> PRIOR REVIEWS:
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ZONING: <b>PD</b>	FLU: <b>COM</b>	LOCATION: <b>on the north side of Lake Mary Blvd, west of Greenwood Blvd</b>
W/S: <b>Seminole County</b>	BCC: <b>4: Lockhart</b>	

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## PROJECT NARRATIVE

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Project: EA-Target T1918 Lake Mary  
Lake Mary, Florida

Location: 4155 West Lake Mary  
Lake Mary, Florida

The project consists of the installation of an electric vehicle charging station and accessory utility equipment.

The site is situated on an existing and previously developed lot. The lot is an existing parking lot belonging to the Target Corporation. The subject lot is entirely within the PD-Planned Development zoning district. This project does not propose any changes to the land or building use. The Flood Insurance Rate Maps (effective 9/28/2007) indicates the project site is in a zone X (area of minimal flood hazard).

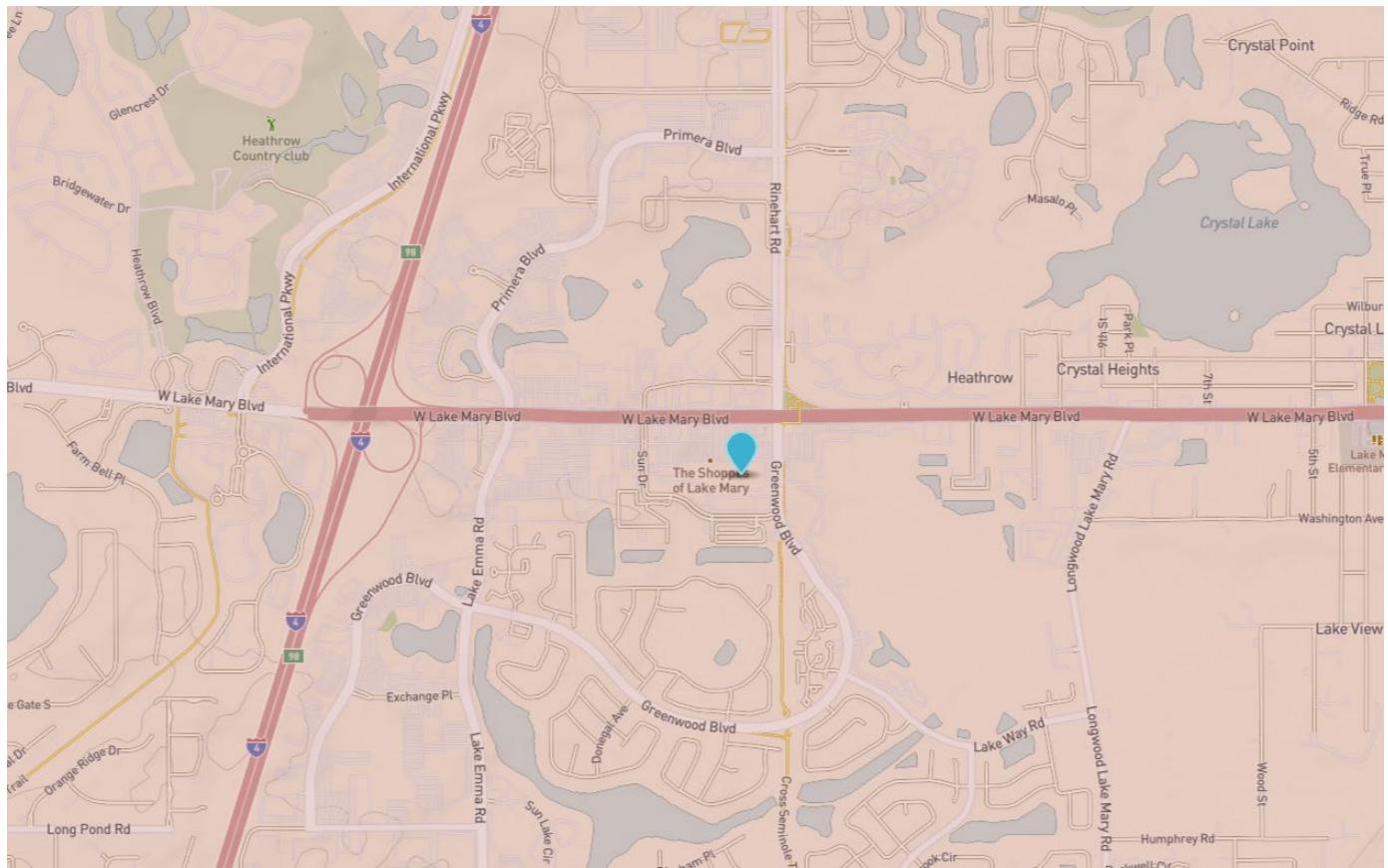
The proposed project consists of transitioning (14) existing parking stalls to (10) parking stalls with (10) back-to-back electric vehicle charging dispensers and (5) power cabinets on (5) concrete slab pads, a concrete equipment pad for an electrical switchgear cabinet, and a utility-provided transformer.

The site work includes excavation for the trenching of electrical conduits and hand holes, and for the installation of the concrete pads for the equipment. A concrete curb is proposed around the equipment pad. Protective bollards are proposed around electrical equipment, equipment pad and utility provided transformer.

