



SEMINOLE COUNTY, FLORIDA

Development Review Committee

Meeting Agenda

Wednesday, May 15, 2024

9:00 AM

TEAMS

This meeting will be held remotely via Teams. The public may email devrevdesk@seminolecountyfl.gov to request a Teams link to attend in “listen only” mode. Specific questions regarding any project on this agenda should be directed to the Project Manager.

DRC

9:00AM (TEAMS) OVIEDO FAMILY HEALTH VILLAGE - SITE PLAN

[2024-0648](#)

Project Number: 24-06000019

Project Description: Proposed Site Plan for a medical office on 0.97 acres in the C-1 Zoning District located on the north side of Remington Dr, west of Alafaya Trl

Project Manager: Kaitlyn Apgar (407) 665-7377
(kapgar@seminolecountyfl.gov)

Parcel ID: 27-21-31-511-0000-002B

BCC District: 1-Dallari

Applicant: Pinkal Patel (321) 246-0581

Consultant: David Borys (407) 704-7815

Attachments: [APPLICATION](#)
[COMMENTS](#)

PRE- APPLICATIONS

COMMENTS ONLY (NO MEETING SCHEDULED)

HABITAT FOR HUMANITY - PRELIMINARY SUBDIVISION PLAN**[2024-0649](#)****Project Number:** 24-55100002**Project Description:** Proposed Preliminary Subdivision Plan for 3 single family residential lots on 0.48 acres in the R-1 Zoning District located on the west side of Randall St, north of Midway Ave**Project Manager:** Annie Sillaway (407) 665-7936
(asillaway@seminolecountyfl.gov)**Parcel ID:** 32-19-31-513-0000-0510**BCC District:** 5-Herr**Applicant:** Alisa Adams (407) 696-5855**Consultant:** N/A**Attachments:** [APPLICATION](#)
[COMMENTS](#)**MECCA HAMMOCK - PRE-APPLICATION****[2024-0650](#)****Project Number:** 24-80000046**Project Description:** Proposed Special Exception to install a 160 foot monopole tower and communications facility on 29.98 acres in the A-1 Zoning District located on the east side of S Sanford Ave, south of Myrtle St**Project Manager:** Kathy Hammel (407) 665-7389
(khammel@seminolecountyfl.gov)**Parcel ID:** 23-20-30-5AQ-0000-131A**BCC District:** 2-Zembower**Applicant:** Mike Burkhead (407) 617-0167**Consultant:** N/A**Attachments:** [APPLICATION](#)
[COMMENTS](#)



SEMINOLE COUNTY, FLORIDA

Agenda Memorandum

COUNTY SERVICES
BUILDING
1101 EAST FIRST STREET
SANFORD, FLORIDA
32771-1468

File Number: 2024-0648

Title:

9:00AM (TEAMS) OVIEDO FAMILY HEALTH VILLAGE - SITE PLAN

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Parcel ID: 27-21-31-511-0000-002B

BCC District: 1-Dallari

Applicant: Pinkal Patel (321) 246-0581

Consultant: David Borys (407) 704-7815



SEMINOLE COUNTY
 PLANNING & DEVELOPMENT DIVISION
 1101 EAST FIRST STREET, ROOM 2028
 SANFORD, FLORIDA 32771
 (407) 665-7371 EPLANDESK@SEMINOLECOUNTYFL.GOV

PROJ. #: 24-06000019

Received: 2/27/24

Paid: 3/1/24

SITE PLAN/DREDGE & FILL

ALL INFORMATION MUST BE PROVIDED FOR APPLICATION TO BE CONSIDERED COMPLETE

APPLICATION TYPES/FEES

<input type="checkbox"/> SMALL SITE PLAN (<2,500 SQUARE FEET IMPERVIOUS SURFACE AREA SUBJECT FOR REVIEW)	N/A	\$500.00
<input type="checkbox"/> RESTRIPING AND RESURFACING (WITH NO CHANGES TO THE EXISTING LAYOUT)	N/A	
<input type="checkbox"/> FILL (≥100 CUBIC YARDS OF FILL AND/OR IN FLOOD PLAIN OR WETLAND PER SEC. 40.2)	N/A	\$500.00
<input type="checkbox"/> DREDGE AND FILL	N/A	\$750.00
<input checked="" type="checkbox"/> SITE PLAN (>2,500 SQUARE FEET IMPERVIOUS SURFACE AREA SUBJECT FOR REVIEW)		CALCULATED BELOW MAXIMUM \$9,000
<p>NEW BUILDING SQUARE FOOTAGE: <u>5,942 SF</u> + NEW PAVEMENT SQUARE FOOTAGE: <u>17,291 SF</u> = TOTAL SQUARE FEET OF NEW IMPERVIOUS SURFACE AREA (ISA) SUBJECT FOR REVIEW: <u>23,233 SF</u></p> <p>(TOTAL NEW ISA <u>23,233 SF</u> /1,000 = <u>23.23</u>) * x \$25 + \$2,500 = FEE DUE: \$ 3,080.75</p> <p>EXAMPLE: 40,578 SF OF NEW ISA SUBJECT FOR REVIEW = 40,578/1,000 = <u>40.58*</u> x \$25 = <u>\$1,014.50</u> + \$2,500 = <u>\$3,514.50</u></p> <p>*ROUNDED TO 2 DECIMAL POINTS</p>		

PROJECT

PROJECT NAME: PINKAL PATEL OVIEDO FAMILY HEALTH VILLAGE (REMINGTON - LOT 3)			
PARCEL ID #(S): 27-21-31-511-0000-002B			
DESCRIPTION OF PROJECT: CONSTRUCTION OF RETAIL COMMERCIAL MEDICAL OFFICE FACILITY			
EXISTING USE(S): VACANT - UNDEVELOPED		PROPOSED USE(S): RETAIL COMMERCIAL MEDICAL OFFICE	
ZONING: C-1	FUTURE LAND USE: COM	TOTAL ACREAGE: 0.97 AC	BCC DISTRICT: 1-DALLARI
WATER PROVIDER: SEMINOLE CO. UTILITIES		SEWER PROVIDER: SEMINOLE CO. UTILITIES	
ARE ANY TREES BEING REMOVED? YES <input checked="" type="checkbox"/> NO <input type="checkbox"/> (IF YES, ATTACH COMPLETED ARBOR APPLICATION)			
IF DREDGE & FILL OR FILL PERMIT, CUBIC YARDS OF FILL PROPOSED: N/A			

05/2023

APPLICANTEPLAN PRIVILEGES: VIEW ONLY ☐ UPLOAD ☒ NONE ☐

NAME: PINKAL PATEL	COMPANY: OVIEDO FAMILY HEALTH CENTER	
ADDRESS: 6012 ALOMA WOODS BLVD		
CITY: OVIEDO	STATE: FL	ZIP: 32765
PHONE: (321) 246-0581	EMAIL: OFHCDOCTOR@GMAIL.COM	

CONSULTANTEPLAN PRIVILEGES: VIEW ONLY ☐ UPLOAD ☒ NONE ☐

NAME: DAVID BORYS	COMPANY: OM ENGINEERING SERVICES, INC.	
ADDRESS: 621 E. WASHINGTON ST., STE 8		
CITY: ORLANDO	STATE: FL	ZIP: 32801
PHONE: (407) 704-7815	EMAIL: DBORYS@OMENGINEER.COM	

OWNER(S)(INCLUDE NOTARIZED OWNER'S AUTHORIZATION ☒ FORM)

NAME(S): MAYA P LLC		
ADDRESS: 6012 ALOMA WOODS BLVD		
CITY: OVIEDO	STATE: FL	ZIP: 32765
PHONE: (321) 246-0581	EMAIL: OFHCDOCTOR@GMAIL.COM	

CONCURRENCY REVIEW MANAGEMENT SYSTEM (SELECT ONE)

<input type="checkbox"/> I hereby declare and assert that the aforementioned proposal and property described are covered by a valid previously issued Certificate of Vesting or a prior Concurrency determination (Test Notice issued within the past two years as identified below. (Please attach a copy of the Certificate of Vesting or Test Notice.)		
<u>TYPE OF CERTIFICATE</u>	<u>CERTIFICATE NUMBER</u>	<u>DATE ISSUED</u>
VESTING:	_____	_____
TEST NOTICE:	_____	_____
<input checked="" type="checkbox"/> Concurrency Application and appropriate fee are attached. I wish to encumber capacity at an early point in the development process and understand that only upon approval of the Development Order and the full payment of applicable facility reservation fees is a Certificate of Concurrency issued and entered into the Concurrency Management monitoring system.		
<input type="checkbox"/> Not applicable		

I understand that the application for site plan review must include all required submittals as specified in Chapter 40, Part 4, of the Seminole County Land Development Code. Submission of incomplete plans may create delays in review and plan approval. **The review fee provides for two plan reviews. Additional reviews will require an additional fee.**

I hereby represent that I have the lawful right and authority to file this application.

SIGNATURE OF AUTHORIZED APPLICANT

DATE

05/2023

**SEMINOLE COUNTY
APPLICATION & AFFIDAVIT**

Ownership Disclosure Form

The owner of the real property associated with this application is a/an (check one):

☐ Individual

☐ Corporation

☐ Land Trust

☒ Limited Liability Company

☐ Partnership

☐ Other (describe): _____

1. List all **natural persons** who have an ownership interest in the property, which is the subject matter of this petition, by name and address.

NAME	ADDRESS	PHONE NUMBER
Pinkal Patel	6012 Aloma Woods Blvd Oviedo FL 32765	321-246-0581

(Use additional sheets for more space)

2. For each **corporation**, list the name, address, and title of each officer; the name and address of each director of the corporation; and the name and address of each shareholder who owns two percent (2%) or more of the stock of the corporation. Shareholders need not be disclosed if a corporation's stock are traded publicly on any national stock exchange.

NAME	TITLE OR OFFICE	ADDRESS	% OF INTEREST

(Use additional sheets for more space)

3. In the case of a **trust**, list the name and address of each trustee and the name and address of the beneficiaries of the trust and the percentage of interest of each beneficiary. If any trustee or beneficiary of a trust is a corporation, please provide the information required in paragraph 2 above:

Trust Name: _____

NAME	TRUSTEE OR BENEFICIARY	ADDRESS	% OF INTEREST

(Use additional sheets for more space)

4. For **partnerships**, including limited partnerships, list the name and address of each principal in the partnership, including general or limited partners. If any partner is a corporation, please provide the information required in paragraph 2 above.

NAME	ADDRESS	% OF INTEREST

(Use additional sheets for more space)

5. For each **limited liability company**, list the name, address, and title of each manager or managing member, and the name and address of each additional member with two percent (2%) or more membership interest. If any member with two percent (2%) or more membership interest, manager, or managing member is a corporation, trust or partnership, please provide the information required in paragraphs 2, 3 and/or 4 above.

Name of LLC: MAYA P LLC

NAME	TITLE	ADDRESS	% OF INTEREST
Pinkal Patel	MANAGER	6012 Aloma Woods Blvd	50
Monal Patel	MANAGER	DULDO FL 32745	50

(Use additional sheets for more space)

6. In the circumstances of a **contract for purchase**, list the name and address of each contract purchaser. If the purchaser is a corporation, trust, partnership, or LLC, provide the information required for those entities in paragraphs 2, 3, 4 and/or 5 above.

Name of Purchaser: _____

NAME	ADDRESS	% OF INTEREST

(Use additional sheets for more space)

Date of Contract: _____

Specify any contingency clause related to the outcome for consideration of the application: _____

7. As to any type of owner referred to above, a change of ownership occurring subsequent to this application, shall be disclosed in writing to the Planning and Development Director prior to the date of the public hearing on the application.
8. I affirm that the above representations are true and are based upon my personal knowledge and belief after all reasonable inquiry. I understand that any failure to make mandated disclosures is grounds for the subject Rezone, Future Land Use Amendment, Special Exception, or Variance involved with this Application to become void. I certify that I am legally authorized to execute this Application and Affidavit and to bind the Applicant to the disclosures herein:

02/22/2024
Date

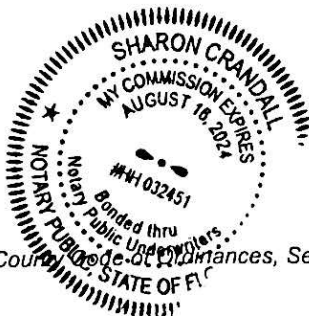
[Signature]
Owner, Agent, Applicant Signature

**STATE OF FLORIDA
COUNTY OF SEMINOLE**

Sworn to and subscribed before me by means of ☒ physical presence or ☐ online notarization, this 22nd day of February, 2024, by Pinkal Patel, MD, who is ☒ personally known to me, or ☐ has produced _____ as identification.

[Signature]
Signature of Notary Public

Sharon Crandall
Print, Type or Stamp Name of Notary Public



OWNER AUTHORIZATION FORM

An authorized applicant is defined as:

- The property owner of record; or
- An agent of said property owner (power of attorney to represent and bind the property owner must be submitted with the application); or
- Contract purchase (a copy of a fully executed sales contract must be submitted with the application containing a clause or clauses allowing an application to be filed).

I, Pinkal Patel, the owner of record for the following described property [Parcel ID Number(s)] 27-21-31-511-0000-002B hereby designates OM ENGINEERING SERVICES, INC. to act as my authorized agent for the filing of the attached application(s) for:

<input type="checkbox"/> Alcohol License	<input checked="" type="checkbox"/> Arbor Permit	<input type="checkbox"/> Construction Revision	<input checked="" type="checkbox"/> Final Engineering
<input type="checkbox"/> Final Plat	<input type="checkbox"/> Future Land Use Amendment	<input type="checkbox"/> Lot Split/Reconfiguration	<input type="checkbox"/> Minor Plat
<input type="checkbox"/> Preliminary Subdivision Plan	<input type="checkbox"/> Rezone	<input checked="" type="checkbox"/> Site Plan	<input type="checkbox"/> Special Event
<input type="checkbox"/> Special Exception	<input type="checkbox"/> Temporary Use Permit	<input type="checkbox"/> Vacate	<input type="checkbox"/> Variance

OTHER: _____

and make binding statements and commitments regarding the request(s). I certify that I have examined the attached application(s) and that all statements and diagrams submitted are true and accurate to the best of my knowledge. Further, I understand that this application, attachments, and fees become part of the Official Records of Seminole County, Florida and are not returnable.

