



SEMINOLE COUNTY  
 PLANNING & DEVELOPMENT DIVISION  
 1101 EAST FIRST STREET, ROOM 2028  
 SANFORD, FLORIDA 32771  
 (407) 665-7371 EPLANDESK@SEMINOLECOUNTYFL.GOV

PROJ. #: 24-80000081

## PRE-APPLICATION

### INCOMPLETE APPLICATIONS WILL NOT BE ACCEPTED

#### APPLICATION FEE

☒ PRE-APPLICATION \$50.00

#### PROJECT

PROJECT NAME: EA-Target T1918 Lake Mary

PARCEL ID #(S): 18-20-30-511-0000-0020

TOTAL ACREAGE: 10.4

BCC DISTRICT: 4: Lockhart

ZONING: PD- Planned Development

FUTURE LAND USE: COM

#### APPLICANT

NAME: Mitra Emtiazi

COMPANY: SAI Group on behalf of Electrify America

ADDRESS: 12 Industrial Way

CITY: Salem

STATE: NH

ZIP: 03079

PHONE: 603-560-6366

EMAIL: memtiazi@saigrp.com

#### CONSULTANT

NAME: Mitra Emtiazi

COMPANY: SAI Group on behalf of Electrify America

ADDRESS: 12 Industrial Way

CITY: Salem

STATE: NH

ZIP: 03079

PHONE: 603-560-6366

EMAIL: memtiazi@saigrp.com

#### PROPOSED DEVELOPMENT (CHECK ALL THAT APPLY)

☐ SUBDIVISION ☐ LAND USE AMENDMENT ☐ REZONE ☒ SITE PLAN ☐ SPECIAL EXCEPTION

Description of proposed development: installation of (10) level 3 electric vehicle chargers in an existing parking lot. Install (1) concrete pad for placement of (1) switchgear. (5) concrete pads for placement of (5) power cabinets and chargers.

#### STAFF USE ONLY

COMMENTS DUE: 7/5

COM DOC DUE: 7/11

DRC MEETING: 7/17

☐ PROPERTY APPRAISER SHEET ☐ PRIOR REVIEWS:

ZONING: PD

FLU: COM

LOCATION: on the north side of Lake Mary Blvd,  
west of Greenwood Blvd

W/S: Seminole County

BCC: 4: Lockhart

## PROJECT NARRATIVE

---

Project: EA-Target T1918 Lake Mary  
Lake Mary, Florida

Location: 4155 West Lake Mary  
Lake Mary, Florida

The project consists of the installation of an electric vehicle charging station and accessory utility equipment.

The site is situated on an existing and previously developed lot. The lot is an existing parking lot belonging to the Target Corporation. The subject lot is entirely within the PD-Planned Development zoning district. This project does not propose any changes to the land or building use. The Flood Insurance Rate Maps (effective 9/28/2007) indicates the project site is in a zone X (area of minimal flood hazard).

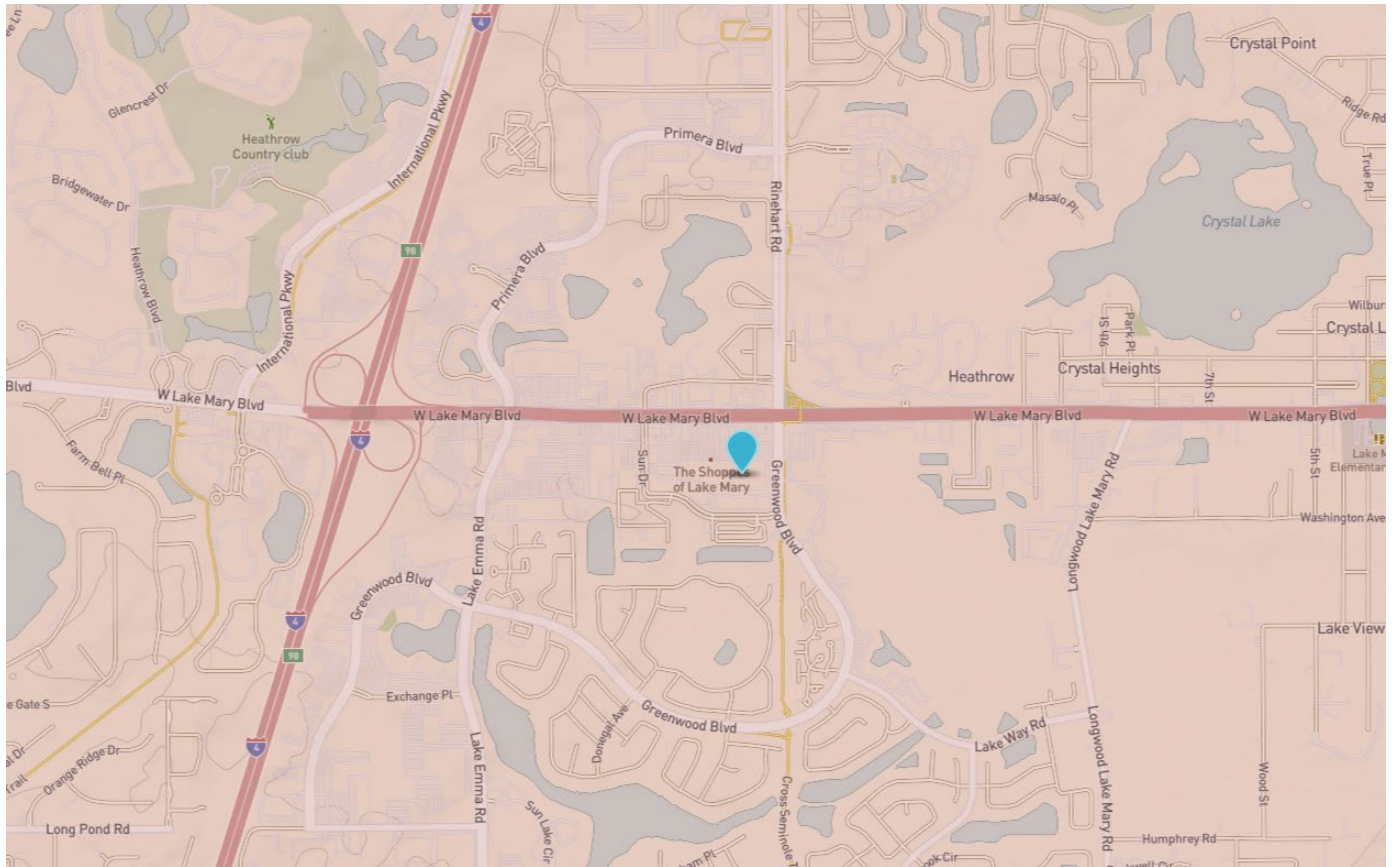
The proposed project consists of transitioning (14) existing parking stalls to (10) parking stalls with (10) back-to-back electric vehicle charging dispensers and (5) power cabinets on (5) concrete slab pads, a concrete equipment pad for an electrical switchgear cabinet, and a utility-provided transformer.