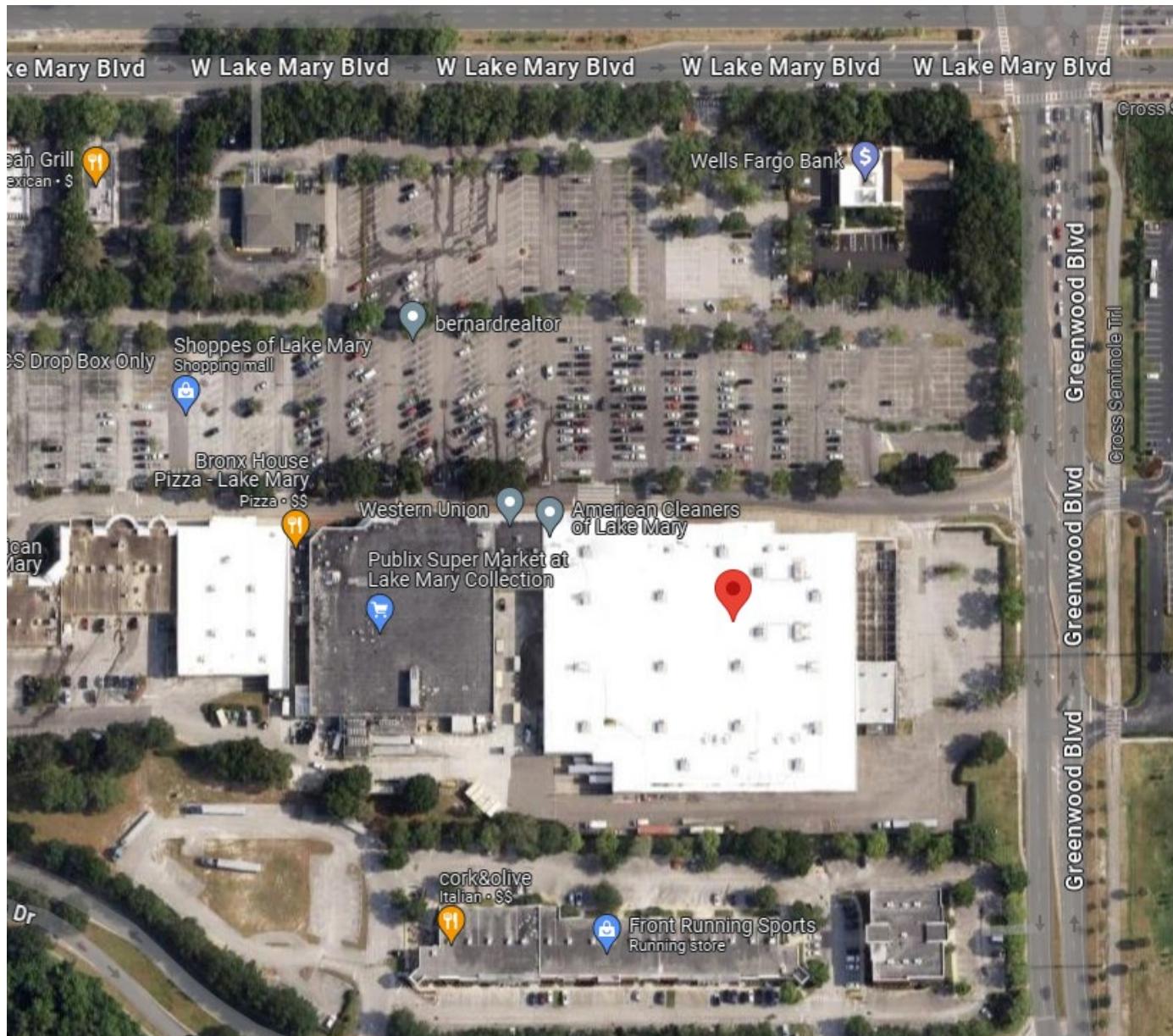
Utility power will be coordinated with Duke Energy and the proposed work will consist of installation of underground conduit via a directional bore from the primary power source to a utility owned transformer.

The charging stations are intended as an amenity to the existing parking lot that will allow The Target Corporations customers, as well as adjacent businesses, the convenience of charging their vehicles while shopping. The proposed charging stations are consistent with the general description of the Planned Development district, that it is for personal and business services and is complimentary to the general retail business of the city.