Date 1/29/2024

Pinkal Patel
Property Owner's Signature

Pinkal P. Patel
Property Owner's Printed Name

STATE OF FLORIDA
COUNTY OF Seminole

SWORN TO AND SUBSCRIBED before me, an officer duly authorized in the State of Florida to take acknowledgements, appeared Pinkal Patel (property owner),
☒ by means of physical presence or ☐ online notarization; and ☒ who is personally known to me or ☐ who has produced _____ as identification, and who executed the foregoing instrument and sworn an oath on this 25th day of January, 2024.



Sharon Crandall
Notary Public

Property Record Card



Parcel 27-21-31-511-0000-002B

Property Address OVIEDO, FL 32765

Parcel Location



Site View

Sorry, No Image Available at this Time

Parcel Information

Parcel	27-21-31-511-0000-002B
Owner(s)	MAYA P LLC
Property Address	OVIEDO, FL 32765
Mailing	6012 ALOMA WOODS BLVD OVIEDO, FL 32765-3116
Subdivision Name	REMINGTON COMMERCIAL PARK
Tax District	01-COUNTY-TX DIST 1
DOR Use Code	10-VAC GENERAL-COMMERCIAL
Exemptions	None
AG Classification	No

Value Summary

	2024 Working Values	2023 Certified Values
Valuation Method	Cost/Market	Cost/Market
Number of Buildings	0	0
Depreciated Bldg Value		
Depreciated EXFT Value		
Land Value (Market)	\$358,305	\$358,305
Land Value Ag		
Just/Market Value	\$358,305	\$358,305
Portability Adj		
Save Our Homes Adj	\$0	\$0
Non-Hx 10% Cap (AMD 1)	\$0	\$0
P&G Adj	\$0	\$0
Assessed Value	\$358,305	\$358,305

2023 Certified Tax Summary

2023 Tax Amount w/o Exemptions/Cap \$4,768.32

2023 Tax Bill Amount \$4,768.32

* Does NOT INCLUDE Non Ad Valorem Assessments

Legal Description

PT LOTS 2 & 3 DESC AS BEG SE COR
LOT 3 RUN SWLY ON CURVE 266.38 FT N
323.81 FT NELY ON CURVE 156.42 FT S
01 DEG 51 MIN 53 SEC W 186.35 FT S
47 DEG 21 MIN 21 SEC E 76.27 FT TO
BEG (LESS BEG 10.89 FT N OF SE COR
LOT 2 RUN N 39 DEG 27 MIN 35 SEC W
16.91 FT SWLY ON CURVE 7.48 FT S 49
DEG 17 MIN 10 SEC W 17.53 FT S 39
DEG 27 MIN 35 SEC E 25.01 FT N 49
DEG 17 MIN 10 SEC E 18.08 FT NELY
ON CURVE 6.93 FT N 39 DEG 27 MIN 35

Taxes			
Taxing Authority	Assessment Value	Exempt Values	Taxable Value
ROAD DISTRICT	\$358,305	\$0	\$358,305
SJWM(Saint Johns Water Management)	\$358,305	\$0	\$358,305
FIRE	\$358,305	\$0	\$358,305
COUNTY GENERAL FUND	\$358,305	\$0	\$358,305
Schools	\$358,305	\$0	\$358,305

Sales						
Description	Date	Book	Page	Amount	Qualified	Vac/Imp
SPECIAL WARRANTY DEED	12/23/2021	10135	0803	\$410,000	Yes	Vacant
SPECIAL WARRANTY DEED	11/01/2001	04229	1938	\$100	No	Vacant

Land					
Method	Frontage	Depth	Units	Units Price	Land Value
SQUARE FEET			42253	\$8.48	\$358,305

Building Information					
Permits					
Permit #	Description	Agency	Amount	CO Date	Permit Date

Extra Features				
Description	Year Built	Units	Value	New Cost

Zoning			
Zoning	Zoning Description	Future Land Use	Future Land Use Description
C-1	Commercial	COM	Retail Commercial-Commodies

Utility Information								
Fire Station	Power	Phone(Analog)	Water Provider	Sewer Provider	Garbage Pickup	Recycle	Yard Waste	Hauler
65.00	DUKE	AT&T	SEMINOLE COUNTY UTILITIES	SEMINOLE COUNTY UTILITIES	NA	NA	NA	NA

Political Representation				
Commissioner	US Congress	State House	State Senate	Voting Precinct
Dist 1 - Bob Dallari	Dist 7 - Cory Mills	Dist 37 - SUSAN PLASENCIA	Dist 10 - Jason Brodeur	74

School Information		
Elementary School District	Middle School District	High School District
Evans	Jackson Heights	Hagerty



[Department of State](#) / [Division of Corporations](#) / [Search Records](#) / [Search by Entity Name](#) /

Detail by Entity Name

Florida Limited Liability Company

MAYA P, LLC

Filing Information

Document Number L04000010835

FEI/EIN Number 20-1153474

Date Filed 02/02/2004

State FL

Status ACTIVE

Principal Address

6012 Aloma Woods Blvd
OVIEDO, FL 32765

Changed: 01/23/2024

Mailing Address

6012 Aloma Woods Blvd
OVIEDO, FL 32765

Changed: 01/23/2024

Registered Agent Name & Address

PATEL, PINKAL

6012 Aloma Woods Blvd
OVIEDO, FL 32765

Name Changed: 01/23/2024

Address Changed: 01/23/2024

Authorized Person(s) Detail

Name & Address

Title MGR

PATEL, PINKAL, MGR
6012 Aloma Woods Blvd
OVIEDO, FL 32765

Title MGR

PATEL, MONAL, MGR
6012 Aloma Woods Blvd
WINTER SPRINGS, FL 32708

Annual Reports

Report Year	Filed Date
2022	01/26/2022
2023	01/26/2023
2024	01/23/2024

Document Images

01/23/2024 -- ANNUAL REPORT	View image in PDF format
01/26/2023 -- ANNUAL REPORT	View image in PDF format
01/26/2022 -- ANNUAL REPORT	View image in PDF format
02/01/2021 -- ANNUAL REPORT	View image in PDF format
03/11/2020 -- ANNUAL REPORT	View image in PDF format
02/08/2019 -- ANNUAL REPORT	View image in PDF format
02/04/2018 -- ANNUAL REPORT	View image in PDF format
04/19/2017 -- ANNUAL REPORT	View image in PDF format
05/11/2016 -- AMENDED ANNUAL REPORT	View image in PDF format
03/08/2016 -- ANNUAL REPORT	View image in PDF format
04/27/2015 -- ANNUAL REPORT	View image in PDF format
04/19/2014 -- ANNUAL REPORT	View image in PDF format
06/10/2013 -- ANNUAL REPORT	View image in PDF format
02/26/2012 -- ANNUAL REPORT	View image in PDF format
02/16/2011 -- ANNUAL REPORT	View image in PDF format
04/09/2010 -- ANNUAL REPORT	View image in PDF format
04/30/2009 -- ANNUAL REPORT	View image in PDF format
05/23/2008 -- ANNUAL REPORT	View image in PDF format
03/12/2007 -- ANNUAL REPORT	View image in PDF format
02/22/2006 -- ANNUAL REPORT	View image in PDF format
05/01/2005 -- ANNUAL REPORT	View image in PDF format
02/02/2004 -- Florida Limited Liabilites	View image in PDF format



**Seminole County Government
Development Services Department
Planning and Development Division
Credit Card Payment Receipt**

If you have questions about your application or payment, please email us eplandesk@seminolecountyfl.gov or call us at: (407) 665-7371.

Receipt Details

Date: 3/1/2024 8:34:41 AM
Project: 24-06000019
Credit Card Number: 41*****1141
Authorization Number: 39866G
Transaction Number: 010324O39-13741D53-A1C5-4FA4-8482-3393EE84A619
Total Fees Paid: 3126.74

Fees Paid

Description	Amount
CC CONVENIENCE FEE -- PZ	46.74
SITE PLAN	3080.00
Total Amount	3126.74

SEMINOLE COUNTY GOVERNMENT
1101 EAST FIRST STREET, 2ND FLOOR, WEST WING
SANFORD, FLORIDA 32771

Comment Document – Initial Submittal

The DRC meeting allows 20 minutes per project to discuss and clarify any comments of concern. Additional comments or deletion of comments may result from discussions at the DRC meeting. The DRC Agenda can be found [HERE](#).

PROJECT NAME:	OVIEDO FAMILY HEALTH VILLAGE - SITE PLAN	PROJ #: 24-06000019
APPLICATION FOR:	DR - SITE PLAN	
APPLICATION DATE:	2/27/24	
RELATED NAMES:	EP NIMESH BHAVSAR	
PROJECT MANAGER:	KAITLYN APGAR (407) 665-7377	
PARCEL ID NO.:	27-21-31-511-0000-002B	
PROJECT DESCRIPTION	PROPOSED SITE PLAN FOR A MEDICAL OFFICE ON 0.97 ACRES IN THE C-1 ZONING DISTRICT LOCATED ON THE NORTH SIDE OF REMINGTON DR, WEST OF ALAFAYA TRL	
NO OF ACRES	0.97	
BCC DISTRICT	1-BOB DALLARI	
CURRENT ZONING	C-1	
LOCATION	ON THE NORTH SIDE OF REMINGTON DR, WEST OF ALAFAYA TRL	
FUTURE LAND USE-	COM	
SEWER UTILITY	SEMINOLE COUNTY UTILITIES	
WATER UTILITY	SEMINOLE COUNTY UTILITIES	
APPLICANT:		CONSULTANT:
PINKAL PATEL OVIEDO FAMILY HEALTH 6012 ALOMA WOODS BLVD OVIEDO FL 32765 (321) 246-0581 OFHCDOCTOR@GMAIL.COM		DAVID BORYS OM ENGINEERING SERVICES, INC 621 E WASHINGTON ST, STE 8 ORLANDO FL 32801 (407) 704-7815 DBORYS@OMENGINEER.COM

County staff members have reviewed the subject development project and offer the following comments. The comments below are a compilation of comments and markups from the ePlan review system. These items need responses with further information, data, explanation or revision of plans and documents before project approval.

Please itemize any and all revisions made to the development plan in addition to those made in response to staff comments; include a statement in your response to comments that no additional revisions have been made to the site plan beyond those stated.

For questions regarding the ePlan process, please consult the Electronic Plan Review Applicant User Guide <http://www.seminolecountyfl.gov/core/fileparse.php/3321/urlt/ePlanApplicantUserGuide.pdf>

See comments within the comment document for any fees due, as fees may be due for different aspects of your development project. Fees showing in ePlan reflect Planning & Development review or revision fees only.

State Permits that may be required:

FDOT, FDEP- UTILITIES, SJRWMD, ENVIRONMENTAL REPORTS, ARCHEOLOGICAL REPORTS, FDEP- ENVIRONMENTAL, SJRWMD- ENVIRONMENTAL, FFW, IF APPLICABLE.

AGENCY/DEPARTMENT COMMENTS

	REVIEWED BY	TYPE	STATUS
1.	Buffers and CPTED	Buffer information can be found here: https://www.municode.com/library/fl/seminole_county/codes/land_development_code?nodeId=SECOLADECO_CH30ZORE_PT67LASCBU	Info Only
2.	Buffers and CPTED	Please refer to the SCLDC sections 30.14.5 and 30.14.3.1 on opacity and plant groups.	Info Only
3.	Buffers and CPTED	Where existing vegetation is to be left undisturbed for buffer purposes, please put a note on the landscape plan. Provide a note indicating that supplemental landscaping will be provided as needed to maintain a 0.2 opacity (2.0 plant groups per 100') in the event that the existing vegetation is not adequate or is removed/destroyed for any reason.	Unresolved
4.	Buffers and CPTED	Parking lot landscaping is required in accordance with SCLDC Sec. 30.14.13. Include the calculation on the landscape plan.	Unresolved
5.	Buffers and CPTED	For each buffer, provide a calculation that indicates: (a) length of buffer; (b) required number of plant groups per 100'; (c) plant group selected; (d) number of each type of plant to be provided (i.e., canopy, understory, shrubs). A sample buffer calculation has been uploaded into the "resources" folder for reference.	Unresolved
6.	Buffers and CPTED	Include the buffer opacities and widths in the site data section on the overall landscape plan.	Unresolved
7.	Buffers and CPTED	A 0.2 opacity buffer is required on the north, south, and west. Please revise plans accordingly and show compliance with the opacity on the landscape plan. the	Unresolved
8.	Buffers and CPTED	If the existing wall on the north is to be kept and used towards the landscape buffer, please indicate so on the overall site plan and the landscape plan.	Unresolved
9.	Buffers and CPTED	Please provide a landscape plan to show the landscape buffers, opacities, and plant groups.	Unresolved
10.	Building Division	All structures that are required to be accessible per the 8th ed (2023) FBC, Florida Accessibility Code for Building Construction, shall show the accessible route from the required accessible parking spaces to the accessible entrance to the structure.	Info Only
11.	Building Division	In accordance with the 8th ed (2023) FBC, Florida Accessibility Code for Building Construction, at least one accessible route shall connect accessible buildings, facilities, elements, and spaces that are on the same site.	Info Only
12.	Building Division	The location of accessible parking spaces, loading zones, sidewalks, and exit ramps shall meet requirements of the 8th ed (2023) FBC, Florida Accessibility Code for Building Construction.	Info Only
13.	Building Division	Food service establishments shall provide a minimum 750 gallon grease trap per Florida Administrative Code 64E-6.	Info Only