The site work includes excavation for the trenching of electrical conduits and hand holes, and for the installation of the concrete pads for the equipment. A concrete curb is proposed around the equipment pad. Protective bollards are proposed around electrical equipment, equipment pad and utility provided transformer.

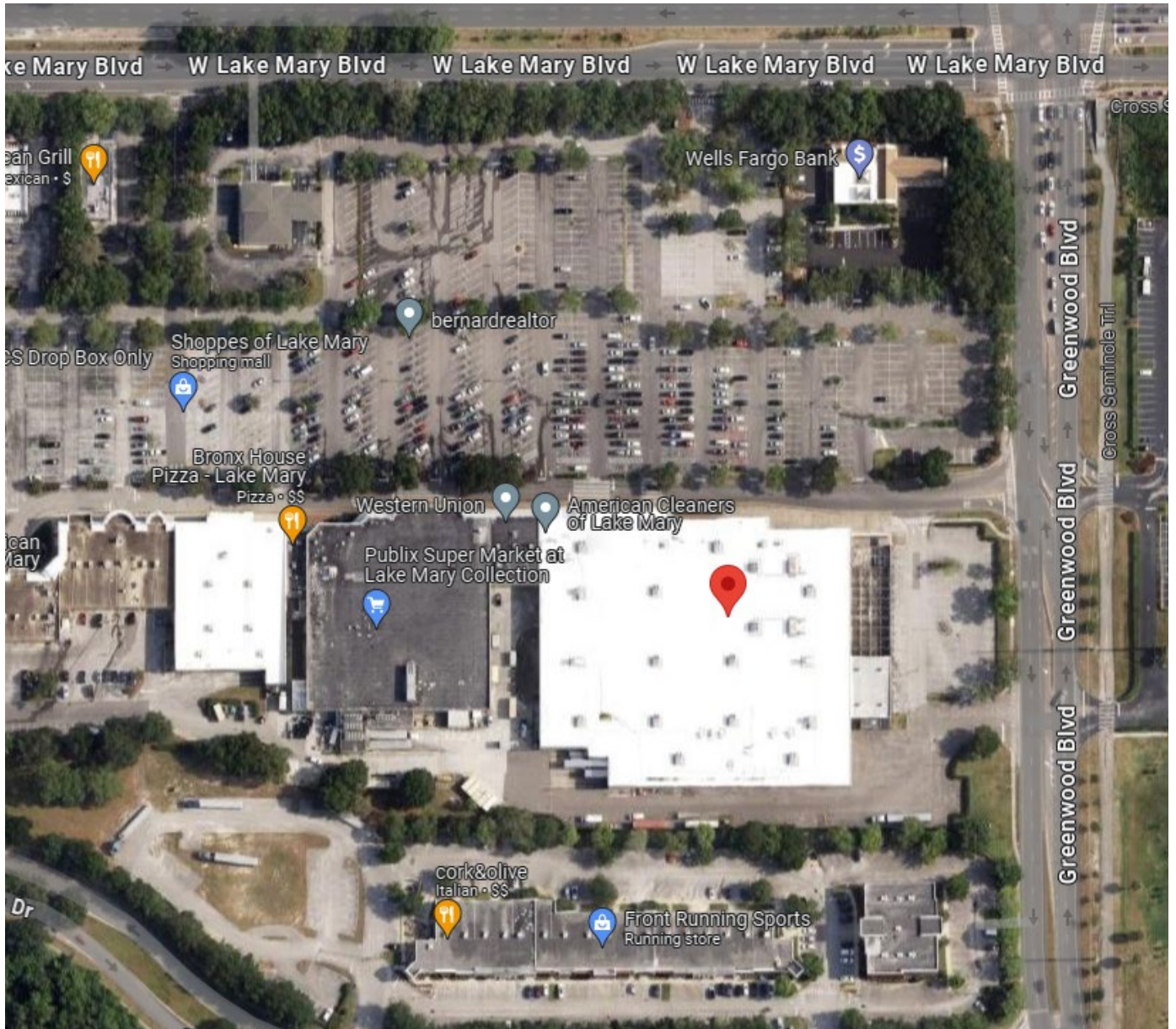
Utility power will be coordinated with Duke Energy and the proposed work will consist of installation of underground conduit via a directional bore from the primary power source to a utility owned transformer.

The charging stations are intended as an amenity to the existing parking lot that will allow The Target Corporations customers, as well as adjacent businesses, the convenience of charging their vehicles while shopping. The proposed charging stations are consistent with the general description of the Planned Development district, that it is for personal and business services and is complimentary to the general retail business of the city.