## USGS Map

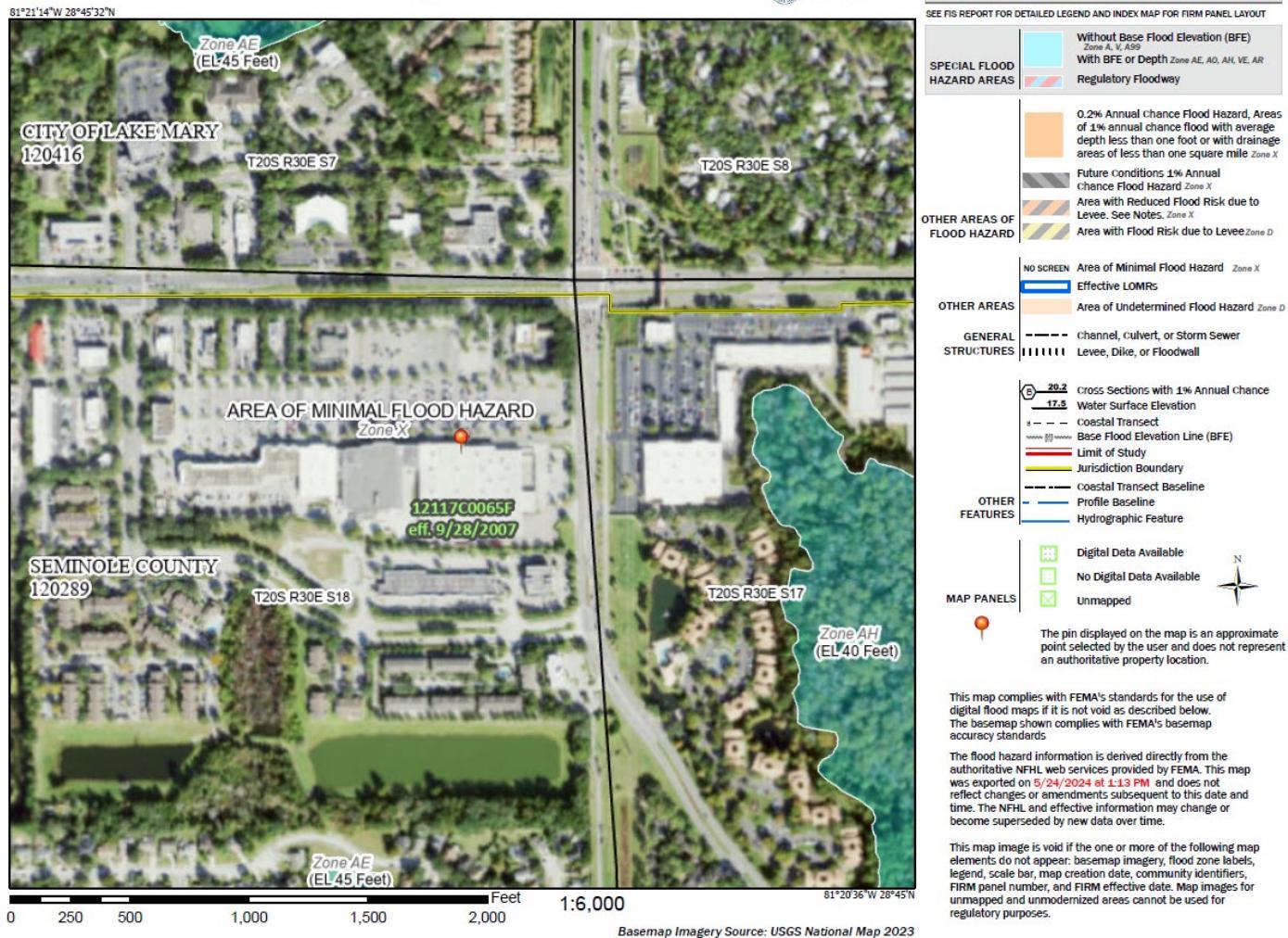


## Aerial Map



## Flood Map

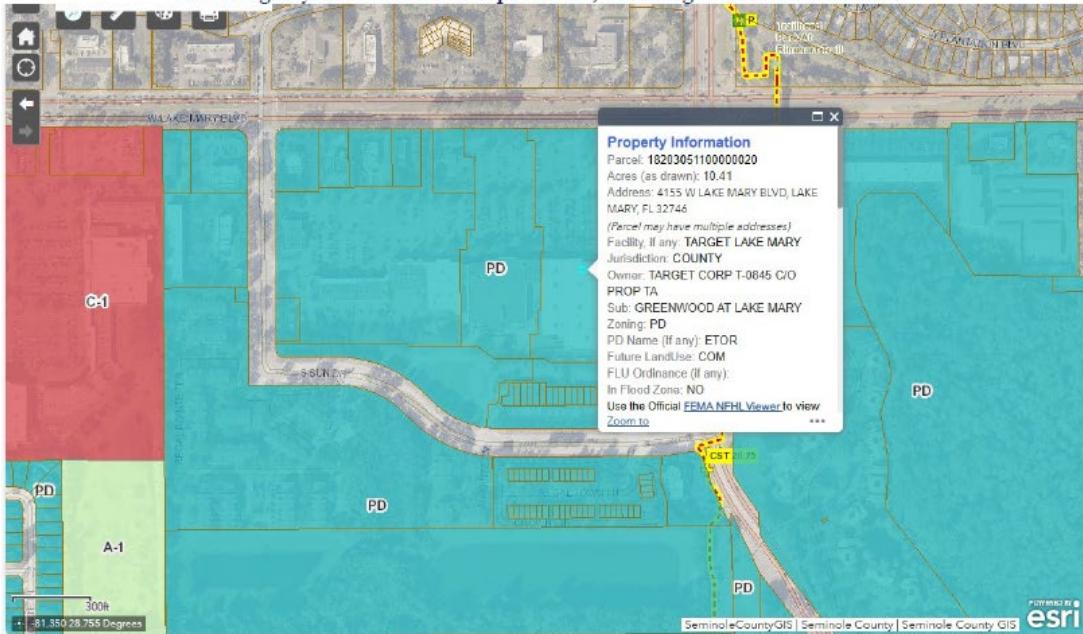
### National Flood Hazard Layer FIRMette



## Zoning Map



Reaching Beyond Our Client's Expectations, Providing Nationwide Solutions.



## ZONING MAP

**Jurisdiction: Seminole County  
 County: Seminole County**

**Address: 4155 W Lake Mary Blvd**

**Zoning Designation: PD, Planned Development: Abutting Zoning Designations  
 North - Outside Municipal Boundary; South - PD, Planned Development; East – PD  
 Planned Development; West - PD, Planned Development**

NOTE:

1. SURVEY AND TOPOGRAPHICAL FEATURES SHOWN FOR REFERENCE ONLY. SEE INCLUDED SURVEY (BY OTHERS) PERFORMED FOR THIS PROJECT.

**electrify  
america**

ELECTRIFY AMERICA, LLC  
2003 EDMUND HALLEY  
DRIVE  
SUITE 200  
RESTON, VA 20191

The logo for SAI, featuring the letters 'SAI' in a stylized, blocky font. The 'S' is blue, the 'A' is grey, and the 'I' is blue with a small yellow square at the top.

12 INDUSTRIAL WAY  
SALEM, NEW HAMPSHIRE 03079

**LDC** | Surveying  
Engineering  
Planning  
Kent Woodinville Olympia  
20210 142nd Avenue NE  
Woodinville, WA 98072  
T: 425.292.1880 F: 425.292.2887

---

JOB NAME  
240366  
TARGET T0845  
4155 W LAKE MARY  
BLVD  
LAKE MARY, FL 32746

SHEET TITLE  
**OVERALL SITE  
PLAN**

**PORTION OF LOT 1  
GREENWOOD AT  
LAKE MARY  
PB 45, PGS 67-68**

PUBLIX SUPER MARKETS INC  
APN: 18-20-30-511-0000-0010

## **Lake Mary Blvd**

PROPOSED SOURCE  
OF UTILITY POWER —

## 1 OVERALL SITE PLAN

A-1 22" x 34" SCALE: 1" = 20' 11" x 17" SCALE: 1" = 40'