14.	Building Division	All site lighting on Commercial parcels require a building permit prior to commencement of work. This is a standalone permit separate from all other required permits.	Info Only
15.	Building Division	Vertical construction will require a separate Building permit and will be reviewed for, and shall be designed and built in accordance with the 8th ed. Florida Building Code, Chapters 3, 4, 5, 6, 7 and 9, for 1) USE, 2) Height and area limitations, 3) Construction types and horizontal separation distances, 4) Building element protection and 5) Sprinkler and Alarm requirements and all other code requirements.	Info Only
16.	Building Division	The east wall of the structure shall be required to be fire rated for (1) hour and the percentage of openings (doors and windows) may be limited. Please label the east wall on the site plan as 1 hour rated. 2023 8th edition FBC, T705.5 and 705.8.	Unresolved
17.	Environmental - Impact Analysis	Seminole County is the Water and Sewer service provider for this project. Capacity reservation will be required.	Unresolved
18.	Environmental Services	On Sheet C-2: General Notes, under section VII. Safety Notes - Phase 1 and Phase 2, please add our contact information for utility locations. SEMINOLE COUNTY UTILITIES UTILITIES ENGINEERING (407-665-2024)	Info Only
19.	Environmental Services	On Sheet C-4: Site Survey Exhibit, please update the boundaries of the 25 ft wide Utility and Drainage Easement to extend to the right-of-way line per the plat. See the file "Remington Commercial Park Plat" in the Resources folder on eplan for reference. Update all other plan sheets accordingly, especially the Utility Plan.	Unresolved
20.	Environmental Services	See the file "Remington Commercial Park As-Built" in the Resources folder on eplan for reference on nearby utility lines in the project area.	Info Only
21.	Environmental Services	On Sheet C-12: Utility Plan, please correct the SAN-MH-01 callout to reference SD 303 and SD 305. Instead of having double 6" sewer lines, can these be consolidated into a single 8" sewer line?	Unresolved
22.	Environmental Services	On Sheet C-12: Utility Plan, please callout the existing fire hydrant and specify it as a public fire hydrant.	Unresolved
23.	Environmental Services	On Sheet C-12: Utility Plan, please update the water service callouts to specify the sizes of the proposed water/irrigation meters. Note that these will be constructed/configured per SD 212, not SD 211. Accordingly, there will only be one service saddle tap that will run into a single meter box, the single meter box will house both the potable and irrigation meters together. See the posted revision/markups for Sheet C-12: Utility Plan on eplan for reference.	Unresolved
24.	Environmental Services	On Sheet C-13: Utility Details, please ADD the following Standard Details (SDs): SD 109, SD 207, SD 212, SD 302, and SD 305. Please note that SD 102 is intended to be used for County owned roadways, so its standards aren't required for this project. SD 102 can be used as reference for the utility construction that is proposed under the site's private driveway/lot if so desired.	Unresolved
25.	Natural Resources	Specimen tree: Live oak, magnolia, bald cypress and longleaf pine trees twenty-four (24) inches DBH or greater. SCLDC	Info Only

		Chapter 2	
26.	Natural Resources	Historic tree: Any live oak, bald cypress, or longleaf pine thirty-six (36) inches or greater DBH that is determined by Seminole County to be of such unique and intrinsic value to the general public because of its size, age, historic association or ecological value as to justify this classification. Prior to removal of any live oak, bald cypress, or longleaf pine thirty-six (36) inches or greater DBH, a report from a certified arborist must be submitted detailing the condition of the tree, if the condition of tree has a rating over 3 or above, the tree must be inspected by the Natural Resource Officer prior to removal. Any tree designated a Florida State Champion shall likewise be within this definition.	Info Only
27.	Natural Resources	Please provide a sealed or certified tree survey prepared by a professional surveyor, completed within the past 2 years. Show the location, DBH, common name, and, if applicable, indicate specimen tree status of all protected and preserved trees. SCLDC 60.10(b)(1)	Unresolved
28.	Natural Resources	Trees less than six (6) inches DBH and palm trees are exempt from arbor regulations. SCLDC 60.4(h)	Info Only
29.	Natural Resources	If approved for removal by the Development Services Director or designee, specimen trees shall be replaced at a ratio of two (2) to one (1) of the cumulative caliper of the trees to be installed to the cumulative DBH of the trees removed. SCLDC 60.9(c)	Info Only
30.	Natural Resources	Replacement of non-specimen trees shall be based on a one-to-one ratio of the cumulative DBH of the trees to be removed to the cumulative caliper of the trees to be installed. Specimen trees shall be replaced on a two-to-one ratio of the cumulative caliper of the trees to be installed to the cumulative DBH of the trees removed. SCLDC 60.9(d)(1)	Info Only
31.	Natural Resources	Please provide a tree mitigation table. SCLDC 60.10 (b)(2f)	Unresolved
32.	Natural Resources	Please show tree protection measures for construction and development. Protective barriers shall consist of three (3) foot tall temporary fencing with posts spaced six (6) feet apart and linked together with brightly colored net fence fabric. SCLDC 60.8(d) Protective barriers shall be placed at points not closer than six (6) feet from the base of the tree or at the radius of distance of one (1) foot radius for every one (1) inch of diameter of tree or stand of trees, whichever is greater to a maximum of twenty four (24) feet from the center of the tree. If circumstances exist that require encroachment of the drip-line, the Development Services Director, or designee may use discretion in allowing the barriers to be placed closer to the tree trunk. No attachments or wires other than those of a protective or nondamaging nature shall be attached to any tree. SCLDC 60.8(c)	Unresolved
33.	Natural Resources	If the Development Services Director determines that the number of trees to be planted is unfeasible, then the applicant can account for the remainder of the required caliper inches by paying \$125 per caliper inch into the Arbor Trust Fund. SCLDC 60.9(d)(8)	Info Only
34.	Natural Resources	No applicant may be required to replace more than ninety	Info Only

		caliper inches per acre (prorated for fractional acres) for each development approval or permit, as the case may be, upon demonstration that the applicant has avoided the removal of protected trees to the maximum extent practicable. SCLDC 60.9(d)(1)	
35.	Natural Resources	The cumulative DBH of specimen trees preserved on site shall count two (2) to one (1) toward meeting the total replacement requirement. SCLDC 60.9(d)(6a)	Info Only
36.	Natural Resources	The review may include, but need not be limited to, a field check of the site and referral of the application for recommendations to other appropriate administrative departments or agencies. SCLDC 60.10(d)	Info Only
37.	Natural Resources	Please provide an updated threatened and endangered species study. These surveys must be completed within 18 months of the application. The currently submitted copy is expired by 5 months.	Unresolved
38.	Natural Resources	Please provide landscaping plans.	Unresolved
39.	Planning and Development	INFORMATIONAL: You must submit a revision of your site plan based upon comments of the various reviewers. This will be your first revision. Two revisions are included in the site plan application fee.	Info Only
40.	Planning and Development	The Site Plan shall be in compliance with all requirements of SCLDC Sec. 40.53.	Info Only
41.	Planning and Development	On the Cover Sheet, please provide vicinity map of proposed development at a scale not less than one (1) inch equals two thousand (2,000) feet.	Unresolved
42.	Planning and Development	On the Cover Sheet, please include the name of the project, the parcel number and the legal description, the utility providers, and include drainage map pages (D-01 and D-02) on the cover sheet index.	Unresolved
43.	Planning and Development	Please remove the "Legend & Abbreviations" table from the Cover Sheet and add to the Site Plan sheet.	Unresolved
44.	Planning and Development	C-2 General Notes: Amend notes Section VI. Trenching Notes – Phase 1 and Phase 2 (3) (A) to reflect the word "SLOPE" clearly.	Unresolved
45.	Planning and Development	C-2 General Notes: Please update numbering sequence under notes Section VII. Safety Notes – Phase 1 and Phase 2, and update utility owners under this section.	Unresolved
46.	Planning and Development	C-6 Proposed Site Plan: Please clearly depict the parcel number, Future Land Use and Zoning of all adjacent parcels.	Unresolved
47.	Planning and Development	C-6 Proposed Site Plan: Show linear dimensions of subject site boundaries, per SCLDC Sec. 40.53 (a)(9).	Unresolved
48.	Planning and Development	C-6 Proposed Site Plan: Please clearly depict all property boundaries and provide a line symbol legend, per SCLDC Sec. 40.53.	Unresolved
49.	Planning and Development	C-6 Proposed Site Plan: Dimension all building lines from the property line to show compliance with required building setbacks.	Unresolved
50.	Planning and Development	C-6 Proposed Site Plan: Please show location of proposed dumpster and provide screening details, see SCLDC Sec. 30.1233(a) for requirements.	Unresolved

51.	Planning and Development	C-6 Proposed Site Plan: Will there be signs? If so, please show location and provide sign detail, per SCLDC 40.53(b)(8).	Unresolved
52.	Planning and Development	C-6 Proposed Site Plan: Please specify that the Block Retaining Wall on the east side will not encroach on adjacent property boundary.	Info Only
53.	Planning and Development	C-6 Proposed Site Plan: Please call out all types of easements (i.e. "existing 10' easement" in the center of the drive aisle and on the east side of the property boundary).	Unresolved
54.	Planning and Development	C-6 Proposed Site Plan: Please amend the building setbacks as follows: Rear Yard required setback is 10 feet. Please remove the reference of parking setback.	Unresolved
55.	Planning and Development	C-6 Proposed Site Plan: Please depict the proposed 25-foot landscape buffer on the south side (front) of the property.	Unresolved
56.	Planning and Development	C-6 Proposed Site Plan: Please depict all parking spots with wheel stops for clarity purposes.	Unresolved
57.	Planning and Development	Per Ordinance No. 2024-02 LDC Rewrite Part 11, Table A, parking required for medical offices are 4 spaces/ 1,000 square feet for the first 3,000 square feet. Square footage above 3,000 square feet requires 3 spaces/ 1,000 square feet. This would necessitate 21 spaces total. Please update required parking with these values.	Unresolved
58.	Planning and Development	C-6 Site Data Table: Please notate parking stall dimensions on the site data table and provide parking calculation breakdown.	Unresolved
59.	Planning and Development	Ordinance No. 2024-02 LDC Rewrite Part 11, Sec.30.11.5 Electric Vehicle (EV) Readiness, requires 10 percent of required parking be EV Capable.	Unresolved
60.	Planning and Development	Please provide bicycle parking in accordance with Ordinance No. 2024-02 LDC Rewrite Part 11, Sec. 30.11.7.1 Bicycle Parking Requirements	Unresolved
61.	Planning and Development	Per Ordinance No. 2024-02 LDC Rewrite Part 11, Sec. 30.11.7.1, please provide one long term bicycle parking space for every five employees proposed to work at the site (medical office) as well as four short term bicycle parking spaces.	Unresolved
62.	Planning and Development	Short-term bicycle spaces shall be located within fifty (50) feet of the main entrance to the building as measured along the most direct pedestrian access route. For a building with more than one entrance, the bicycle parking must be distributed along all facades with a main entrance and located within fifty (50) feet of at least one main entrance, as measured along the most direct pedestrian access route. When more than six (6) spaces are required per entrance, additional parking may be provided at a secondary location, such as a parking garage, not more than 200 feet from the principal entrance with directional signage indicating its location.	Info Only
63.	Planning and Development	C-6 Site Data Table: Provide the Parcel ID, list the Future Land Use as Commercial, and list the Zoning as C-1. Remove the reference of Land Use Current and Land Use Proposed.	Unresolved
64.	Planning and Development	C-6 Site Data Table: List the maximum allowable building height of 35 feet and provide the proposed building height and building stories	Unresolved
65.	Planning and Development	C-6 Site Data Table: Please specify Medical Office as the proposed use.	Unresolved
66.	Planning and	C-6 Site Data Table: Please indicate what areas are being used	Unresolved

	Development	in the open space calculation and provide all calculation breakdowns of required/proposed open space, per SCLDC Sec. 40.53(k)(3).	
67.	Planning and Development	C-6 Site Data Table: Please specify net buildable acreage and provide calculation breakdown.	Unresolved
68.	Planning and Development	C-6 Site Data Table: The Buildable Area value does not appear to be equivalent to 0.73 acres, please amend accordingly.	Unresolved
69.	Planning and Development	C-6 Proposed Site Plan: Please add the following notes to the Site Plan sheet: All outdoor lighting must comply with Seminole County Land Development Code Sec. 30.1234. – Outdoor Lighting Requirements. Outdoor Lighting will require a separate permit. Dumpster enclosure must meet the standard of Seminole County Land Development Code Sec. 30.1233. - Miscellaneous design standards. Dumpster will require a separate permit.	Unresolved
70.	Planning and Development	If there is outdoor lighting proposed, staff recommends providing the photometric plan at Site Plan submittal. 30.1234. All commercial, office, industrial and multi-family development shall comply with SCLDC Sec. 30.1234 of the Land Development Code. A photometric plan is required to show that illumination onto adjacent properties does not exceed five-tenths (0.5) foot-candles.	Info Only
71.	Planning and Development	C-6 Proposed Site Plan: Per SCLDC Sec. 30.1344 (b)(4)(b), stormwater ponds may be counted towards open space requirement subject to the following: the pond shall be sodded or dressed with equivalent ground cover; the pond shall be landscaped and configured in a manner that results in a visual amenity for the site, and shall include aesthetic features or amenities such as benches and/or picnic tables.	Unresolved
72.	Public Safety -	(Development Name) OVIEDO FAMILY HEALTH VILLAGE has been approved for use. The approved name shall be the only conspicuous name posted or advertised on signage and shall also be the title on the proposed plat (if applicable). Following approval of the site or final engineering plan, the applicant shall have one (1) year to commence construction. If no site construction has commenced within (1) one year, the project is considered expired and any approved development name, including street names, that have been reserved, will be removed from the reserve list and considered void. (90.10(b)(c)(e)), (177.051)	Info Only
73.	Public Safety - Addressing	(POSTING) Address numbers shall be made of durable weather resistant material, shall be permanently affixed to the structure and posted fronting the street the structure is addressed to. The colors of the numbers shall contrast the surrounding background of the structure, so it stands out and is clearly visible from both directions of the addressed street. SCLDC SEC 90.5(a). Addresses are entered into the 911 database and used directly by the 911 communications call center. *Address numbers are to be permanently installed facing the street the structure is addressed to.	Info Only
74.	Public Safety - Addressing	(POSTING) If the main entrance to the building or the building structure is set back and not readily visible from the street, address numbers shall be posted on the structure and at the	Info Only