## USGS Map



## Aerial Map





# Flood Map

## National Flood Hazard Layer FIRMette



### Legend

SEE FIS REPORT FOR DETAILED LEGEND AND INDEX MAP FOR FIRM PANEL LAYOUT

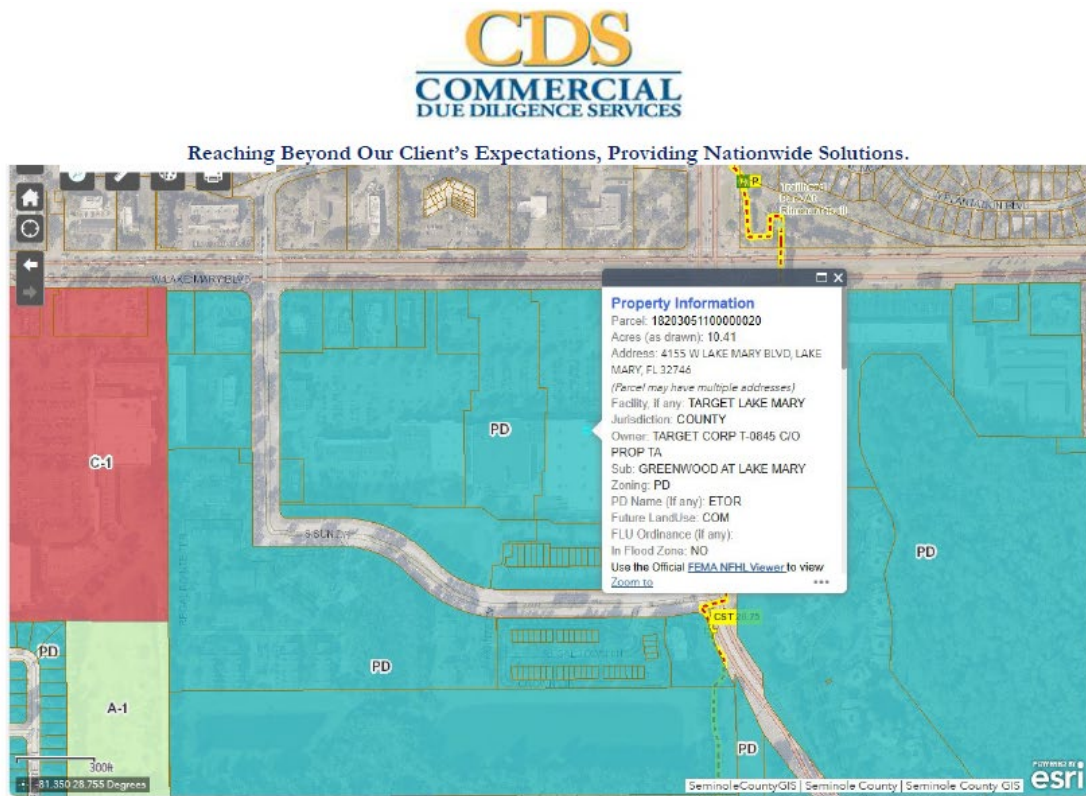
SPECIAL FLOOD HAZARD AREAS	Without Base Flood Elevation (BFE) Zone A, V, AE99
	With BFE or Depth Zone AE, AO, AH, VE, AR
OTHER AREAS OF FLOOD HAZARD	Regulatory Floodway
	0.2% Annual chance Flood Hazard, Areas of 1% annual chance flood with average depth less than one foot or with drainage areas of less than one square mile Zone X
	Future conditions 1% Annual Chance Flood Hazard Zone X
	Area with Reduced Flood Risk due to Levee. See Notes, Zone X
OTHER AREAS	Area with Flood Risk due to Levee Zone D
	Area of Minimal Flood Hazard Zone X
GENERAL STRUCTURES	Effective LOMRs
	Area of Undetermined Flood Hazard Zone D
OTHER FEATURES	Channel, culvert, or Storm Sewer
	Levee, Dike, or Floodwall
MAP PANELS	20.2 Cross Sections with 1% Annual Chance Water Surface Elevation
	17.5 Coastal Transect
	Base Flood Elevation Line (BFE)
	Limit of Study
	Jurisdiction Boundary
	Coastal Transect Baseline
	Profile Baseline
	Hydrographic Feature
	Digital Data Available
	No Digital Data Available
	Unmapped
	The pin displayed on the map is an approximate point selected by the user and does not represent an authoritative property location.

This map complies with FEMA's standards for the use of digital flood maps if it is not void as described below. The basemap shown complies with FEMA's basemap accuracy standards.

The flood hazard information is derived directly from the authoritative NFHL web services provided by FEMA. This map was exported on 5/24/2024 at 1:13 PM and does not reflect changes or amendments subsequent to this date and time. The NFHL and effective information may change or become superseded by new data over time.

This map image is void if the one or more of the following map elements do not appear: basemap imagery, flood zone labels, legend, scale bar, map creation date, community identifiers, FIRM panel number, and FIRM effective date. Map images for unmapped and unmodernized areas cannot be used for regulatory purposes.

## Zoning Map



## ZONING MAP

**Jurisdiction: Seminole County**

**County: Seminole County**

**Address: 4155 W Lake Mary Blvd**

**Zoning Designation: PD, Planned Development: Abutting Zoning Designations**  
**North - Outside Municipal Boundary; South - PD, Planned Development; East – PD**  
**Planned Development; West - PD, Planned Development**



NOTE:  
1. SURVEY AND TOPOGRAPHICAL FEATURES SHOWN FOR REFERENCE ONLY. SEE INCLUDED SURVEY (BY OTHERS) PERFORMED FOR THIS PROJECT.



ELECTRIFY AMERICA, LLC  
2003 EDMUND HALLEY DRIVE  
SUITE 200  
RESTON, VA 20191



12 INDUSTRIAL WAY  
SALEM, NEW HAMPSHIRE 03079

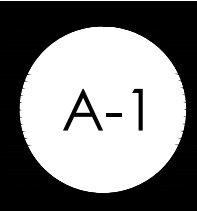
**LDC** | Surveying  
Engineering  
Planning  
Kent 20210 Woodville Olympia  
1402nd Avenue NE  
Woodville, WA 98072  
T 425.806.1869 www.LDCcorp.com F 425.482.2893

JOB NAME  
240366  
TARGET T0845  
4155 W LAKE MARY BLVD  
LAKE MARY, FL 32746

SHEET TITLE  
OVERALL SITE PLAN

REV	DATE	DESCRIPTION	BY
A	5-28-24	PRELIMINARY (CD50)	KB

CHECKED BY: RBH



LAKE MARY BLVD

PROPOSED SOURCE OF UTILITY POWER

PROPOSED SWITCHGEAR & SUPPORT EQUIPMENT WITHIN EQUIPMENT AREA

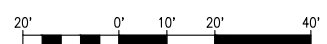
PROPOSED TRANSFORMER

PROPOSED BTC GEN IV DISPENSERS

PORTION OF LOT 1  
GREENWOOD AT LAKE MARY  
PB 45, PGS 67-68  
PUBLIX SUPER MARKETS INC.  
APN: 18-20-30-511-0000-0010

LOT 2 AND PORTION OF LOT 1  
GREENWOOD AT LAKE MARY  
PB 45, PGS 67-68  
TARGET CORP. T-0845  
APN: 18-20-30-511-0000-0020