**LOT 2 AND PORTION OF LOT 1  
GREENWOOD AT LAKE MARY**

TARGET CORP. T-0845  
APN: 18-20-30-511-0000-0020

PROPOSED BTC GEN IV DISPENSERS

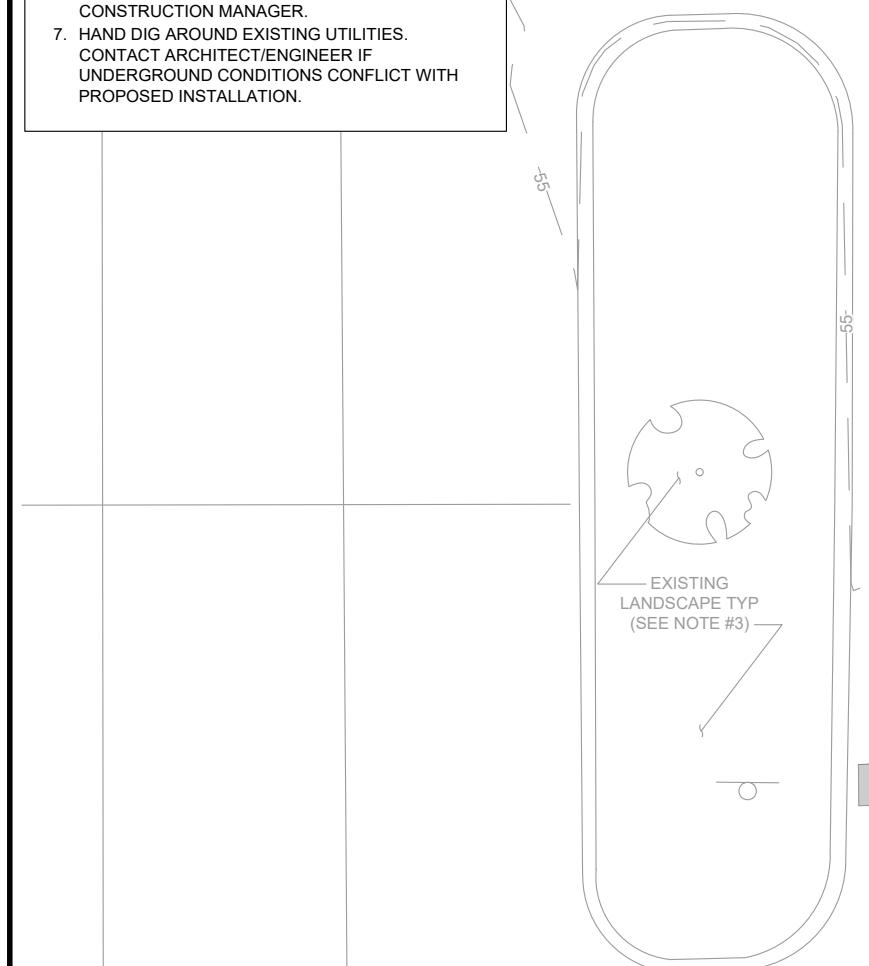
A circular compass rose with a black triangle pointing upwards, containing the letter 'N'.

A-1

**NOTES:**

1. SURVEY AND TOPOGRAPHICAL FEATURES SHOWN FOR REFERENCE ONLY. SEE INCLUDED SURVEY (BY OTHERS) PERFORMED FOR THIS PROJECT.
2. CONTRACTOR SHALL PROTECT EXISTING INFRASTRUCTURE IN PLACE WITHIN THE AREA OF IMPROVEMENTS, AND RETURN SIDEWALKS, CURBING, ASPHALT, LANDSCAPING, PLANTERS, IRRIGATION SYSTEMS, AND ANY OTHER FACILITIES DISTURBED BY THE WORK TO THE SAME OR BETTER CONDITIONS PRIOR TO THE COMMENCEMENT OF WORK.
3. CONTRACTOR SHALL PROTECT EXISTING LANDSCAPING, TREES, GROUND COVER, ROOT SYSTEMS AND DECORATIVE ROCKERIES TO THE MAXIMUM EXTENT POSSIBLE.
4. CONTRACTOR TO NOTIFY ARCHITECT/ENGINEER OF ANY DISCREPANCIES PRIOR TO PERFORMING WORK.
5. DISTURBED AREAS AROUND TRANSFORMER AND EQUIPMENT SLAB SHALL BE COVERED WITH MULCH AND FILTER FABRIC UNDERLayment.
6. CONTRACTOR TO PROVIDE KEYSAFE PRO S7 KEYBOX MOUNTED TO TREX FENCE (OR SWITCHGEAR IF NO TREX FENCE) FINAL LOCATION AT DISCRETION OF SAI CONSTRUCTION MANAGER.
7. HAND DIG AROUND EXISTING UTILITIES. CONTACT ARCHITECT/ENGINEER IF UNDERGROUND CONDITIONS CONFLICT WITH PROPOSED INSTALLATION.