		entrance street or adjacent driveway to the building on both sides of a fence, mailbox or post. Numbers shall be visible from both directions of the street. SCLDC SEC 90.5(7)	
75.	Public Safety - Addressing	(POSTING) Commercial address numbers are to be a minimum of six (6) in height and one-half (1/2) inch in width. SCLDC 90.5 (1)	Info Only
76.	Public Safety - Addressing	A site plan that was approved through the Planning and Development site plan approval process is required to be submitted within the building permit application package, prior to permit approval. (Addressing Policy)	Info Only
77.	Public Safety - Addressing	(ADDRESS ASSIGNMENT) All building/unit number(s) shall be issued by the Seminole County Office of Emergency Management Addressing Office. SCLDC 90.5	Info Only
78.	Public Safety - Addressing	(ADDRESS ASSIGNMENT) Address and applicable fees will be determined at permitting upon the approved site plan. SCLDC 90.4(A) (C)	Info Only
79.	Public Safety - Addressing	On the Cover Sheet 201 1of2 COVER SHEET please label the approved Site Plan name OVIEDO FAMILY HEALTH VILLAGE located in the upper middle and the side bar. Remove the reference to REMINGTON COMMERCIAL PARK - LOT 3 as this is not the approved name.	Unresolved
80.	Public Safety - Addressing	Is this building proposed to be single or multiple tenants?	Question
81.	Public Safety - Addressing	On the Site Plan Sheet 006 C-6 SITE PLAN - PROPOSED please label the approved Site Plan name OVIEDO FAMILY HEALTH VILLAGE on the side bar. Label the Parcel ID # on this sheet.	Unresolved
82.	Public Safety - Addressing	On the Cover Sheet 001 C-1 COVER SHEET please label the approved Site Plan name OVIEDO FAMILY HEALTH VILLAGE located in the upper middle and the title bar. Remove the reference to REMINGTON - LOT 3 as this is not the approved name. Label the Parcel ID # on this sheet.	Unresolved
83.	Public Safety - Addressing	The Cover Sheet 001 C-1 COVER SHEET is labeled with CONSTRUCTION PLANS and includes a partial address listed. When Construction Plans are submitted for a building permit, the assigned address is required to be labeled. Please contact our office prior to drawing/completing the Construction Plans and we will provide the assigned address. The County "Seminole County" should not be labeled within the address block. Please remove Seminole County from the address block.	Unresolved
84.	Public Safety - Addressing	(SITE/FLOOR PLAN) When submitting future site plans or building permits, please submit an existing and proposed plan indicating and labeling on the plans all of the following: All structures existing or proposed on the parcel, description of use of the structure(s), parcel number of the property as well as the adjacent properties, posted address (es), street names, north arrow, drive aisles, front (main entry) and rear elevations of the building(s), where the work will take place within the building.	Info Only
85.	Public Safety - Fire Marshal	Verify compliance with table 18.5.4.3 for maximum fire hydrant fire flow capacity distance to the building, and number of hydrants. There appears to be one hydrant near the entrance. The maximum gpm (after a flow test is documented and provided) is 1500 gpm. Please show where the next closest	Unresolved

		hydrant is to meet the remaining GPM needed for this project.	
86.	Public Safety - Fire Marshal	When private or public water supplies are used, the flow test data, including date and time of test, who conducted test or supplied information, test elevation, static gauge pressure at no flow, flow rate with residual gauge pressure, hydrant butt coefficient, and location of test in relation to the hydraulic point of service. This test shall be in accordance with NFPA 291 and within the last 12 months.	Unresolved
87.	Public Safety - Fire Marshal	Include turning radius analysis with plans. * Turning radius analysis based on aerial truck Specifications. (Section 18.2.3.4.3. NFPA 1) Fire Truck Parameters: Pierce Arrow XT Chassis Aerial Platform 100' Inside Cramp Angle: 40 Degrees Axle Track: 82.92 inches Wheel Offset: 5.30 inches Tread Width: 17.5 inches Chassis Overhang: 68.99 inches Additional Bumper Depth: 22 inches Front Overhang: 90.99 inches Wheelbase: 270 inches Overall length: 581.75 inches Calculated Turning Radius: Inside Turn: 25 ft. 7 in. Curb to Curb: 41 ft. 8 in. Wall to Wall: 48 ft. 5 in. Overall length: 48 ft 6in.	Unresolved
88.	Public Safety - Fire Marshal	Dead end fire department access roads in excess of 150 ft in length shall be provided with approved provisions for the fire apparatus to turn around. NFPA 1, 18.2.3.5.4, 2018 Edition.	Unresolved
89.	Public Safety - Fire Marshal	NO PARKING Signage and yellow striping for all fire department appliances such as FDCs, fire hydrants and fire department lanes shall be provided in accordance with NFPA 1, 18.2.3.6.1 If utilizing the area next to the structure for fire department access/turn around only, this area will need to be provided with striping and signage.	Unresolved
90.	Public Safety - Fire Marshal	The angle of approach and departure for any means of fire department access road shall not exceed 1 ft. drop in 20 ft. or the design limitations of the fire apparatus of the fire department, and shall be subject to approval by the AHJ. NFPA 1, 18.2.3.5.6.2. Please verify on the plans.	Unresolved
91.	Public Safety - Fire Marshal	Additional comments may be generated based on resubmittal.	Unresolved
92.	Public Works-Engineering	Comments will be provided under separate cover.	

AGENCY/DEPARTMENT EFORM COMMENTS AND PROJECT STATUS

This section shows the reviewers of this project from the various County agencies. It may also include additional comments for review and response.

Department	Reviewer	Email	Reviewer Comments
Public Safety - Addressing	Amy Curtis	acurtis@seminolecountyfl.gov	407-665-5191
Public Works - Engineering	Jim Potter	jpotter@seminolecountyfl.gov	407-665-5764
Environmental Services	James Van Alstine	jvanalstine@seminolecountyfl.gov	407-665-2014
Environmental - Impact Analysis	Becky Noggle	bnoggle@seminolecountyfl.gov	407-665-2143
Planning and Development	Kaitlyn Apgar	kapgar@seminolecountyfl.gov	407-665-7377
Public Safety - Fire Marshal	Matthew Maywald	mmaywald@seminolecountyfl.gov	407-665-5177
Natural Resources	Sarah Harttung	sharttung@seminolecountyfl.gov	407-665-7391
Buffers and CPTED	Maya Athanas	mathanas@seminolecountyfl.gov	407-665-7388
Public Works - Impact Analysis	William Wharton	wwharton@seminolecountyfl.gov	407-665-5730
Building Division	Tony Coleman	acoleman@seminolecountyfl.gov	407-665-7581

The next submittal, as required below, will be your:

☒ 1st RESUBMITTAL

DATE	RESUBMITTAL FEE DUE	ROUTE TO THESE STAFF MEMBERS FOR FURTHER REVIEW:
xx/xx/2023	The application fee allows for the initial submittal plus two resubmittals. <i>Note: No resubmittal fee for small site plan</i>	xx, xx, xx
<p>The initial application fee allows for the initial submittal review plus two resubmittal reviews. For the fourth review and each subsequent review, the resubmittal fees are as follows: Major Review (3+ reviewers remaining) – 50% of original application fee Minor Review (1-2 reviewers remaining) – 25% of original application fee Summary of Fees: http://www.seminolecountyfl.gov/departments-services/development-services/planning-development/fee-information/fee-summary.stml</p> <p>NOTE: Other fees may be due. See comments for any additional fees due for your development project. (example: Addressing fee)</p>		

Upon completion of your plan review process, Planning and Development staff must authorize and stamp plans for construction use. Once you receive an approval letter from Seminole County, the site contractor must contact Seminole County Planning and Development Inspections to schedule a pre-construction conference prior to the start of any site work. Upon issuance of the site permit, your approved drawings and/or documents will be released to you through the ePlan System. For questions regarding this process, please consult the Electronic Plan Review Applicant User Guide <http://www.seminolecountyfl.gov/core/fileparse.php/3321/urlt/ePlanApplicantUserGuide.pdf>

Cities:

Altamonte Springs	(407) 571-8000	www.altamonte.org
Casselberry	(407) 262-7700	www.casselberry.org
Lake Mary	(407) 585-1449	www.lakemaryfl.com
Longwood	(407) 260-3440	www.longwoodfl.org
Oviedo	(407) 971-5555	www.cityofoviedo.net
Sanford	(407) 688-5000	www.sanfordfl.gov
Winter Springs	(407) 327-1800	www.winterspringsfl.org

Other Agencies:

Florida Dept of Transportation	FDOT	www.dot.state.fl.us
Florida Dept of Enviro Protection	FDEP	(407) 897-4100 www.dep.state.fl.us
St. Johns River Water Mgmt Dist	SJRWMD	(407) 659-4800 www.sjrwmd.com
Health Department	Septic	(407) 665-3621

Other Resources:

Flood Prone Areas	www.seminolecountyfl.gov/gm/building/flood/index.aspx
Watershed Atlas	www.seminole.wateratlas.usf.edu
Seminole Co. Property Appraiser	www.scpafl.org



SEMINOLE COUNTY, FLORIDA

Agenda Memorandum

COUNTY SERVICES
BUILDING
1101 EAST FIRST STREET
SANFORD, FLORIDA
32771-1468

File Number: 2024-0649

Title:

HABITAT FOR HUMANITY - PRELIMINARY SUBDIVISION PLAN

Project Number: 24-55100002

Project Description: Proposed Preliminary Subdivision Plan for 3 single family residential lots on 0.48 acres in the R-1 Zoning District located on the west side of Randall St, north of Midway Ave

Project Manager: Annie Sillaway (407) 665-7936 (asillaway@seminolecountyfl.gov)

Parcel ID: 32-19-31-513-0000-0510

BCC District: 5-Herr

Applicant: Alisa Adams (407) 696-5855

Consultant: N/A



SEMINOLE COUNTY
PLANNING & DEVELOPMENT DIVISION
1101 EAST FIRST STREET, ROOM 2028
SANFORD, FLORIDA 32771
(407) 665-7371 EPLANDESK@SEMINOLECOUNTYFL.GOV

PROJ. #: 24-55100002

Received: 4/9/24

Paid: 4/11/24

SUBDIVISION

ALL INFORMATION MUST BE PROVIDED FOR APPLICATION TO BE CONSIDERED COMPLETE

APPLICATION TYPES/FEES

<input checked="" type="checkbox"/> PRELIMINARY SUBDIVISION PLAN (PSP)	\$1,500.00 + \$15.00 PER LOT (\$3,500 MAX. FEE)
<input type="checkbox"/> FINAL ENGINEERING PLAN (FE)	\$4,000.00 + \$25.00 PER LOT (\$6,500 MAX. FEE)
<input type="checkbox"/> FINAL PLAT (FP)	\$1,500.00
<input type="checkbox"/> MINOR PLAT (RESIDENTIAL: MAX 4 LOTS – COMMERCIAL: MAX 2 LOTS)	\$1,500.00 + \$75.00 PER LOT (CREDIT OF \$110 GIVEN IF PRE-EVAL APPROVED WITHIN 1 YEAR)

PROPERTY

SUBDIVISION NAME: Randall Street

PARCEL ID #(S): 32-19-31-513-0000-0510

NUMBER OF LOTS: 3 ☒ SINGLE FAMILY ☐ TOWNHOMES ☐ COMMERCIAL ☐ INDUSTRIAL ☐ OTHERARE ANY TREES BEING REMOVED? ☒ YES ☐ NO (IF YES, ATTACH COMPLETED ARBOR APPLICATION)

WATER PROVIDER: Midway

SEWER PROVIDER: Septic

ZONING: R-1

FUTURE LAND USE: 8400

TOTAL ACREAGE: 200 'x104 '

BCC DISTRICT: 5: Herr

APPLICANT

EPLAN PRIVILEGES: VIEW ONLY ☐ UPLOAD ☐ NONE ☐

NAME: Alisa Adams

COMPANY: Habitat for Humanity Seminole Apopka

ADDRESS: PO Box 181010

CITY: Casselberry

STATE: FL

ZIP: 32718

PHONE: (407) 696-5855

EMAIL: construction@habitat-sa.org

CONSULTANTEPLAN PRIVILEGES: VIEW ONLY ☐ UPLOAD ☐ NONE ☐

NAME:

COMPANY:

ADDRESS:

CITY:

STATE:

ZIP:

PHONE:

EMAIL:

OWNER(S)

NAME(S): Habitat for Humanity Seminole Apopka

ADDRESS: PO Box 181010

CITY: Casselberry

STATE: Florida

ZIP: 32718

PHONE: (407) 696-5855

EMAIL: construction@habitat-sa.org

CONCURRENCY REVIEW MANAGEMENT SYSTEM (SELECT ONE)

- ☐ I hereby declare and assert that the aforementioned proposal and property described are covered by a valid previously issued and unexpired Certificate of Vesting or prior Concurrency determination as identified below: (Please attach a copy of the Certificate of Vesting or Prior Test/Concurrency Notice.)

Vesting Certificate/Test Notice Number: _____ Date Issued: _____

- ☒ Concurrency Application and appropriate fee are attached. I wish to encumber capacity at an early point in the development process and understand that only upon approval of the Development Order and the full payment of applicable facility reservation fees is a Certificate of Concurrency issued and entered into the Concurrency Management monitoring system.

- ☐ I elect to defer the Concurrency Review determination for the above listed property until a point as late as Final Engineering submittal. **(Minor Plat and Final Engineering require Concurrency Test Review)**. I further specifically acknowledge that any proposed development on the subject property will be required to undergo Concurrency Review and meet all Concurrency requirements in the future.

**SIGNATURE OF OWNER/AUTHORIZED AGENT**(PROOF OF PROPERTY OWNER'S AUTHORIZATION IS REQUIRED
IF SIGNED BY SOMEONE OTHER THAN THE PROPERTY OWNER)

April 5th, 2024

DATE

OWNER AUTHORIZATION FORM

An authorized applicant is defined as:

- The property owner of record; or
- An agent of said property owner (power of attorney to represent and bind the property owner must be submitted with the application); or
- Contract purchase (a copy of a fully executed sales contract must be submitted with the application containing a clause or clauses allowing an application to be filed).

I, Penny Seater, the owner of record for the following described property [Parcel ID Number(s)] 32-19-31-513-0000-0510 hereby designates Alisa Adams to act as my authorized agent for the filing of the attached application(s) for:

<input type="checkbox"/> Alcohol License	<input type="checkbox"/> Arbor Permit	<input type="checkbox"/> Construction Revision	<input type="checkbox"/> Final Engineering
<input type="checkbox"/> Final Plat	<input type="checkbox"/> Future Land Use Amendment	<input type="checkbox"/> Lot Split/Reconfiguration	<input type="checkbox"/> Minor Plat
<input checked="" type="checkbox"/> Preliminary Subdivision Plan	<input type="checkbox"/> Rezone	<input type="checkbox"/> Site Plan	<input type="checkbox"/> Special Event
<input type="checkbox"/> Special Exception	<input type="checkbox"/> Temporary Use Permit	<input type="checkbox"/> Vacate	<input type="checkbox"/> Variance

OTHER: _____

and make binding statements and commitments regarding the request(s). I certify that I have examined the attached application(s) and that all statements and diagrams submitted are true and accurate to the best of my knowledge. Further, I understand that this application, attachments, and fees become part of the Official Records of Seminole County, Florida and are not returnable.