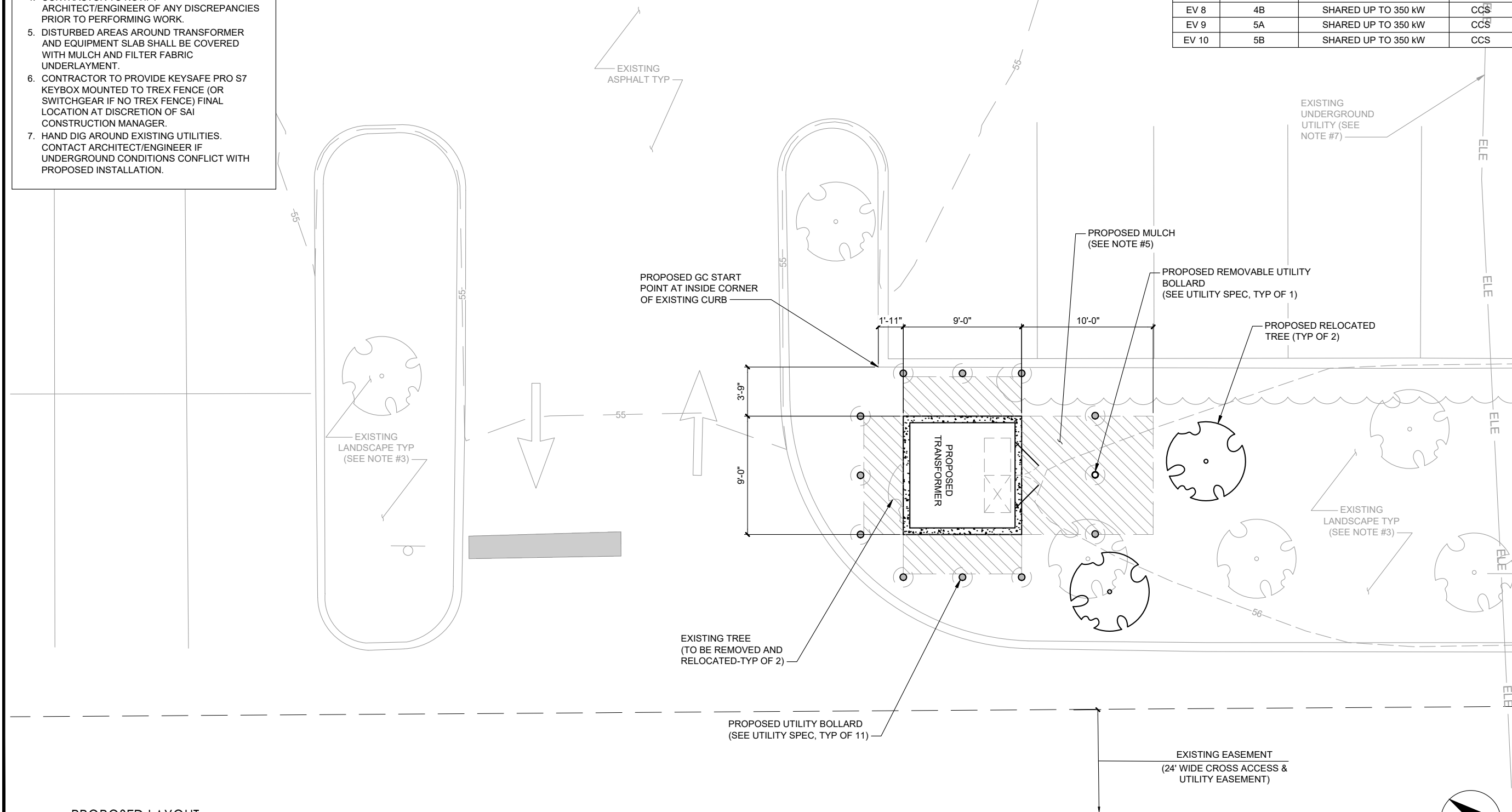
OVERALL SITE PLAN  
22" x 34" SCALE: 1" = 20' 11" x 17" SCALE: 1" = 40'



1. SURVEY AND TOPOGRAPHICAL FEATURES SHOWN FOR REFERENCE ONLY. SEE INCLUDED SURVEY (BY OTHERS) PERFORMED FOR THIS PROJECT.
2. CONTRACTOR SHALL PROTECT EXISTING INFRASTRUCTURE IN PLACE WITHIN THE AREA OF IMPROVEMENTS, AND RETURN SIDEWALKS, CURBING, ASPHALT, LANDSCAPING, PLANTERS, IRRIGATION SYSTEMS, AND ANY OTHER FACILITIES DISTURBED BY THE WORK TO THE SAME OR BETTER CONDITIONS PRIOR TO THE COMMENCEMENT OF WORK.
3. CONTRACTOR SHALL PROTECT EXISTING LANDSCAPING, TREES, GROUND COVER, ROOT SYSTEMS AND DECORATIVE ROCKERIES TO THE MAXIMUM EXTENT POSSIBLE.
4. CONTRACTOR TO NOTIFY ARCHITECT/ENGINEER OF ANY DISCREPANCIES PRIOR TO PERFORMING WORK.
5. DISTURBED AREAS AROUND TRANSFORMER AND EQUIPMENT SLAB SHALL BE COVERED WITH MULCH AND FILTER FABRIC UNDERLAYMENT.
6. CONTRACTOR TO PROVIDE KEYSAFE PRO S7 KEYBOX MOUNTED TO TREX FENCE (OR SWITCHGEAR IF NO TREX FENCE) FINAL LOCATION AT DISCRETION OF SAI CONSTRUCTION MANAGER.
7. HAND DIG AROUND EXISTING UTILITIES. CONTACT ARCHITECT/ENGINEER IF UNDERGROUND CONDITIONS CONFLICT WITH PROPOSED INSTALLATION.

The diagram illustrates three types of gutter profiles, each shown in cross-section relative to a four-line roof structure (top, bottom, and two intermediate lines):


- TYPE A, CATCH GUTTER:** A simple V-shaped profile that sits on the bottom roof line and reaches up to the top roof line.
- TYPE B, SPILL GUTTER:** A V-shaped profile that sits on the bottom roof line and reaches up to the second intermediate line.
- TYPE C, HEADER CURB:** A flat, horizontal profile that sits on the bottom roof line and reaches up to the top roof line.