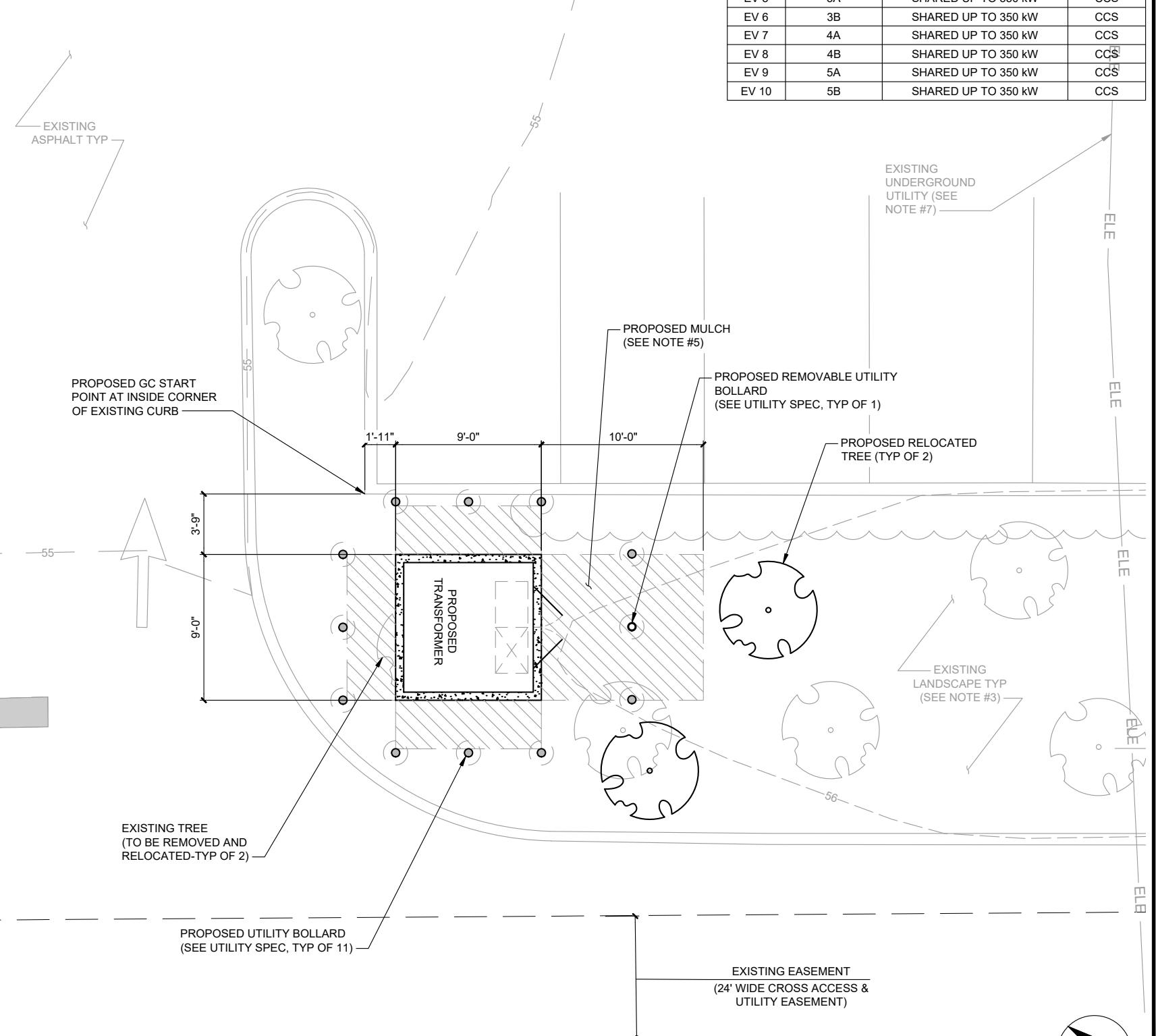
CURB LEGEND:	
	= TYPE A, CATCH GUTTER
	= TYPE B, SPILL GUTTER
	= TYPE C, HEADER CURB



1 PROPOSED LAYOUT

A-3 22" x 34" SCALE: 1/4" = 1'-0" 11" x 17" SCALE: 1/8" = 1'-0"

2' 0" 2' 4' 8'



PROJECT AREA STALL COUNT

EXISTING STALL COUNT	14
PROPOSED STALL COUNT	10
HOST APPROVED STALL COUNT	14

PROPOSED BTC GEN IV DISPENSER

STALL	DISPENSER #	kW	CABLE TYPE
EV 1	1A	SHARED UP TO 350 kW	CCS
EV 2	1B	SHARED UP TO 350 kW	CCS
EV 3	2A	SHARED UP TO 350 kW	CCS
EV 4	2B	SHARED UP TO 350 kW	CCS
EV 5	3A	SHARED UP TO 350 kW	CCS
EV 6	3B	SHARED UP TO 350 kW	CCS
EV 7	4A	SHARED UP TO 350 kW	CCS
EV 8	4B	SHARED UP TO 350 kW	CCS
EV 9	5A	SHARED UP TO 350 kW	CCS
EV 10	5B	SHARED UP TO 350 kW	CCS

**electrify**  
america

ELECTRIFY AMERICA, LLC  
2003 EDMUND HALLEY  
DRIVE  
SUITE 200  
RESTON, VA 20191

**SAI**

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SALEM, NEW HAMPSHIRE 03079

**LDC** | Surveying  
Engineering  
Planning  
Kent Woodinville Olympia  
20210 142nd Avenue NE Woodinville, WA 98072  
T 425.806.1869 www.LDCcorp.com F 425.482.2893

JOB NAME  
240366  
TARGET T0845  
4155 W LAKE MARY  
BLVD  
LAKE MARY, FL 32746

SHEET TITLE  
PROPOSED LAYOUT

CHECKED BY: RBH

A-3



**NOTES:**

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CURB LEGEND:

STM  = TYPE A, CATCH GUTTER STM

 = TYPE B, SPILL GUTTER

 = TYPE C, HEADER CURB

**PROJECT AREA STAFF COUNT**

EXISTING STALL COUNT	14
PROPOSED STALL COUNT	10
APPROVED STALL COUNT	14

## PROPOSED BTC GEN IV DISPENSER

STALL	DISPENSER #	kW	CABLE TYPE
EV 1	1A	SHARED UP TO 350 kW	CCS
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EV 5	3A	SHARED UP TO 350 kW	CCS
EV 6	3B	SHARED UP TO 350 kW	CCS
EV 7	4A	SHARED UP TO 350 kW	CCS
EV 8	4B	SHARED UP TO 350 kW	CCS
EV 9	5A	SHARED UP TO 350 kW	CCS
EV 10	5B	SHARED UP TO 350 kW	CCS

ELECTRIFY AMERICA, LLC  
2003 EDMUND HALLEY  
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RESTON, VA 20191



12 INDUSTRIAL WAY  
SALEM, NEW HAMPSHIRE 03079

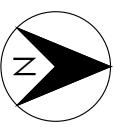
The logo for LDC Surveying, Engineering, and Planning. It features the letters 'LDC' in a large, bold, black font. To the right of 'LDC' is a vertical line, and to the right of the line is the company name 'Surveying', 'Engineering', and 'Planning' stacked vertically in a smaller black font.

JOB NAME  
240366  
TARGET T0845  
4155 W LAKE MARY  
BLVD  
LAKE MARY, FL 32746

SHEET TITLE

A	5-28-24	PRELIMINARY (CD50)	KB
EV	DATE	DESCRIPTION	BY

CHECKED BY: RBH



A-3.2

**NOTE:**  
1. ELEVATION VIEW IS FOR REVIEW REFERENCE  
AND NOT TO BE USED FOR CONSTRUCTION.  
REFER TO LAYOUTS AND DETAIL SHEETS FOR  
CONSTRUCTION.