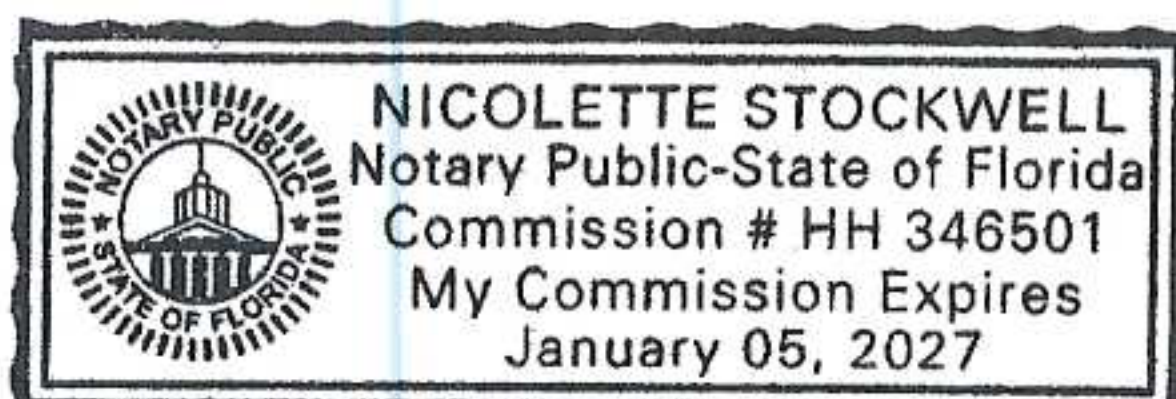
April 9th, 2024
Date

Penny Seater
Property Owner's Signature

Penny Seater
Property Owner's Printed Name

STATE OF FLORIDA
COUNTY OF Seminole

SWORN TO AND SUBSCRIBED before me, an officer duly authorized in the State of Florida to take acknowledgements, appeared Penny Seater (property owner),
☒ by means of physical presence or ☐ online notarization; and ☒ who is personally known to me or ☐ who has produced _____ as identification, and who executed the foregoing instrument and sworn an oath on this 10th day of April, 2024.



Nicolette Stockwell
Notary Public

Legal Description:

LOTS 51 THROUGH 55, MAP OF MIDWAY, ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 1, PAGE 41, OF THE PUBLIC RECORDS OF SEMINOLE COUNTY, FLORIDA.

L1
N 89°26'48" W 8.00'(P)
8.00'(M)

L2
N 89°54'09" W 40.00'(P)
40.03'(M)

L3
N 89°53'41" E 40.00'(P)
41.76'(M)

L4
S 00°06'19" E 40.00'(P)
40.00'(M)

-Site Benchmark Information-

Set Nail & Disk "LB 7623" in Asphalt

Set Nail & Disk "LB 7623" in Asphalt

 -Benchmark Information
Elevations: 27.33'
Seminole County Datum

Benchmark No: 5086501
Benchmark Elevation: 23.80'
(Elevations are based upon NAVD 88 Datum)

—Legend—


 — OHE — — — — — Overhead Utility Line
 ○ WF — — — — — Wetland Flag

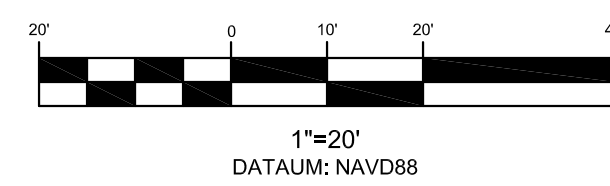
Tree Note:

Oak - Denotes Tree Type
(12") - Diameter of Tree measured at Chest Height

—Legend—

C	Calculated	PC	Point of Curvature
CE	Centerline	Pg.	Page
CB	Concrete Block	PI	Point of Intersection
CM	Concrete Monument	P.O.B.	Point of Beginning
Conc.	Concrete	P.O.L.	Point on Line
CP	Corner Point	PL	Power Line
DE	Drainage Easement	PRM	Permanent Reference Monument
Esm.	Easement	PT	Point of Tangency
F&M.A.	Federal Emergency Management Agency	R	Radius
FFE	Finished Floor Elevation	Rad.	Radial
Fnd.	Found	R&C	Rebar & Cap
IP	Iron Pipe	Rec.	Recovered
L	Length (Arc)	Rfd.	Roofed
M	Measured	Set	Set 7' Cap, Rebar & Cap LB 7623
N&d	Noted	Rebar	Cap LB 7623
NR	Non-Record	T	Typical
ORB	Official Records Book	UE	Utility Easement
P	Plot	WM	Water Meter
P.B.	Plat Book	W	Wedge (Chain Link Angle)
□	Wood Fence	∠	Chain Link Fence

GRAPHIC SCALE



AREA TABULATION

LIVING	1146 S.F.
GARAGE	297 S.F.
ENTRY	15 S.F.
TOTAL	1458 S.F.

SITE DATA LOT 1

SETBACKS	REQUIRED	PROVIDED
FRONT (EAST)	25'	25.0'
SIDE (NORTH)	7.5'	17.0'
SIDE (SOUTH)	7.5'	17.0'
REAR (WEST)	30'	33.8'

AREA CALCULATIONS

IMPERVIOUS AREA	1,802 SF
PERVIOUS AREA	5,140 SF
TOTAL AREA	6,942 SF
IMPERVIOUS SURFACE RATIO =	0.260

SITE DATA LOT 2

SETBACKS	REQUIRED	PROVIDED
FRONT (EAST)	25'	25.0'
SIDE (NORTH)	7.5'	17.1'
SIDE (SOUTH)	7.5'	17.1'
REAR (WEST)	30'	33.8'

AREA CALCULATIONS

IMPERVIOUS AREA	1,779 SF
PERVIOUS AREA	5,160 SF
TOTAL AREA	6,939 SF
IMPERVIOUS SURFACE RATIO =	0.256

SITE DATA LOT 3

SETBACKS	REQUIRED	PROVIDED
FRONT (NORTH)	25'	25.0'
SIDE (EAST)	7.5'	17.1'
SIDE (WEST)	7.5'	17.1'
REAR (SOUTH)	30'	33.8'

AREA CALCULATIONS

IMPERVIOUS AREA	1,753 SF
PERVIOUS AREA	5,165 SF
TOTAL AREA	6,918 SF
IMPERVIOUS SURFACE RATIO =	0.253

LEGEND

The diagram illustrates the drainage surface flow and proposed grades for a road section. It includes a north arrow pointing towards the top-left. The road is shown with a centerline and a dashed line indicating the proposed grade. The existing spot elevation is marked as 124.6, and the proposed grade is marked as 126.20. The text 'DRAINAGE SURFACE FLOW' is written above the road, 'PROPOSED GRADES' is written below the road, and 'EXISTING SPOT ELEV.' is written below the road.

THIS ITEM HAS BEEN DIGITALLY SIGNED AND SEALED BY
BRYAN POTTS ON THE DATE AND TIME SHOWN USING A
DIGITAL SIGNATURE. PRINTED COPIES OF THIS DOCUMENT
ARE NOT CONSIDERED SIGNED AND SEALED AND THE
SIGNATURE MUST BE VERIFIED ON ANY ELECTRONIC COPIES.

AA		
AA		
AA		
AA		
AA		
AA		
AA		
AA		
AA	ISSUED FOR PERMITTING	02/26/24
NO.	REVISIONS	BRP BY DATE



TANNATH DESIGN, INC.
2494 ROSE SPRING DRIVE
ORLANDO, FLORIDA 32825
(407) 982-9878
www.tannathdesign.com
FL. CERT. OF AUTH. #27199



SITE PLAN

RANDALL STREET HOUSES
RANDALL STREET
SANFORD, FLORIDA 32771

DATE	02/26/24
SCALE	1"=20'
DRAWN-BY	DDP
PROJECT NUMBER: 109-014	
C-1.0	
SHEET NO.	

ARBOR/TREE REMOVAL APPLICATION

This is to be submitted with a new Single Family Residence permit only.

For tree removal not associated with construction of a new single family home, please contact the Planning and Development Division

Permit: _____ Parcel ID: _____ Acres: _____

PURPOSE FOR REMOVAL:

TREE SPECIES

NUMBER TO BE REMOVED

Located in building area _____

Located in right-of-way _____

Other Please describe: _____

TREE SPECIES

NUMBER TO BE RETAINED

Species and number of trees being retained on property: _____

APPLICANT: _____

ADDRESS: _____

PHONE: _____ FAX: _____

SIGNATURE: _____ *Olivia Jordan* _____

INSTRUCTIONS:

This application must be approved prior to the removal of any tree with a trunk diameter of 3" or larger. **A copy of the site plan indicating location of trees to be removed, must accompany the application.** During construction, care must be taken to avoid damage to trees that are to be retained.

RELOCATION OR REPLACEMENT TREES MAY BE REQUIRED PER S.C.L.D.C. CH60

FOR OFFICE USE ONLY

☐ APPROVED ☐ DISAPPROVED

CONDITIONS: _____

FEE: _____ APPROVED BY: _____

DATE: _____ JOB TITLE: _____

PHONE: _____

Property Record Card



Parcel 20-19-30-501-0000-2590

Property Address 4771 RICHARD ALLEN ST SANFORD, FL 32771

Parcel Location



Site View



20193050100002590 05/03/2023

Parcel Information

Parcel	20-19-30-501-0000-2590
Owner(s)	HABITAT FOR HUMANITY OF SEMINOLE COUNTY AND GREATER APOPKA, FLORIDA INC
Property Address	4771 RICHARD ALLEN ST SANFORD, FL 32771
Mailing	4771 RICHARD ALLEN ST SANFORD, FL 32771-0132
Subdivision Name	BOOKERTOWN
Tax District	01-COUNTY-TX DIST 1
DOR Use Code	01-SINGLE FAMILY
Exemptions	34-CHARITABLE/CIVIC(2024)
AG Classification	No

Value Summary

	2024 Working Values	2023 Certified Values
Valuation Method	Cost/Market	Cost/Market
Number of Buildings	1	1
Depreciated Bldg Value	\$14,667	\$14,024
Depreciated EXFT Value		
Land Value (Market)	\$33,180	\$31,995
Land Value Ag		
Just/Market Value	\$47,847	\$46,019
Portability Adj		
Save Our Homes Adj	\$0	\$0
Non-Hx 10% Cap (AMD 1)	\$0	\$23,540
P&G Adj	\$0	\$0
Assessed Value	\$47,847	\$22,479

2023 Certified Tax Summary

2023 Tax Amount w/o Non-Hx Cap \$612.42 **2023 Tax Savings with Non-Hx Cap** \$186.67
2023 Tax Bill Amount \$425.75

* Does NOT INCLUDE Non Ad Valorem Assessments

Legal Description

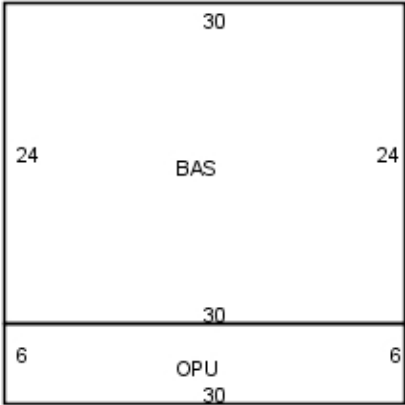
LOTS 259 + 260
BOOKERTOWN
PB 4 PGS 97 - 98

Taxes			
Taxing Authority	Assessment Value	Exempt Values	Taxable Value
ROAD DISTRICT	\$47,847	\$47,847	\$0
SJWM(Saint Johns Water Management)	\$47,847	\$47,847	\$0
FIRE	\$47,847	\$47,847	\$0
COUNTY GENERAL FUND	\$47,847	\$47,847	\$0
Schools	\$47,847	\$47,847	\$0

Sales						
Description	Date	Book	Page	Amount	Qualified	Vac/Imp
WARRANTY DEED	03/08/2023	10403	0125	\$55,000	Yes	Improved
FEE SIMPLE DEED	06/01/1988	01966	0022	\$4,500	No	Improved
WARRANTY DEED	03/01/1979	01217	1381	\$4,900	No	Improved
WARRANTY DEED	03/01/1979	01217	1380	\$4,900	No	Improved

Land					
Method	Frontage	Depth	Units	Units Price	Land Value
FRONT FOOT & DEPTH	60.00	95.00	0	\$700.00	\$33,180

Building Information													
#	Description	Year Built**	Bed	Bath	Fixtures	Base Area	Total SF	Living SF	Ext Wall	Adj Value	Repl Value	Appendages	
1	SINGLE FAMILY	1972	1	1.0	3	720	900	720	SIDING GRADE	\$14,667	\$21,334	Description	Area
									3			OPEN PORCH UNFINISHED	180.00



Building 1 - Page 1

** Year Built (Actual / Effective)

Permits					
Permit #	Description	Agency	Amount	CO Date	Permit Date
19502	4771 RICHARD ALLEN ST: ELECTRICAL - RESIDENTIAL-DEMO OF EXISTING STRUCTURE [BOOKERTOWN]	County	\$2,500		12/26/2023
01865	4771 RICHARD ALLEN ST: AFFORDABLE HOUSING SINGLE FAMILY DETACHED-Single Family Residence [BOOKERTOWN]	County	\$251,284		3/11/2024

Extra Features				
Description	Year Built	Units	Value	New Cost

Zoning								
Zoning		Zoning Description		Future Land Use		Future Land Use Description		
R-1		Medium Density Residential		MDR		Single Family-8400		
Utility Information								
Fire Station	Power	Phone(Analog)	Water Provider	Sewer Provider	Garbage Pickup	Recycle	Yard Waste	Hauler
34.00	FPL	AT&T	SEMINOLE COUNTY UTILITIES	SEMINOLE COUNTY UTILITIES	MON/THU	MON	WED	Waste Pro
Political Representation								
Commissioner		US Congress		State House		State Senate		Voting Precinct
Dist 5 - Andria Herr		Dist 7 - Cory Mills		Dist 36 - RACHEL PLAKON		Dist 10 - Jason Brodeur		1
School Information								
Elementary School District			Middle School District			High School District		
Region 1			Markham Woods			Seminole		
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[Department of State](#) / [Division of Corporations](#) / [Search Records](#) / [Search by Entity Name](#) /

Detail by Entity Name

Florida Not For Profit Corporation

HABITAT FOR HUMANITY OF SEMINOLE COUNTY AND GREATER APOPKA, FLORIDA, INC.