[illegible]



1 SURVEY AND TOPOGRAPHICAL FEATURES  
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SURVEY(S) (BY OTHERS) PERFORMED FOR THIS  
PROJECT.

- CURB LEGEND:

 =TYPE B, SPILL GUTTER

===== =TYPE C, HEADER CURB

**electrify**  
*america*

ELECTRIFY AMERICA, LLC  
2003 EDMUND HALLEY  
DRIVE  
SUITE 200  
RESTON, VA 20191



12 INDUSTRIAL WAY  
SALEM, NEW HAMPSHIRE 03079

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Planning

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Woodinville, WA 98072  
T 425.806.1860 www.LDCcorp.com F 425.482.2890

JOB NAME

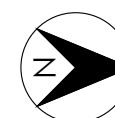
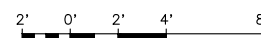
240366  
TARGET T0845  
4155 W LAKE MARY  
BLVD  
LAKE MARY, FL 32746

SHEET TITLE  
PROPOSED LAYOUT

A	5-28-24	PRELIMINARY (CD50)	KI
REV	DATE	DESCRIPTION	BY

CHECKED BY: RBH


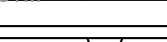
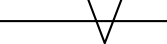
A-3.1



NOTES:

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2. CONTRACTOR SHALL PROTECT EXISTING INFRASTRUCTURE IN PLACE WITHIN THE AREA OF IMPROVEMENTS, AND RETURN SIDEWALKS, CURBING, ASPHALT, LANDSCAPING, PLANTERS, IRRIGATION SYSTEMS, AND ANY OTHER FACILITIES DISTURBED BY THE WORK TO THE SAME OR BETTER CONDITIONS PRIOR TO THE COMMENCEMENT OF WORK.
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CURB LEGEND:

-  = TYPE A, CATCH GUTTER
-  = TYPE B, SPILL GUTTER
-  = TYPE C, HEADER CURB

PROJECT AREA STALL COUNT

EXISTING STALL COUNT	14
PROPOSED STALL COUNT	10
HOST APPROVED STALL COUNT	14

PROPOSED BTC GEN IV DISPENSER

STALL	DISPENSER #	kW	CABLE TYPE
EV 1	1A	SHARED UP TO 350 kW	CCS
EV 2	1B	SHARED UP TO 350 kW	CCS
EV 3	2A	SHARED UP TO 350 kW	CCS
EV 4	2B	SHARED UP TO 350 kW	CCS
EV 5	3A	SHARED UP TO 350 kW	CCS
EV 6	3B	SHARED UP TO 350 kW	CCS
EV 7	4A	SHARED UP TO 350 kW	CCS
EV 8	4B	SHARED UP TO 350 kW	CCS
EV 9	5A	SHARED UP TO 350 kW	CCS
EV 10	5B	SHARED UP TO 350 kW	CCS

**electrify  
america**

ELECTRIFY AMERICA, LLC  
2003 EDMUND HALLEY  
DRIVE  
SUITE 200  
RESTON, VA 20191

**SAI**

12 INDUSTRIAL WAY  
SALEM, NEW HAMPSHIRE 03079

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JOB NAME

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TARGET T0845  
4155 W LAKE MARY  
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LAKE MARY, FL 32746

SHEET TITLE

PROPOSED LAYOUT

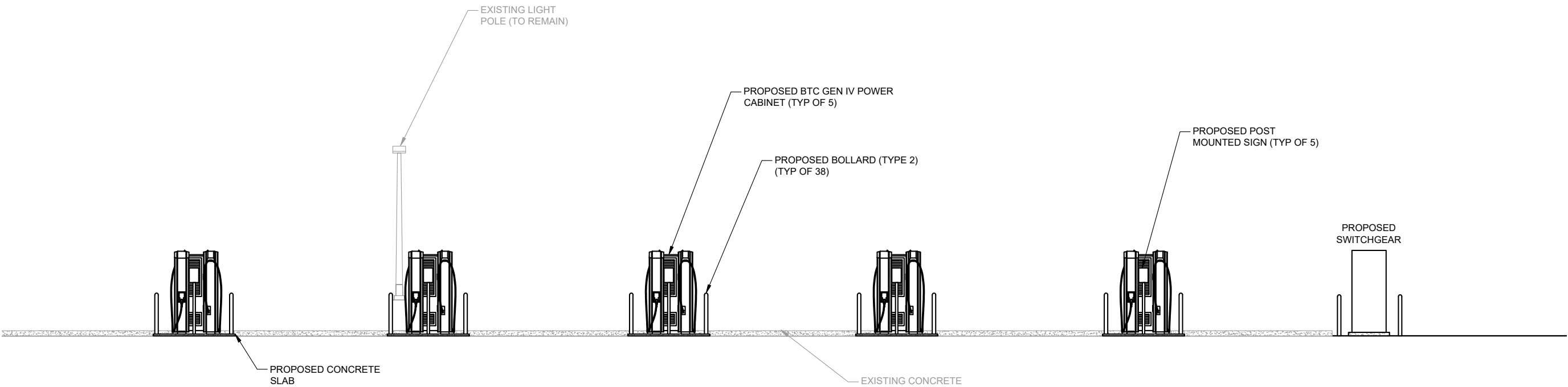
REV	DATE	DESCRIPTION	BY

CHECKED BY:

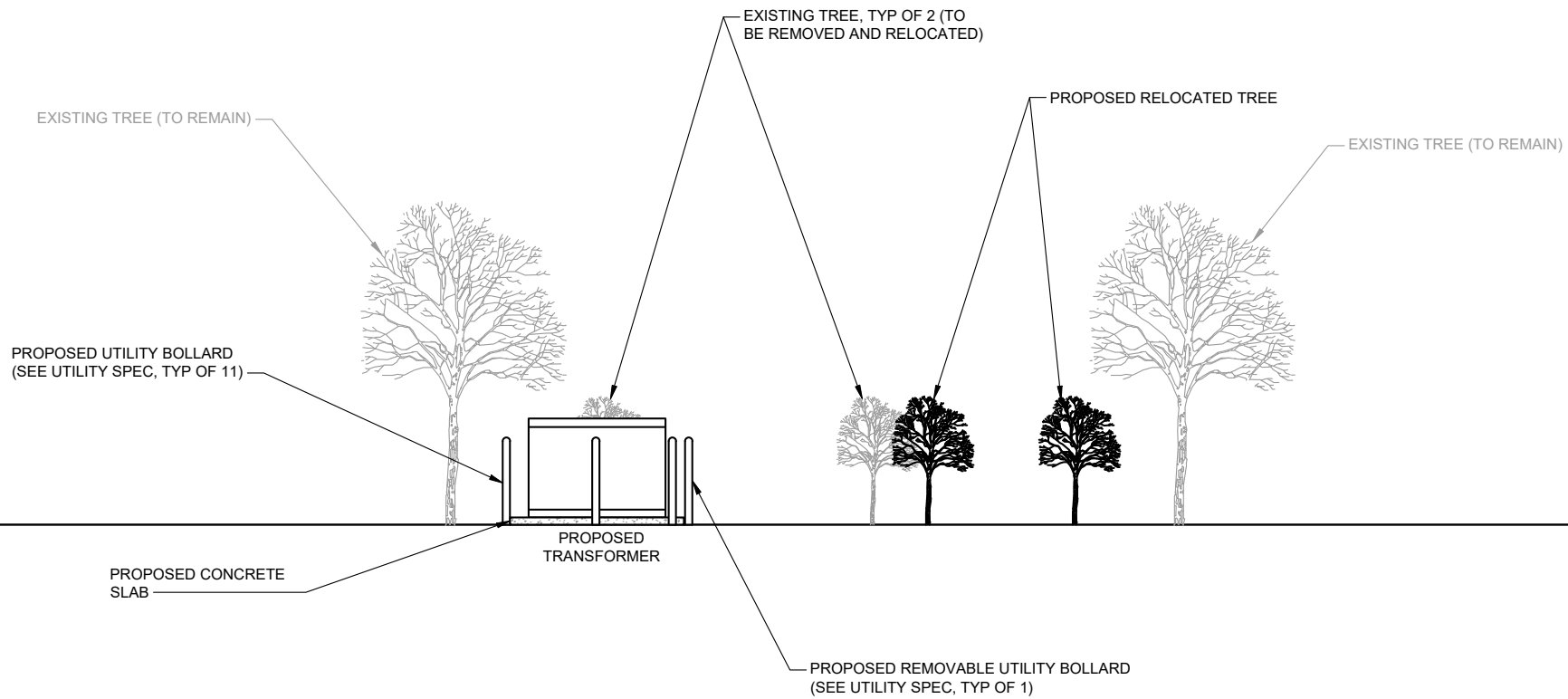
RBH

A-3.2

NOTE:  
1. ELEVATION VIEW IS FOR REVIEW REFERENCE  
AND NOT TO BE USED FOR CONSTRUCTION.  
REFER TO LAYOUTS AND DETAIL SHEETS FOR  
CONSTRUCTION.



1  
A-5  
ELEVATION  
22" x 34" SCALE: 3/16" = 1'-0" 11" x 17" SCALE: 3/32" = 1'-0"



1  
A-5  
ELEVATION  
22" x 34" SCALE: 1/4" = 1'-0" 11" x 17" SCALE: 1/8" = 1'-0"

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2003 EDMUND HALLEY  
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RESTON, VA 20191

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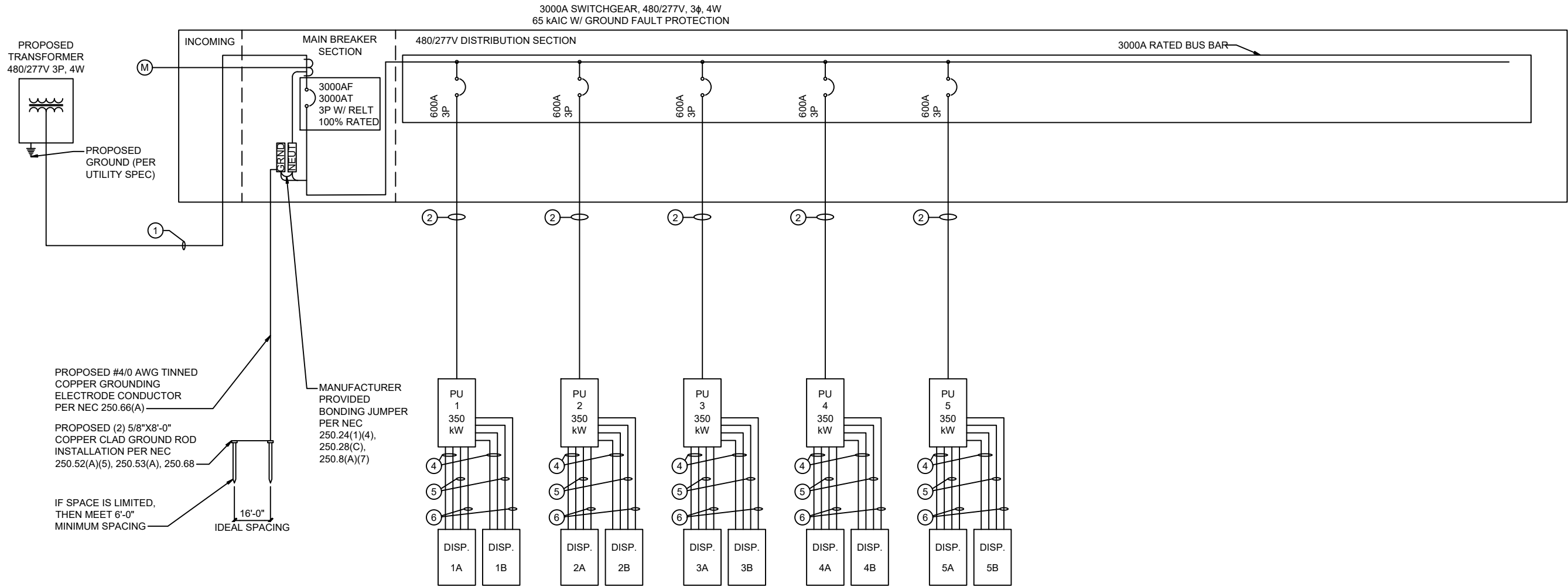
SHEET TITLE  
ELEVATION

A	5-28-24	PRELIMINARY (CD50)	KB
REV	DATE	DESCRIPTION	BY

CHECKED BY: RBH

A-5





NOTES:

1. POWER UNITS AND DISPENSERS MANUFACTURED BY BTC.
2. PROPOSED CTs/PTs SHALL BE LOCATED AS APPROVED BY THE UTILITY COMPANY.
3. MAIN BREAKER IS EQUIPPED WITH REDUCED ENERGY LET THROUGH (RELT) MAINTENANCE SWITCH WITH LOCAL STATUS INDICATION.
4. ALL FACTORY INSTALLED BREAKERS FURNISHED WITH PADLOCKING DEVICE.