**electrify  
america**

ELECTRIFY AMERICA, LLC  
2003 EDMUND HALLEY  
DRIVE  
SUITE 200  
RESTON, VA 20191

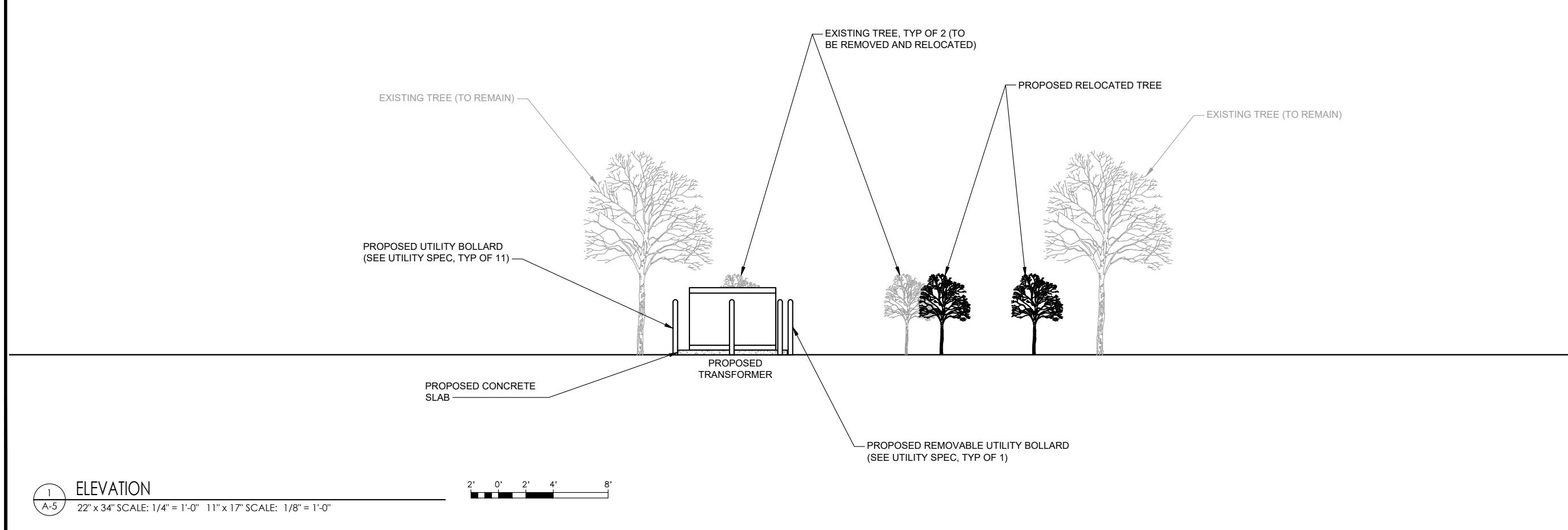
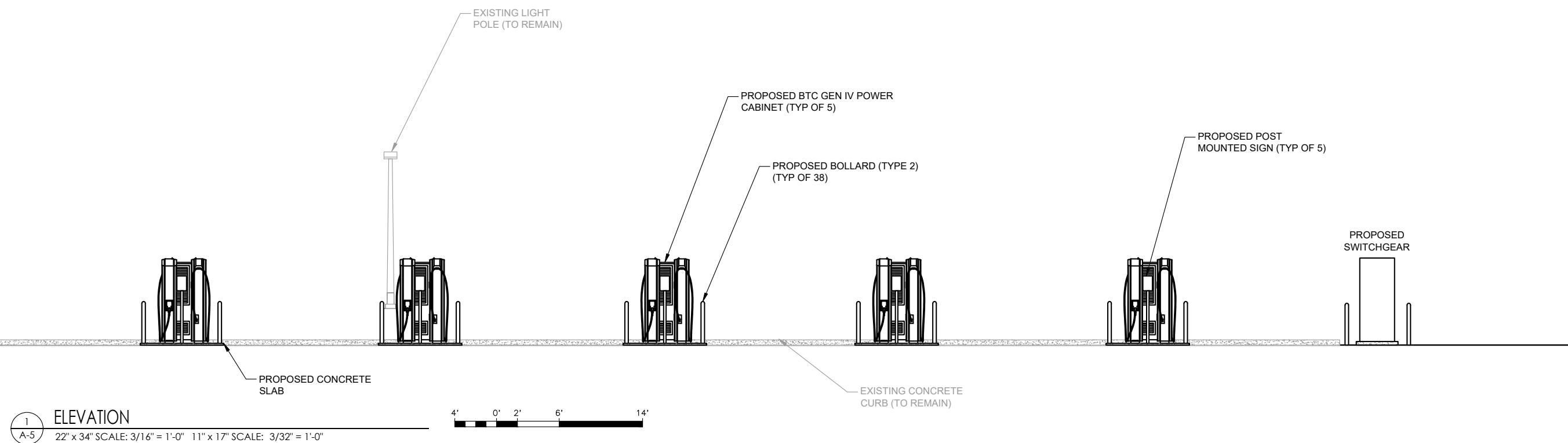
**SAI**