Filing Information

Document Number	N40696
FEI/EIN Number	59-3034059
Date Filed	11/05/1990
Effective Date	11/02/1990
State	FL
Status	ACTIVE
Last Event	AMENDMENT
Event Date Filed	11/20/2015
Event Effective Date	NONE

Principal Address

251 MAITLAND AVE.
SUITE 312
ALTAMONTE SPRINGS, FL 32701

Changed: 11/20/2015

Mailing Address

PO BOX 181010
CASSELBERRY, FL 32718

Changed: 01/09/2014

Registered Agent Name & Address

SEATER, PENNY J
251 MAITLAND AVE.
SUITE 312
ALTAMONTE SPRINGS, FL 32701

Name Changed: 10/28/2009

Address Changed: 03/06/2017

Officer/Director Detail

Name & Address

Title Chairman

Johnson, David
1101 E. 1st Street
Sanford, FL 32771

Title CEO

SEATER, PENNY J
251 MAITLAND AVE.
SUITE 312
ALTAMONTE SPRINGS, FL 32701

Title S

Spray, Barrett
59 Alafaya Woods Blvd.
Oviedo, FL 32765

Title VC

Schreiber, Jeanette
6850 Lake Nona Blvd.
Orlando, FL 32827

Title Treasurer

Rawson, Ron
111 N. Orange Avenue
Orlando, FL 32801

Title COO

Pisciotta, Kelly
251 Maitland Avenue
312
Altamonte Springs, FL 32701

Annual Reports

Report Year	Filed Date
2023	01/30/2023
2023	08/09/2023
2024	02/15/2024

Document Images

02/15/2024 -- ANNUAL REPORT	View image in PDF format
08/09/2023 -- AMENDED ANNUAL REPORT	View image in PDF format
01/30/2023 -- ANNUAL REPORT	View image in PDF format
01/27/2022 -- ANNUAL REPORT	View image in PDF format
06/28/2021 -- AMENDED ANNUAL REPORT	View image in PDF format
01/29/2021 -- ANNUAL REPORT	View image in PDF format

01/07/2020 -- ANNUAL REPORT	View image in PDF format
02/06/2019 -- ANNUAL REPORT	View image in PDF format
01/12/2018 -- ANNUAL REPORT	View image in PDF format
03/06/2017 -- ANNUAL REPORT	View image in PDF format
03/31/2016 -- ANNUAL REPORT	View image in PDF format
11/20/2015 -- Amendment	View image in PDF format
02/24/2015 -- ANNUAL REPORT	View image in PDF format
01/09/2014 -- ANNUAL REPORT	View image in PDF format
01/25/2013 -- ANNUAL REPORT	View image in PDF format
02/13/2012 -- ANNUAL REPORT	View image in PDF format
11/07/2011 -- Amendment	View image in PDF format
08/19/2011 -- Merger	View image in PDF format
03/31/2011 -- ANNUAL REPORT	View image in PDF format
02/24/2010 -- ANNUAL REPORT	View image in PDF format
10/28/2009 -- ANNUAL REPORT	View image in PDF format
03/24/2009 -- ANNUAL REPORT	View image in PDF format
07/02/2008 -- ANNUAL REPORT	View image in PDF format
02/06/2007 -- ANNUAL REPORT	View image in PDF format
12/04/2006 -- REINSTATEMENT	View image in PDF format
01/31/2005 -- ANNUAL REPORT	View image in PDF format
03/18/2004 -- ANNUAL REPORT	View image in PDF format
02/27/2003 -- ANNUAL REPORT	View image in PDF format
02/11/2002 -- ANNUAL REPORT	View image in PDF format
01/16/2001 -- ANNUAL REPORT	View image in PDF format
05/22/2000 -- ANNUAL REPORT	View image in PDF format
02/21/1999 -- ANNUAL REPORT	View image in PDF format
01/29/1998 -- ANNUAL REPORT	View image in PDF format
04/14/1997 -- ANNUAL REPORT	View image in PDF format
02/05/1996 -- ANNUAL REPORT	View image in PDF format
04/26/1995 -- ANNUAL REPORT	View image in PDF format



**Seminole County Government
Development Services Department
Planning and Development Division
Credit Card Payment Receipt**

If you have questions about your application or payment, please email us eplandesk@seminolecountyfl.gov or call us at: (407) 665-7371.

Receipt Details

Date: 4/11/2024 9:29:32 AM
Project: 24-55100002
Credit Card Number: 55*****1019
Authorization Number: 01183G
Transaction Number: 110424O13-65AC0B78-3F41-46AE-9807-FE1C996E639E
Total Fees Paid: 1548.76

Fees Paid

Description	Amount
CC CONVENIENCE FEE -- PZ	3.76
PRELIMINARY SUBDIVISION	1545.00
Total Amount	1548.76

SEMINOLE COUNTY GOVERNMENT
1101 EAST FIRST STREET, 2ND FLOOR, WEST WING
SANFORD, FLORIDA 32771

Comment Document – Initial Submittal

PROJECT NAME:	HABITAT FOR HUMANITY - PRELIMINARY SUBDIVISION PLAN	PROJ #: 24-55100002
APPLICATION FOR:	DR - SUBDIVISIONS PSP	
APPLICATION DATE:	4/09/24	
RELATED NAMES:	EP ALISA ADAMS	
PROJECT MANAGER:	ANNE SILLAWAY (407) 665-7936	
PARCEL ID NO.:	32-19-31-513-0000-0510	
PROJECT DESCRIPTION	PROPOSED PRELIMINARY SUBDIVISION PLAN FOR 3 SINGLE FAMILY RESIDENTIAL LOTS ON 0.48 ACRES IN THE R-1 ZONING DISTRICT LOCATED ON THE WEST SIDE OF RANDAL ST, NORTH OF MIDWAY AVE	
NO OF ACRES	0.48	
BCC DISTRICT	5: HERR	
CURRENT ZONING	R-1	
LOCATION	ON THE WEST SIDE OF RANDALL ST, NORTH OF MIDWAY AVE	
FUTURE LAND USE-	LDR	
SEWER UTILITY	MIDWAY CANAAN UTILITIES	
WATER UTILITY	MIDWAY CANAAN UTILITIES	
APPLICANT:	CONSULTANT:	
ALISA ADAMS HABITAT FOR HUMANITY SEMINOLE CASSELBERRY FL 32718 (407) 696-5855 CONSTRUCTION@HABITAT-SA.ORG	N/A	

County staff members have reviewed the subject development project and offer the following comments. The comments below are a compilation of comments and markups from the ePlan review system. These items need responses with further information, data, explanation or revision of plans and documents before project approval.

Please itemize any and all revisions made to the development plan in addition to those made in response to staff comments; include a statement in your response to comments that no additional revisions have been made to the site plan beyond those stated.

For questions regarding the ePlan process, please consult the Electronic Plan Review Applicant User Guide <http://www.seminolecountyfl.gov/core/fileparse.php/3321/urlt/ePlanApplicantUserGuide.pdf>

See comments within the comment document for any fees due, as fees may be due for different aspects of your development project. Fees showing in ePlan reflect Planning & Development review or revision fees only.

State Permits that may be required:

FDOT, FDEP- UTILITIES, SJRWMD, ENVIRONMENTAL REPORTS, ARCHEOLOGICAL REPORTS, FDEP- ENVIRONMENTAL, SJRWMD- ENVIRONMENTAL, FFW, IF APPLICABLE.

AGENCY/DEPARTMENT COMMENTS

No.	REVIEWED BY	TYPE	STATUS
1.	Environmental Services	The proposed lots are not within Seminole Countys potable water service area. Please coordinate with Midway Canaan Utilities to service them.	Info Only
2.	Environmental Services	The proposed lots are not within Seminole Countys sanitary sewer service area, they are within Midway Canaan Utilities' (MCU) sewer service area. However, it is my understanding that MCU does not have any sewer lines in the area, so the only option is for the proposed lots to be serviced by onsite sewage treatment and disposal systems aka septic systems. The currently proposed 3 lots do not meet the minimum lot size requirements for septic system use per Florida Statutes. See the file "Randall St - Preliminary Subdivision Plan (32-19-31-513-0000-0510)" in the Resources folder on eplan for your options to move forward with septic system use on the proposed lots.	Unresolved
3.	Environmental Services	The proposed lots are not within Seminole Countys reclaim water service area. Please coordinate with Midway Canaan Utilities to service irrigation. This may be in the form of using the proposed lots' potable water systems or by using an alternative irrigation source such as a non-potable irrigation well.	Info Only
4.	Natural Resources	Tree removal associated with this plan has been previously permitted through the building permit review process.	Info Only
5.	Planning and Development	On the Preliminary Subdivision Plan under the site data, please provide the existing zoning and future land use.	Unresolved
6.	Planning and Development	On the PSP under the site data, please provide the minimum lot size and minimum lot width for the R-1 zoning district and state that the Applicant will be developing under the "Alternative Density Option under Sec. 30.9.7".	Unresolved
7.	Planning and Development	The Applicant may proceed with the Preliminary Subdivision Plan; however, the proposed lot size does not meet the minimum lot size requirements for septic system use per the Seminole County Health Department to discuss the possibility of a variance from the lot size requirements.	Info Only
8.	Planning and Development	Staff recommends that the Applicant get pre-approval from the Seminole County Health Department regarding the proposed lots that do not meet the minimum lot size requirements of 0.25 acres based on the Florida State Statute 381.0065(4)(b).	Info Only
9.	Planning and Development	Please refer to Environmental Services Comment #2, on the options for the proposed lots since they do not meet the	Info Only

		minimum lot size requirements for septic systems based on the Florida State Statute.	
10.	Planning and Development	On the PSP under the site data, please provide the parcel number and total acres of the site.	Unresolved
11.	Planning and Development	The net buildable definition is: The total number of acres within the perimeter boundaries of a development, excluding areas devoted to rights-of-way widths, transmission and power line easements, lakes and areas defined as wetlands and floodprone areas. On the PSP under the site data, please provide the total net buildable area calculation.	Unresolved
12.	Planning and Development	On the PSP under the site data, please provide the maximum building height and the number of stories.	Unresolved
13.	Planning and Development	Please provide a separate Preliminary Subdivision Plan from the Grading and Drainage Plan.	Unresolved
14.	Planning and Development	INFORMATIONAL: Seminole County Land Development Code for Subdivision Plan review can be found in SCLDC Chapter 35. PSP provides the general layout of the lots along with preliminary infrastructure and environmental considerations. Time limit on approval. A final subdivision plat or plats shall be submitted within two (2) years after preliminary plan approval, or the preliminary plan approval shall lapse. An extension to the two-year limit may be considered by the planning and zoning commission, upon written request by the applicant prior to the expiration date, showing cause for such an extension.	Unresolved
15.	Planning and Development	INFORMATIONAL: Please must submit a revision of the PSP based upon staff comments of reviewers.	Info Only
16.	Planning and Development	Legal description: Provide on the PSP a full and detailed legal description of the tract to be platted and its approximate acreage. (SCLDC Sec. 35.43)	Unresolved
17.	Planning and Development	Vicinity map: Provide a vicinity map showing relationship between area proposed for development and surrounding streets and public facilities, shall be at a scale of not less than one (1) inch equals two thousand (2,000) feet. (SCLDC Sec. 35.43)	Unresolved
18.	Planning and Development	Topography: Show contour intervals of one (1) foot, except where determined to be unreasonable by the County Engineer. (SCLDC Sec. 35.43)	Unresolved
19.	Planning and Development	SCLDC 35.64 (1) Septic Tank or Individual Wells. Lots proposed with individual wells and/or septic tanks disposal fields shall conform to the standards of Seminole County, the Florida Department of Health and Rehabilitative Services and the Florida Department of Environmental Protection, whichever is the more restrictive. The project	Unresolved

		proposes a septic system. The design must be shown on the site plan and approved and permitted through the Health Department. 407 665-3619 check number Health Department review fees: \$35.00 due for Health Department review: small site plan, lot split, development plan. \$150.00 due for Health Department review: site plan, PSP, final engineering, subdivision plat, minor plat. \$35.00 due after 4th review. Submit review fees are payable to Seminole County and submitted to Planning & Development.	
20.	Planning and Development	<p>The property is served by well and/or septic. Please contact the FL Department of Health for Septic Requirements and/or permitting. A new system permit will need to be approved by the Seminole County Health Department. Contact: Raymond Roe 407-665-3619 raymond.roe@flhealth.gov. Health Department: http://seminolecohealth.com/EVH/ostds.asp</p> <p>The proposed lot size does not meet the minimum lot size requirements for septic system use per Florida Statutes; Staff recommends the Applicant contact the Seminole County Health Department to discuss the possibility of a variance from the lot size requirements.</p>	Unresolved
21.	Planning and Development	A minimum five (5) foot side yard easement shall be provided alongside property lines on all lots. No AC pads, pool equipment, or other encumbrances allowed within the easement.	Unresolved
22.	Planning and Development	On the PSP under the site data, please provide the phasing of the houses and mix of dwelling units.	Unresolved
23.	Planning and Development	The Applicant will be required to fill out the draft affordability agreement guaranteeing limitations on the sale or rental prices to be charged for the housing. The template can be found in the resources folder.	Unresolved
24.	Planning and Development	The preliminary subdivision plan and documents required shall be reviewed and approved as provided in this Code. The additional documents required herein shall be reviewed by the Development Review Committee and by the County Attorney.	Info Only
25.	Planning and Development	Affordability agreement. Upon approval of an ADO, the applicant shall execute an affordability agreement in a form acceptable to the County. Such agreement shall include, but is not limited to, the following: (a) Assurance that the mix of affordable housing units will be implemented as required in this Code and that the initial sales prices or rental amounts will be set within a range which is consistent with the definitions of affordable housing; (b) Provision that there will be no modification of any portion of the approval without review of all portions to ensure that the purposes of this Part are complied with.	Info Only

26.	Planning and Development	The overall density of development permitted in an ADO project shall be the same as established for the zoning district in which it is located, provided that the density may be increased as follows if low income housing is provided: Percentage of Low Income Housing Units Maximum Dwelling Units (DUS) Per Buildable Acre 10 to 15 percent 5 DUS/acre 15 to 20 percent 6 DUS/acre 20 to 30 percent 7 DUS/acre	Info Only
27.	Planning and Development	Parking. Each dwelling unit shall be provided with not less than two (2) off-street parking spaces. In addition, one (1) or more separate areas may be set aside in each development for supplemental parking of motor vehicles. Such area(s) shall provide for adequate space for vehicles which might otherwise park on streets, but shall not exceed four (4) spaces for each ten (10) dwelling units. Such common parking areas shall be located within four hundred (400) feet of the units they serve. On the PSP under the site data, please provide the minimum number of parking spaces per dwelling unit.	Unresolved
28.	Planning and Development	Based on the design unit type design standards for the Alternate Density Standards, the proposed single family lots have a maximum lot coverage of thirty (30) percent maximum lot coverage. Please provide the maximum lot coverage information under the site data on the PSP.	Unresolved
29.	Planning and Development	Based on Environmental Services comments about subdividing the lot based on the septic tank standards, the Applicant is being advised to subdivide into two (2) lots based on the acreage requirements for a septic tank. If the parcel is subdivided into two lots, the newly created lots would meet the R-1 (Single Family Dwelling) zoning district minimum lot size and lot width standards and the ADO (Alternative Density Option) would not be required.	Unresolved
30.	Public Safety - Addressing	Additional Addressing comments have been provided within the Final Plat submittal 24-55300004. The comments reference Addressing Fees, Subdivision Name Approval process, posting of address numbers/street address requirements, and a time frame of when new addresses will be issued.	Info Only
31.	Public Safety - Addressing	The adjacent lots from the Map of Miday are depicted in their original form and not as they currently exist. Please ensure that in future submittals the adjacent lots are shown in their current state, not as they were originally platted.	Info Only
32.	Public Safety - Addressing	The subdivision/complex name HABITAT FOR HUMANITY SUBDIVISION has been approved for use. The approved name shall be the only conspicuous name posted or advertised on signage and shall also be the title on the proposed plat (if applicable). Following approval of the site or final engineering plan, the applicant shall have one (1)	Info Only

		year to commence construction. If no site construction has commenced within (1) one year, the project is considered expired and any approved development name, including street names, that have been reserved, will be removed from the reserve list and considered void. (90.10(b)(c)(e)), (177.051)	
33.	Public Safety - Fire Marshal	Fire department access road shall have an unobstructed width of not less than 20 ft in accordance with the specifications of NFPA 1, Section 18.2.3.5.1.1	Info Only
34.	Public Works - Engineering	No specific issues with the drainage. Please note that the septic location should be shown and the grading adjusted for a raised drain field.	Info Only
35.	Public Works - Engineering	The ROW for Randall Street is only 40'. The Public Works Engineering Manual requires minimum 46'. At this location staff is ok with the reduced existing ROW, however it will require Board approval to allow the reduced ROW at the final plat.	Info Only

AGENCY/DEPARTMENT MARK UP COMMENTS

Comments within this section of the comdoc are from mark-ups on the individual plan sheets or documents in the ePlan system that correspond with the file identified in column "File Name".