LOAD SUMMARY			
	FLA	QTY	TOTAL FLA
350 KW POWER CABINET	465	5	2325
	TOTAL LOAD		2325A

CONDUIT & WIRING SCHEDULE			
NO	FROM	TO	CONFIGURATION
①	PROPOSED TRANSFORMER	PROPOSED SWITCHGEAR MAIN BREAKER	PROPOSED (3) 600 MCM AL THWN-2 600V 90°C (1) 600 MCM AL NEUT THWN-2 600V 90°C IN EACH OF (6) 4" CONDUITS (2) SPARE 4" CONDUITS
②	PROPOSED SWITCHGEAR 480/277V MAIN DISTRIBUTION SECTION	PROPOSED POWER UNIT	PROPOSED (3) 500 MCM AL THWN-2 600V 90°C (1) #1 AWG CU GND THWN-2 600V 90°C IN EACH OF (2) 4" CONDUITS
③	NOT USED		
④	PROPOSED POWER UNIT	PROPOSED DISPENSER (DC POWER)	PROPOSED (2) 350 MCM AL XHHW-2 1000V 90°C (1) #2 AWG CU GND THWN-2 600V 90°C IN EACH OF (2) 2-1/2" CONDUITS TO EACH DISPENSER
⑤	PROPOSED POWER UNIT	PROPOSED DISPENSER (AUX POWER)	PROPOSED (2) #10 AWG CU (1) #10 AWG CU GND (1) 3/4" CONDUIT TO EACH DISPENSER
⑥	PROPOSED POWER UNIT	PROPOSED DISPENSER (COMM)	PROPOSED (1) BUFFERED I/O MM FIBER (ST/ST CONN) (1) 2-CONDUCTOR #16 AWG TSP (1) CAT 6 (1) 1-1/2" CONDUIT TO EACH DISPENSER
⑦	NOT USED		
⑧	NOT USED		
⑨	NOT USED		
⑩	NOT USED		
⑪	NOT USED		
⑫	NOT USED		
⑬	NOT USED		
⑭	NOT USED		

**electrify**  
**america**

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SHEET TITLE

ONE-LINE  
DIAGRAM


A	5-28-24	PRELIMINARY (CD50)	KB
REV	DATE	DESCRIPTION	BY

CHECKED BY: RBH

E-3

## SURVEY DRAWING

LAKE MARY BOULEVARD  
PUBLIC RIGHT-OF-WAYNOT TO SCALE  
FOR REFERENCE  
ONLY

## LEGEND

□ E.B. = ELECTRIC BOX	□ CONCRETE
□ I.C.V. = IRRIGATION CONTROL VALVE	□ NO PARKING AREA
□ SIGN	
□ STORM INLET	
□ UNDG. FIBER OPTIC LINE MARKER	
□ CLEAN OUT	
□ F.V.T. = FIBER OPTIC VAULT	□ TREE
□ SCHEDULE B ITEM NO.	
□ SITE BENCHMARK (SEE NOTE NO. 6)	
ADJOINING PROPERTY APPROX. PROPERTY LINE	PL
EASEMENT LINE	EL
UNDERGROUND STORM	STM
UNDERGROUND FIBER OPTIC	UFO
UNDERGROUND ELECTRIC	ELE
UNKNOWN UNDERGROUND	UNK
P.S. = PAINT STRIPE	
S.B. = STOP BAR	
C.W. = CROSS WALK	
L.S. = LANDSCAPE AREA	