12 INDUSTRIAL WAY  
SALEM, NEW HAMPSHIRE 03079

**LDC** Surveying  
Engineering  
Planning

Kent Woodinville 20210 142nd Avenue NE Olympia  
Woodinville, WA 98072

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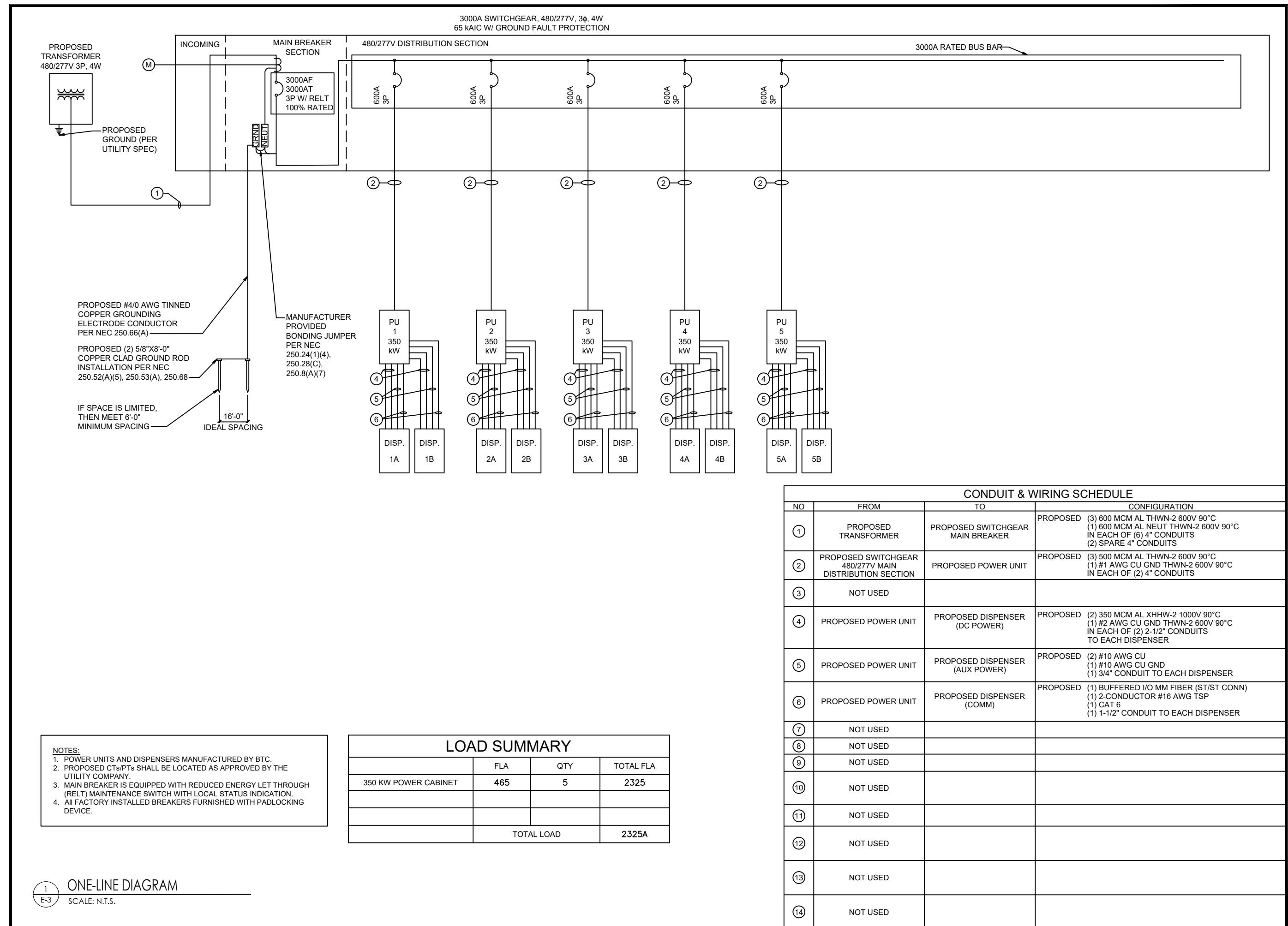
JOB NAME  
240366  
TARGET T0845  
4155 W LAKE MARY  
BLVD  
LAKE MARY, FL 32746

SHEET TITLE  
ELEVATION

A 5-28-24	PRELIMINARY (CD50)	K8
REV	DATE	DESCRIPTION

CHECKED BY: RBH

A-5



**electrify**  
**america**

ELECTRIFY AMERICA, LLC  
2003 EDMUND HALLEY  
DRIVE  
SUITE 200  
RESTON, VA 20191



12 INDUSTRIAL WAY  
SALEM, NEW HAMPSHIRE 03079

**LDC** | Surveying  
Engineering  
Planning

Kent Woodinville 2020 142nd Avenue NE Olympia  
Woodinville, WA 98072 T 425.806.1869 www.LDCcorp.com F 425.482.2893