36.	Planning and Development	Changemark Title Block Please revise the title block to state "Preliminary Subdivision Plan" and Randall Street Affordable Housing.	001 C-1 Drainage and Grading Plan.pdf	Unresolved
37.	Planning and Development	Changemark Title Block Please state the owner of the tract proposed for development.	001 C-1 Drainage and Grading Plan.pdf	Unresolved

AGENCY/DEPARTMENT EFORM COMMENTS AND PROJECT STATUS

This section shows the reviewers of this project from the various County agencies. It may also include additional comments for review and response.

DEPARTMENT	STATUS	REVIEWER
Public Works - Impact Analysis	No Review Required	William Wharton – 407-665-5730 wwharton@seminolecountyfl.gov
Environmental Services	Corrections Required	James Van Alstine 407-665-2014 jvanalstine@seminolecountyfl.gov
Natural Resources	Approved	Sarah Harttung 407-665-7391 sharttung@seminolecountyfl.gov
Public Works - Engineering	Review Complete Recommend Approval	Jim Potter 407-665-5764 jpotter@seminolecountyfl.gov
Planning and Development	Corrections Required	Annie Sillaway 407-665-7936 asillaway@seminolecountyfl.gov
Buffers and CPTED	Approved	Maya Athanas 407-665-7388 mathanas@seminolecountyfl.gov
Public Safety - Fire Marshal	Approved	Matthew Maywald 407-665-5177 mmaywald@seminolecountyfl.gov
Public Safety - Addressing	Approved	Tiffany Owens 407-665-5045 Towens04@seminolecountyfl.gov
Building Division	No Review Required	Tony Coleman 407-665-7581 tc Coleman@seminolecountyfl.gov

The next submittal, as required below, will be your:

☒ 1st RESUBMITTAL

DATE	RESUBMITTAL FEE DUE	ROUTE TO THESE STAFF MEMBERS FOR FURTHER REVIEW:
5/9/2023	The application fee allows for the initial submittal plus two resubmittals. <i>Note: No resubmittal fee for small site plan</i>	Annie, James
<p>The initial application fee allows for the initial submittal review plus two resubmittal reviews. For the fourth review and each subsequent review, the resubmittal fees are as follows:</p> <p>Major Review (3+ reviewers remaining) – 50% of original application fee</p> <p>Minor Review (1-2 reviewers remaining) – 25% of original application fee</p> <p>Summary of Fees: http://www.seminolecountyfl.gov/departments-services/development-services/planning-development/fee-information/fee-summary.shtml</p> <p>NOTE: Other fees may be due. See comments for any additional fees due for your development project. (example: Addressing fee)</p>		

Upon completion of your plan review process, Planning and Development staff must authorize and stamp plans for construction use. Once you receive an approval letter from Seminole County, the site contractor must contact Seminole County Planning and Development Inspections to schedule a pre-construction conference prior to the start of any site work. Upon issuance of the site permit, your approved drawings and/or documents will be released to you through the ePlan System. For

questions regarding this process, please consult the Electronic Plan Review Applicant User Guide
<http://www.seminolecountyfl.gov/core/fileparse.php/3321/urlt/ePlanApplicantUserGuide.pdf>

Cities:

Altamonte Springs	(407) 571-8000	www.altamonte.org
Casselberry	(407) 262-7700	www.casselberry.org
Lake Mary	(407) 585-1449	www.lakemaryfl.com
Longwood	(407) 260-3440	www.longwoodfl.org
Oviedo	(407) 971-5555	www.cityofoviedo.net
Sanford	(407) 688-5000	www.sanfordfl.gov
Winter Springs	(407) 327-1800	www.winterspringsfl.org

Other Agencies:

Florida Dept of Transportation	FDOT	www.dot.state.fl.us
Florida Dept of Enviro Protection	FDEP	(407) 897-4100 www.dep.state.fl.us
St. Johns River Water Mgmt Dist	SJRWMD	(407) 659-4800 www.sjrwmd.com
Health Department	Septic	(407) 665-3621

Other Resources:

Flood Prone Areas	www.seminolecountyfl.gov/gm/building/flood/index.aspx
Watershed Atlas	www.seminole.wateratlas.usf.edu
Seminole Co. Property Appraiser	www.scpafl.org



SEMINOLE COUNTY, FLORIDA

Agenda Memorandum

COUNTY SERVICES
BUILDING
1101 EAST FIRST STREET
SANFORD, FLORIDA
32771-1468

File Number: 2024-0650

Title:

MECCA HAMMOCK - PRE-APPLICATION

Project Number: 24-80000046

Project Description: Proposed Special Exception to install a 160 foot monopole tower and communications facility on 29.98 acres in the A-1 Zoning District located on the east side of S Sanford Ave, south of Myrtle St

Project Manager: Kathy Hammel (407) 665-7389 (khammel@seminolecountyfl.gov)

Parcel ID: 23-20-30-5AQ-0000-131A

BCC District: 2-Zembower

Applicant: Mike Burkhead (407) 617-0167

Consultant: N/A



SEMINOLE COUNTY
PLANNING & DEVELOPMENT DIVISION
1101 EAST FIRST STREET, ROOM 2028
SANFORD, FLORIDA 32771
TELEPHONE: (407) 665-7371
PLANDESK@SEMINOLECOUNTYFL.GOV

PROJ. #: 24-80000046
PM: Kathy
REC'D: 3/19/24
Paid: 4/26/24

PRE-APPLICATION

INCOMPLETE APPLICATIONS WILL NOT BE ACCEPTED

APPLICATION FEE

☒ **PRE-APPLICATION** \$50.00*
(*DEDUCTED FROM APPLICATION FEE FOR REZONE, LAND USE AMENDMENT, SUBDIVISION, SITE PLAN, OR SPECIAL EXCEPTION)

PROJECT

PROJECT NAME: FL133 Mecca Hammock
PARCEL ID #(S): 23-20-30-5AQ-0000-131A
TOTAL ACREAGE: Parcel-28.01/Project-0.23 BCC DISTRICT: 2
ZONING: A-1 FUTURE LAND USE: SE

APPLICANT

NAME: Mike Burkhead COMPANY: Gulfstream Towers, LLC
ADDRESS: 127 W Fairbanks Avenue, #469
CITY: Winter Park STATE: FL ZIP: 32789
PHONE: 407-617-0167 EMAIL: mike@gulfstreamtowers.com

CONSULTANT

NAME: COMPANY:
ADDRESS:
CITY: STATE: ZIP:
PHONE: EMAIL:

PROPOSED DEVELOPMENT

Brief description of proposed development: Install a 160' monopole tower and communications facility
☐ SUBDIVISION ☐ LAND USE AMENDMENT ☐ REZONE ☐ SITE PLAN ☒ SPECIAL EXCEPTION

STAFF USE ONLY

COMMENTS DUE: 5/3	COM DOC DUE: 5/9	DRC MEETING: 5/15
<input type="checkbox"/> PROPERTY APPRAISER SHEET <input type="checkbox"/> PRIOR REVIEWS:		
ZONING: A-1	FLU: SE	LOCATION: on the east side of S Sanford Ave, south of Myrtle St
W/S: Seminole County	BCC: 2: Zembower	



FL133 MECCA
HAMMOCK

TORTUGA TRAIL
(TOWER ADDRESS TO BE ASSIGNED)
SANFORD, FLORIDA 32773
(SEMINOLE COUNTY)

PROPOSED 160' MONOPOLE TOWER AND COMMUNICATION FACILITY

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TEMPLE TERRACE, FL 33637
(813) 615-1422