## SURVEYOR NOTES

- THIS IS A TOPOGRAPHIC MAP. THIS IS NOT A BOUNDARY SURVEY AND IS ONLY INTENDED TO DEPICT THOSE TOPOGRAPHIC FEATURES OR IMPROVEMENTS SHOWN. THE PROPERTY LINES SHOWN ARE APPROXIMATE RECORD LINES AND ARE SHOWN FOR GRAPHICAL REFERENCE ONLY.
- THE UNDERGROUND UTILITIES SHOWN HEREON ARE BASED ON MARKINGS CREATED BY G.P.R.S. (GROUND PENETRATING RADAR SYSTEMS, LLC, PHONE: 888-914-4718) ON OCTOBER 20, 2023, AND OBSERVED ABOVE GROUND FEATURES AND/OR EXISTING DRAWINGS. THE SURVEYOR MAKES NO GUARANTEE THAT THE UNDERGROUND UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. THE SURVEYOR FURTHER DOES NOT WARRANT THAT THE UNDERGROUND UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED. ALL UNDERGROUND UTILITIES SHOULD BE FIELD VERIFIED BY THE CONTRACTOR PRIOR TO COMMENCING ANY ONSITE WORK.
- FEDERAL EMERGENCY MANAGEMENT AGENCY, FLOOD INSURANCE RATE MAP NUMBER 1217C 0085F (EFFECTIVE DATE SEPTEMBER 28, 2007) INDICATES THIS PARCEL OF LAND IS LOCATED IN ZONE "X" (AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE).
- THIS SURVEY DOES NOT CONSTITUTE A TITLE SEARCH BY FA COMMERCIAL DUE DILIGENCE SERVICES TO DETERMINE OWNERSHIP OR EASEMENTS OF RECORD. FOR ALL INFORMATION REGARDING EASEMENTS, RIGHTS OF WAY AND TITLE OF RECORD, CDS RELIED UPON A SEARCH REPORT, PREPARED BY FIRST AMERICAN TITLE INSURANCE COMPANY, COMMITMENT NUMBER: 1196076, COMMITMENT DATE: OCTOBER 06, 2023 AT 8:00 A.M.
- ELEVATIONS ARE BASED ON NAVD83 DATUM, DERIVED FROM THE LEICA SMARTNET GPS REFERENCE NETWORK.
- SITE BENCHMARK #1: CUT SQUARE ON CONCRETE CURB, ON MOST NORTH-WESTERLY POINT OF CURVATURE ON 1ST PARKING ISLAND WESTERLY OF DRIVEWAY ENTRANCE ALONG LAKE MARY BOULEVARD, ELEVATION: 55.82 FEET  
SITE BENCHMARK #2: CUT SQUARE ON CONCRETE CURB, ON MOST SOUTHEASTERLY POINT OF CURVATURE ON 2ND PARKING ISLAND SOUTHERLY ALONG EASTERLY SIDE OF DRIVEWAY ENTRANCE ALONG LAKE MARY BOULEVARD, ELEVATION: 57.20 FEET
- FIELD WORK FOR THIS SURVEY WAS COMPLETED ON 10/23/2023.
- THE OWNER NAMES AND TAX PARCEL DATA SHOWN HEREON ARE BASED UPON THE PUBLIC WORKS RECORDS AVAILABLE AT THE ORIGINAL DATE OF THIS SURVEY. CURRENT OWNERSHIP AND TAX PARCEL DATA SHOULD BE VERIFIED FOR ACCURACY.
- PER THE CLIENT'S REQUEST, TITLE SEARCHES ONLY REFLECT A 30 YEAR HISTORY. EASEMENTS AND ENCUMBRANCES PRECEDING THE TITLE SEARCH HISTORY MAY EXIST AND ARE NOT REFLECTED ON THIS SURVEY.
- PER THE ZONING INFORMATION REPORT PREPARED BY FA-CDS (888) 322 7371 - CDS.SOLUTIONS@FIRSTAM.COM; ORDER NO.: 23-10-0114, DATED: 10/17/2023; THIS SITE IS ZONED: PD, PLANNED DEVELOPMENT  
REQUIREMENTS ARE PER AN APPROVED DEVELOPMENT PLAN / DEVELOPMENT ORDER
- THIS SURVEY WAS DONE IN COMPLIANCE WITH CURRENT FLORIDA STANDARDS OF PRACTICE FOR LAND SURVEYING WITH A RATIO OF PRECISION OF THE UNADJUSTED SURVEY OF 1:13,100.

SURVEYOR  
CERTIFICATION

THIS DRAWING WAS PREPARED UNDER MY DIRECT SUPERVISION TO THE STANDARD OF CARE OF SURVEYORS PRACTICING IN THE STATE OF FLORIDA AND THAT THE INFORMATION SHOWN HEREON IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE, INFORMATION AND BELIEF.

DATE OF PLAT OR MAP: 11/01/2023

THE SEAL APPEARING ON THIS DOCUMENT WAS  
AUTHORIZED BY J. WESLEY ABERCROMBIE, P.S.M. 7506  
ON NOVEMBER 1, 2023.

J. WESLEY ABERCROMBIE  
License Number 7506  
STATE OF FLORIDA  
Professional Surveyor and Mapper  
11-7-2023

FA COMMERCIAL DUE DILIGENCE SERVICES CO.  
3550 W. ROBINSON STREET, 3RD FLOOR  
NORMAN, OK 73072  
J. WESLEY ABERCROMBIE  
PROFESSIONAL SURVEYOR AND MAPPER #7506  
CERTIFICATE OF AUTHORIZATION NO. LB#7761

THE SURVEY MAP OR COPIES THEREOF ARE NOT VALID WITHOUT  
THE ORIGINAL SIGNATURE AND SEAL OF A FLORIDA LICENSED  
SURVEYOR AND MAPPER

## VICINITY MAP



## TITLE DESCRIPTION

THE TOPOGRAPHIC SURVEY SHOWN HEREON LIES WITHIN THE PROPERTY SHOWN AS LOT 2 AND A PORTION OF LOT 1 ON THE OFFICIAL PLAT OF GREENWOOD AT LAKE MARY, RECORDED IN PLAT BOOK 45, PAGES 67-68 IN THE OFFICIAL RECORDS OF SEMINOLE COUNTY, FLORIDA.

THIS SURVEY AND LEGAL DESCRIPTION ARE NOT THE SAME AS THAT DESCRIBED IN FIRST TITLE INSURANCE COMPANY COMMITMENT NUMBER: 1196076, DATED: OCTOBER 06, 2023 AT 8:00 A.M.

## SCHEDULE "B" ITEMS

## NOTES CORRESPONDING TO SCHEDULE "B" SECTION TWO EXCEPTIONS:

TYPE OF INSTRUMENT	O.R. BOOK	PAGE/INSTRUMENT	NOTES
1 GREENWOOD AT LAKE MARY	45	67	DOES AFFECT SURVEY AREA, 15' WIDE LANDSCAPE BUFFER AND UTILITY EASEMENT, AND 24' WIDE CROSS ACCESS AND UTILITY EASEMENT PLOTTED HEREON.
2 GRANT OF EASEMENT	2883	497	DOES NOT AFFECT SURVEY AREA, NOTHING PLOTTED ON SURVEY.
3 GRANT AND DECLARATION OF EASEMENT FOR UNDERGROUND DRAINAGE EASEMENT	2884	219	DOES NOT AFFECT SURVEY AREA, NOTHING PLOTTED ON SURVEY.
4	3370	215	DOES NOT AFFECT SURVEY AREA, NOTHING PLOTTED ON SURVEY.
5 DISTRIBUTION EASEMENT	3514	1673	DOES AFFECT SURVEY, FALLS 5' ON EACH SIDE OF EXISTING FLORIDA POWER CORPORATION FACILITIES. LOCATIONS NOT SPECIFIED IN DOCUMENT, NOTHING PLOTTED ON SURVEY.
6 NONEXCLUSIVE DISTRIBUTION EASEMENT	4080	1968	DOES NOT AFFECT SURVEY AREA, NOTHING PLOTTED ON SURVEY.

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**Fees Paid**

<b>Description</b>	<b>Amount</b>
CC CONVENIENCE FEE -- PZ	2.50
PRE APPLICATION	50.00
Total Amount	52.50