JOB NAME  
240366  
TARGET T0845  
4155 W LAKE MARY  
BLVD  
LAKE MARY, FL 32746

SHEET TITLE  
ONE-LINE  
DIAGRAM

A 5-28-24 PRELIMINARY (CD50) K8  
REV DATE DESCRIPTION BY

CHECKED BY: RBH

**E-3**

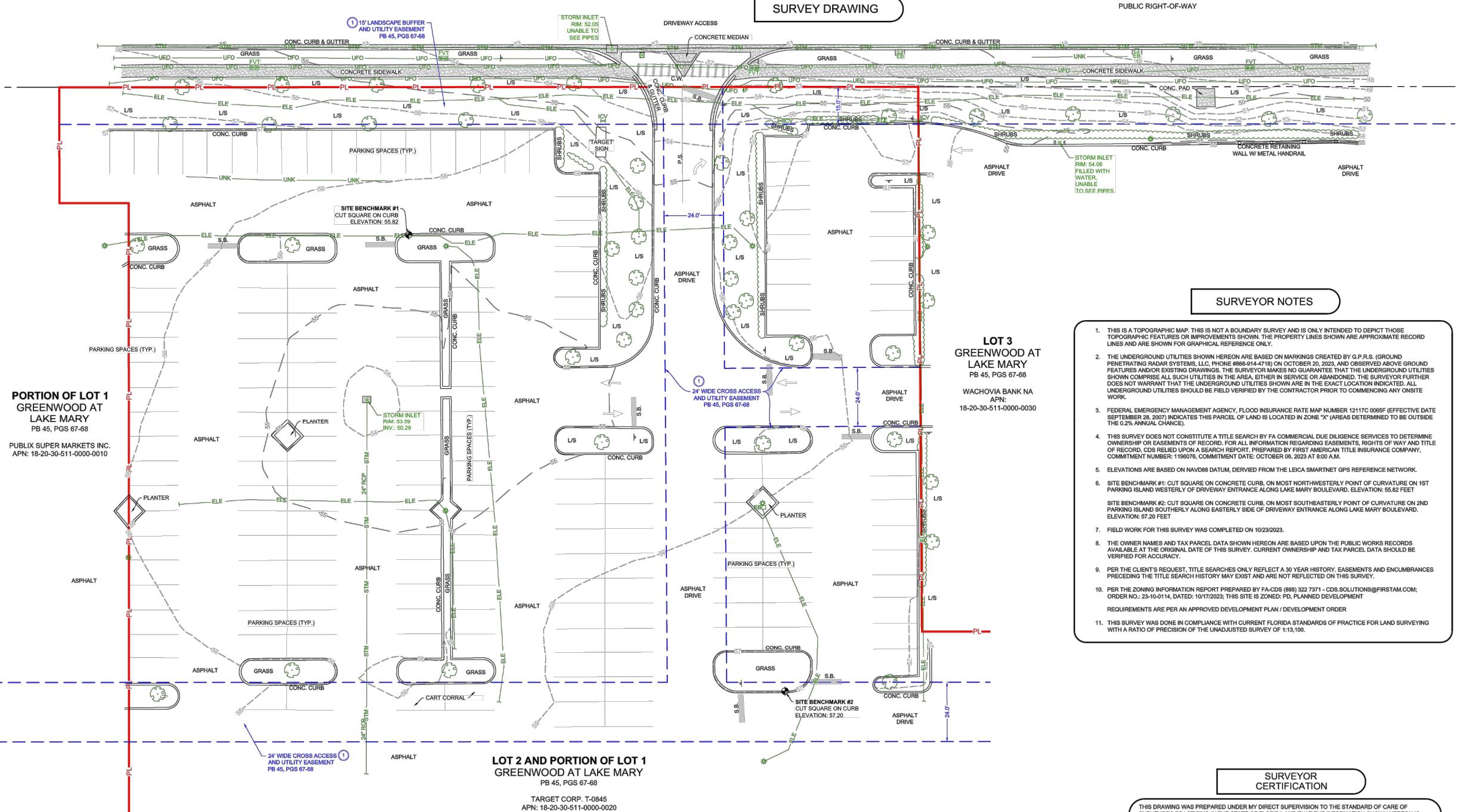
**LAKE MARY BOULEVARD**

PUBLIC RIGHT-OF-WAY

**SURVEY DRAWING**

GRID NORTH

NOT TO SCALE  
FOR REFERENCE  
ONLY

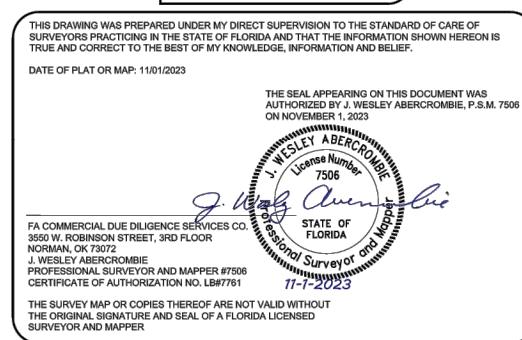


**SCHEDULE "B" ITEMS**

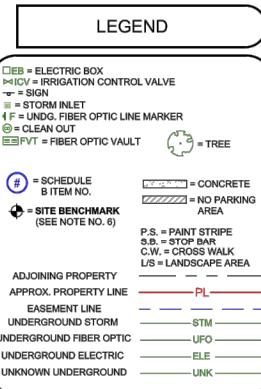
NOTES CORRESPONDING TO SCHEDULE "B" SECTION TWO EXCEPTIONS:

TYPE OF INSTRUMENT	O.R. BOOK	PAGE/INSTRUMENT	NOTES
1 GREENWOOD AT LAKE MARY	45	67	DOES AFFECT SURVEY AREA, 15' WIDE LANDSCAPE BUFFER AND UTILITY EASEMENT, AND 24' WIDE CROSS ACCESS AND UTILITY EASEMENT PLOTTED HEREON.
2 GRANT OF EASEMENT	2893	497	DOES NOT AFFECT SURVEY AREA, NOTHING PLOTTED ON SURVEY.
3 GRANT AND DECLARATION OF EASEMENT FOR UNDERGROUND DRAINAGE	2894	218	DOES NOT AFFECT SURVEY AREA, NOTHING PLOTTED ON SURVEY.
4 EASEMENT	3370	218	DOES NOT AFFECT SURVEY AREA, NOTHING PLOTTED ON SURVEY.
5 DISTRIBUTION EASEMENT	3514	1673	DOES AFFECT SURVEY, FALLS 5' ON EACH SIDE OF EXISTING FLORIDA POWER CORPORATION FACILITIES LOCATIONS NOT SPECIFIED IN DOCUMENT, NOTHING PLOTTED ON SURVEY.
6 NONEXCLUSIVE DISTRIBUTION EASEMENT	4060	1068	DOES NOT AFFECT SURVEY AREA, NOTHING PLOTTED ON SURVEY.

**VICINITY MAP**



Sheet 1 of 1



Limited Topographic Survey  
This Work Coordinated By:

**CDS**  
COMMERCIAL  
DUE DILIGENCE SERVICES

3550 W. Robinson Street, Third Floor  
Norman, Oklahoma 73072  
Main Office Phone No.: 405-253-2444  
Cds.solutions@firstam.com  
Toll Free: 888.457.7878

Drawn By: CZM	Date: --
Surveyor	Revision: --
Ref. No: 23-10-0114	Date: --
Approved By: JWA	Revision: --
Field Date: 10/23/2023	Date: --
Scale: 1" = 20'	Revision: --

Prepared For:

TARGET  
TARGET T0845  
C3 - 240366 - LAKE MARY FL

**PROJECT ADDRESS**

4155 W Lake Mary Blvd  
Lake Mary, Florida 32746

Project Name:  
C3 - 240366 - Lake Mary FL  
CDS Project Number:  
23-10-0114



**Seminole County Government  
Development Services Department  
Planning and Development Division  
Credit Card Payment Receipt**

If you have questions about your application or payment, please email us [elandesk@seminolecountyfl.gov](mailto:elandesk@seminolecountyfl.gov) or call us at: (407) 665-7371.

**Receipt Details**

**Date:** 6/6/2024 3:44:33 PM  
**Project:** 24-80000080  
**Credit Card Number:** 48\*\*\*\*\*9031  
**Authorization Number:** 037961  
**Transaction Number:** 060624O2C-0E1AF7EB-BBDF-498B-B172-0C10D838AC92  
**Total Fees Paid:** 52.50

**Fees Paid**

<b>Description</b>	<b>Amount</b>
CC CONVENIENCE FEE -- PZ	2.50
PRE APPLICATION	50.00
Total Amount	52.50