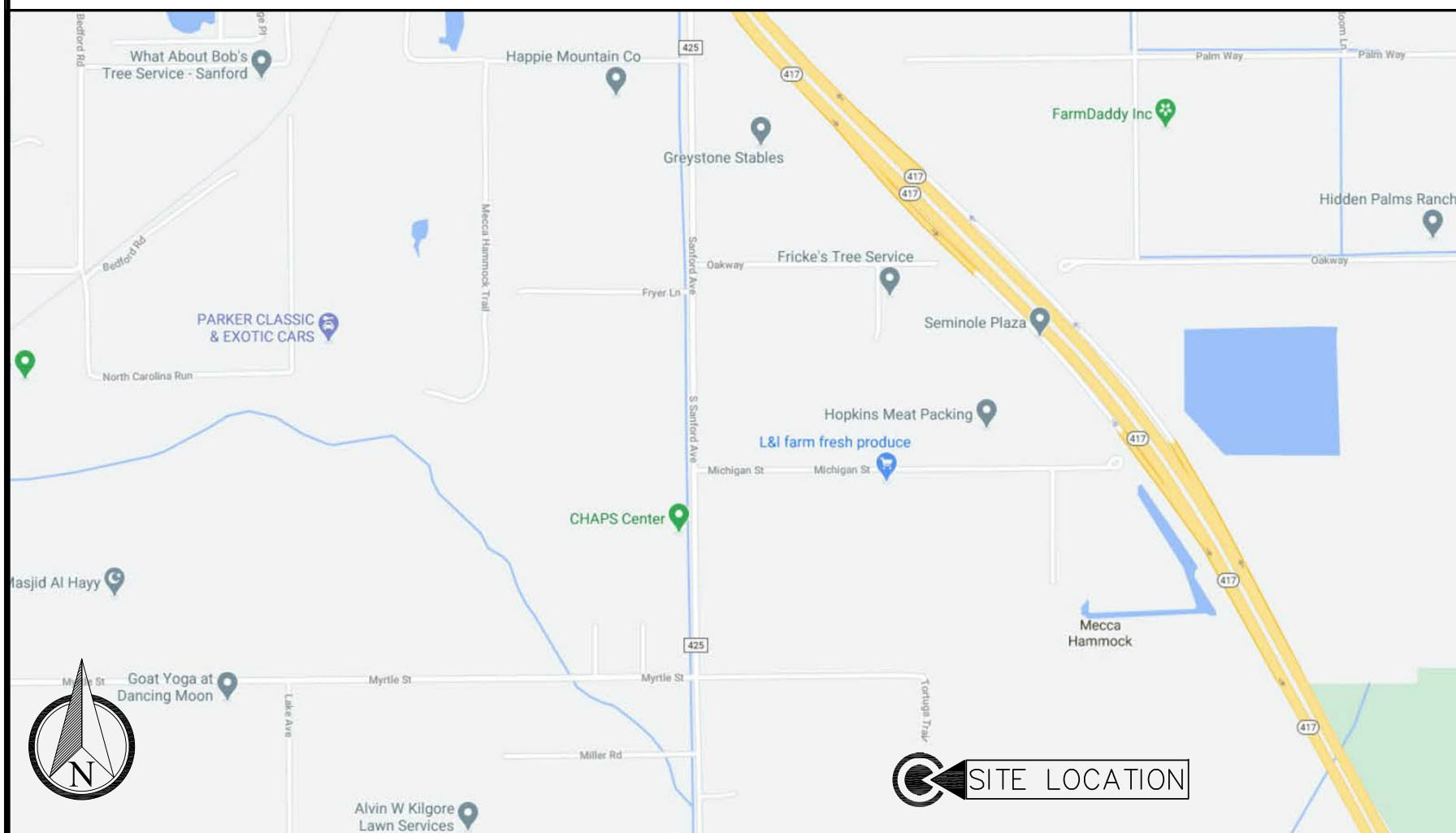
CERTIFICATE OF AUTHORIZATION 33693



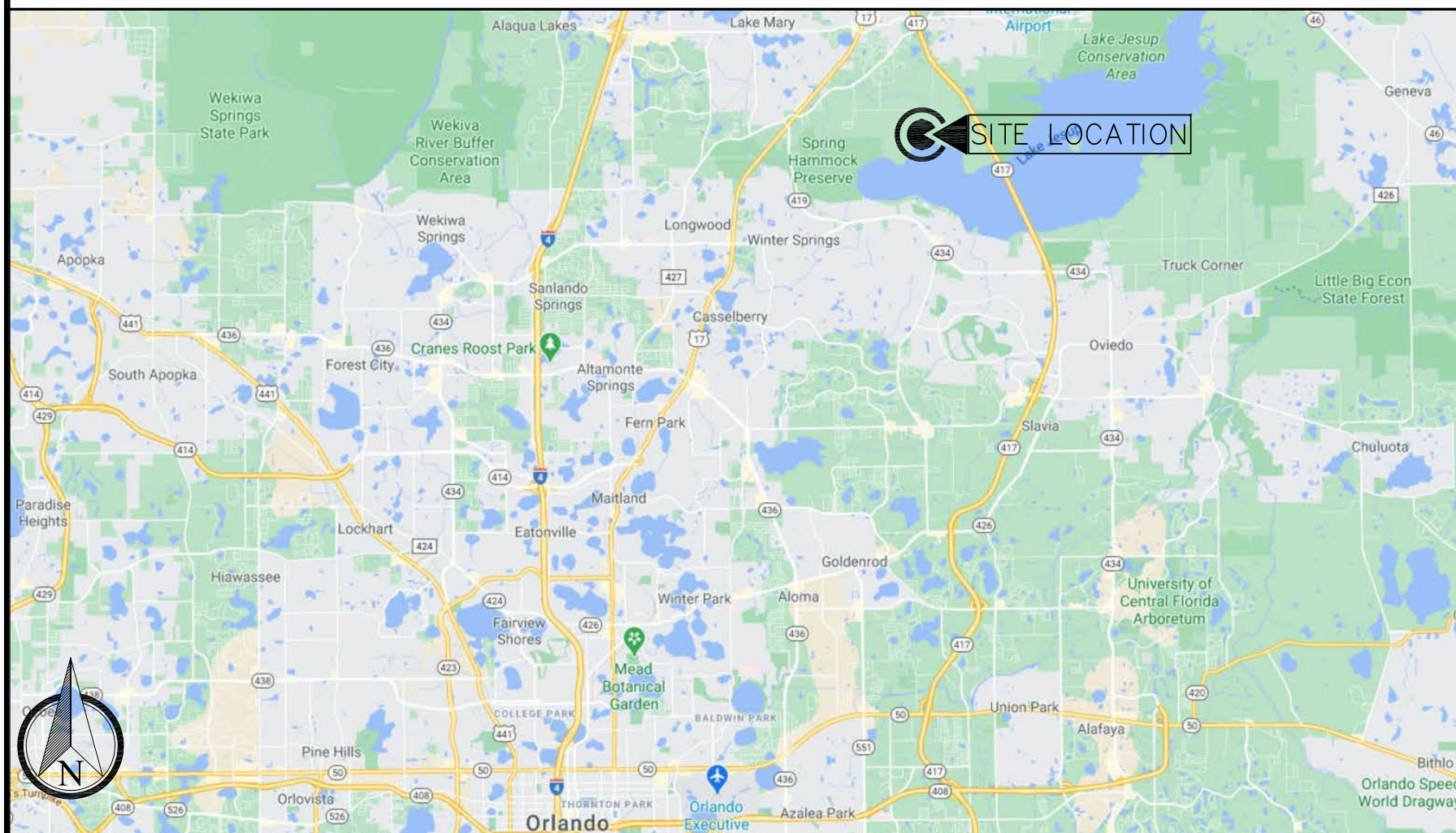
127 W.FAIRBANKS AVE, STE 469
WINTER PARK, FLORIDA 32789

[illegible]

LOCAL MAP



VICINITY MAP



DRIVING DIRECTIONS

FROM ORANGE COUNTY, HEAD NORTH ON SR417 TO SEMINOLE COUNTY. TAKE EXIT 49 TO LAKE MARY BLVD. TURN RIGHT ON TO N RONALD REGAN BLVD. TURN RIGHT ON TO EAST LAKE MARY BLVD. TURN RIGHT ON TO SANFORD AVE. TURN LEFT ON MYRTLE AVE. TRAVEL TO THE END OF THE ROAD, AND TORTUGA TRAIL BEGINS ON THE RIGHT. OPEN GATE, AND KEEP SOUTH. TOWER WILL BE IN FRONT OF YOU.

PROJECT SUMMARY

GULFSTREAM TOWERS, LLC IS PROPOSING TO CONSTRUCT A UNMANNED TELECOMMUNICATIONS FACILITY CONSISTING OF THE INSTALLATION OF A 160' MONOPOLE TOWER AND COMMUNICATIONS FACILITY WITHIN A 70'x70' FENCED COMPOUND. FUTURE WIRELESS BASE STATION EQUIPMENT WILL BE INSTALLED UNDER SEPARATE PERMIT TO PROVIDE RADIO TRANSMISSION SERVICES FOR PERSONAL COMMUNICATIONS AS WELL AS EMERGENCY 911 SERVICE.

PROJECT DATA

PARCEL ID #:	23-20-30-5AQ-0000-131A
LATITUDE:	28° 43' 55.686 N (NAD83)
LONGITUDE:	81° 15' 35.119 W (NAD83)
GROUND ELEVATION:	4.8' (NAVD88)
JURISDICTION:	SEMINOLE COUNTY
ZONING:	A-1
FUTURE LAND USE:	SE
PROPERTY ADDRESS:	5340 TORTUGA TRAIL SANFORD, FLORIDA 32773

POWER:	FPL
TELEPHONE:	EMBARQ

DESIGN CRITERIA

DESIGN WIND SPEED:	143 MPH (PER FBC) & TIA/EIA 222-H
EXPOSURE CATEGORY:	C
RISK CATEGORY:	II
FLOODPLAIN DESIGNATION:	COMMUNITY PANEL NO. 12117 C 0160
F OF THE FLOOD INSURANCE RATE MAPS FOR SEMINOLE CO,	
FLORIDA, DATED 09/28/07 THE SUBJECT PROPERTY IS IN FIRM	
ZONE "AE", WITH A BASE FLOOD ELEVATION OF 8 FEET (NAVD	
88 DATUM)	

CONTACTS

APPLICANT:
GULFSTREAM TOWNS
127 W. FAIRBANKS AVE, #469
WINTER PARK, FL 32789
CONTACT: MIKE BURKHEAD (407) 617-0167

PROPERTY OWNER CONTACT:
LANDLORD: JENNIFER ALEXANDRIA ARTOPEOUS
ADDRESS: 317 FOREST TRAIL
CITY, STATE, ZIP: OVIEDO, FLORIDA 32765

SMW ENGINEERING GROUP INC. PROJECT MANAGER:
JEREMY D. SHARIT, PE (205) 453-1892

APPLICABLE CODES

THE CONTRACTOR'S WORK SHALL COMPLY WITH ALL APPLICABLE NATIONAL, STATE, AND LOCAL CODES AS ADOPTED BY THE LOCAL AUTHORITY HAVING JURISDICTION (AHJ) OVER THE LOCATION. THE EDITION OF THE AHJ ADOPTED CODES AND STANDARDS IN EFFECT ON THE DATE OF CONTRACT AWARD SHALL GOVERN THE DESIGN.

BUILDING CODE: FLORIDA BUILDING CODE 7TH EDITION (2020) & TIA/EIA 222-H.

NATIONAL ELECTRICAL CODE: 2017 EDITION.

ELECTRICAL CODE: NATIONAL FIRE PROTECTION ASSOCIATION (NFPA) 70

MECHANICAL CODE: MECHANICAL CODE, 6TH EDITION.

FIRE CODE: FLORIDA FIRE PREVENTION CODE, 7TH EDITION.

LIFE SAFETY CODE: NFPA-101-2015

THE CONTRACTOR'S WORK SHALL COMPLY WITH THE LATEST EDITION OF THE FOLLOWING STANDARDS; AMERICAN CONCRETE INSTITUTE (ACI) 318-11 BUILDING CODE REQUIREMENTS FOR STRUCTURAL CONCRETE; AMERICAN INSTITUTE OF STEEL CONSTRUCTION (AISC), 14th EDITION; TELECOMMUNICATIONS INDUSTRY ASSOCIATION (TIA) 222-G, STRUCTURAL STANDARDS FOR STEEL ANTENNA TOWER AND ANTENNA SUPPORTING STRUCTURES; TIA-607-B, COMMERCIAL BUILDING GROUNDING AND BONDING REQUIREMENTS FOR TELECOMMUNICATIONS.

INSTITUTE FOR ELECTRICAL AND ELECTRONICS ENGINEERS (IEEE) 81, GUIDE FOR MEASURING EARTH RESISTIVITY, GROUND IMPEDANCE, AND EARTH SURFACE POTENTIALS OF A GROUND SYSTEM: IEEE 1100 (2005) RECOMMENDED PRACTICE FOR POWERING AND GROUNDING OF ELECTRONIC EQUIPMENT.

IEEE C62.41, GUIDE ON THE SURGE ENVIRONMENT IN LOW-VOLTAGE AC POWER CIRCUITS (FOR LOCATION CATEGORY "C3" AND "HIGH SYSTEM EXPOSURE").

TELCORDIA GR-1275, GENERAL INSTALLATION REQUIREMENTS: TELCORDIA GR-1503, COAXIAL CABLE CONNECTIONS: ANSI T1.311, FOR TELECOM – DC POWER SYSTEMS – TELECOM, ENVIRONMENTAL PROTECTION.

JEREMY D. SHARIT P.E. FL LICENSE 75137

FL133 MECCA
HAMMOCK

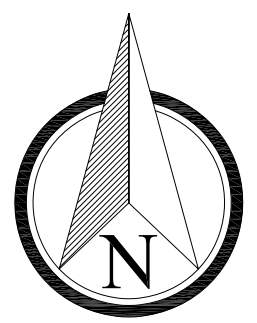
TORTUGA TRAIL
(ADDRESS TO BE ASSIGNED)
SANFORD, FLORIDA 32773
(SEMINOLE COUNTY)

SHEET NAME

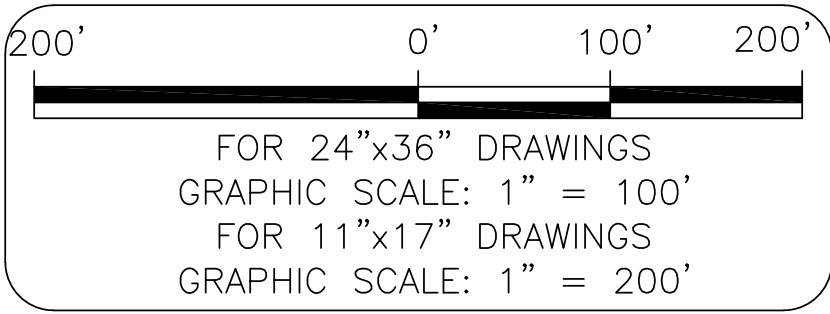
TITLE SHEET

SHEET NUMBER

T-1



NOTE:
IMPACTED WETLANDS WILL BE MITIGATED
IN ACCORDANCE WITH REQUIREMENTS TO
BE PROVIDED/APPROVED BY ALL
APPLICABLE PERMITTING AGENCIES



TOWER SETBACKS/
SEPARATION NOTES

TOWER SETBACKS / SEPARATION NOTES

1. TOWER SEPARATION DISTANCE FROM OFF SITE USES, SEC. 30-1364 (B)(1), FOR A MONOPOLE 160' FEET IN HEIGHT:
A. PROPERTY ASSIGNED A SINGLE-FAMILY (INCLUDES MODULAR HOMES AND MOBILE HOMES USED FOR LIVING PURPOSES), DUPLEX, OR MULTI-FAMILY RESIDENTIAL ZONING CLASSIFICATION OR FUTURE LAND USE DESIGNATION OR WITH AN EXISTING RESIDENTIAL USE SHALL BE SET BACK 200 FEET OR 300% OF THE HEIGHT OF THE TOWER, WHICHEVER IS GREATER. SETBACK PROVIDED: 480 FEET (300%x160=480)
B. PROPERTY ASSIGNED A NON-RESIDENTIAL ZONING CLASSIFICATION OR FUTURE LAND USE DESIGNATION OR PROPERTY WITH AN EXISTING NON-RESIDENTIAL USE: NONE. ONLY DISTRICT SETBACKS APPLY
REQUIREMENT MET
2. TOWER SHALL MEET THE REQUIREMENTS OF SEC. 30.1364
3. FOR DETERMINING SETBACK REQUIREMENTS, TOWER HEIGHT SHOWN IN THIS PLAN SET INCLUDES ANTENNAS, BASE PAD AND ANY AND ALL OTHER APPURTENANCES, AND SHALL BE MEASURED FROM THE FINISHED GRADE OF THE PARCEL ON WHICH THE COMMUNICATION TOWER IS LOCATED.
4. LANDSCAPE REQUIREMENTS SHALL MEET SEMINOLE COUNTY LDC REQUIREMENTS.

REV	DATE	DESCRIPTION
0	01/04/23	PERMIT

PROJECT NO.:	21-5356
DRAWN BY:	R. SCHMIDT
PROJECT MANAGER:	R. SCHMIDT
CHECKED BY:	J. SHARIT

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ENGINEERING GROUP, INC.
TOGETHER PLANNING A BETTER TOMORROW

12979 N. TELECOM PARKWAY
TEMPLE TERRACE, FL 33637
(813) 615-1422

CERTIFICATE OF AUTHORIZATION 33693

TOWERS

127 W.FAIRBANKS AVE, STE 469
WINTER PARK, FLORIDA 32789

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JEREMY D. SHARIT P.E. FL LICENSE 75137

FL133 MECCA HAMMOCK
TORTUGA TRAIL (ADDRESS TO BE ASSIGNED) SANFORD, FLORIDA 32773 (SEMINOLE COUNTY)
SHEET NAME
OVERALL SITE PLAN
SHEET NUMBER
C-1

NOTES:

1. ACCESS TO THE SITE WILL BE UNDEVELOPED.
2. NO GRADING WILL BE DONE IN THE COMPOUND. THE SITE WILL BE KEPT AT EXISTING GRADE.
3. SITE ACCESS DURING TIMES OF FLOODING WILL BE BY FOOT TRAFFIC ONLY. ALL COMPOUND EQUIPMENT WILL BE ELEVATED AND ON PLATFORMS ABOVE THE BASE FLOOD ELEVATION.
4. PER CONVERSATION WITH BRENDA PAZ, WE WILL BE PROVIDING THE 20' WIDTH CLEAR FOR FIRE DEPARTMENT ACCESS, AND VERTICAL CLEARANCE AS REQUIRED IN ACCORDANCE WITH SECTION 18.2.3.4.1.2 NFPA1.
5. PER CONVERSATION WITH BRENDA PAZ, ACCESS ROAD WILL BE COMPACTED TO APPROX. 60 TONS DURING CONSTRUCTION.
6. PER CONVERSATION WITH BRENDA PAZ, REGARDING FUTURE ROAD MAINTENANCE. WE WILL BE RESPONSIBLE AND PROVIDE SAID MAINTENANCE.
7. SEMINOLE COUNTY FIRE PADLOCK WILL BE ADDED TO BOTH GATES.
8. PER CONVERSATION WITH JIM POTTER, SECONDARY IMPACT AREA MUST BE SHOWN ON PLANS PER FDEP/SURWMD.
9. GEOTECH AND TOWER FOUNDATION DESIGN WILL BE PROVIDED DURING PERMIT SUBMITTAL.
10. ALL EQUIPMENT WILL BE ON RAISED PLATFORMS. NO NEED FOR ACCESS DURING TIMES OF FLOODING.

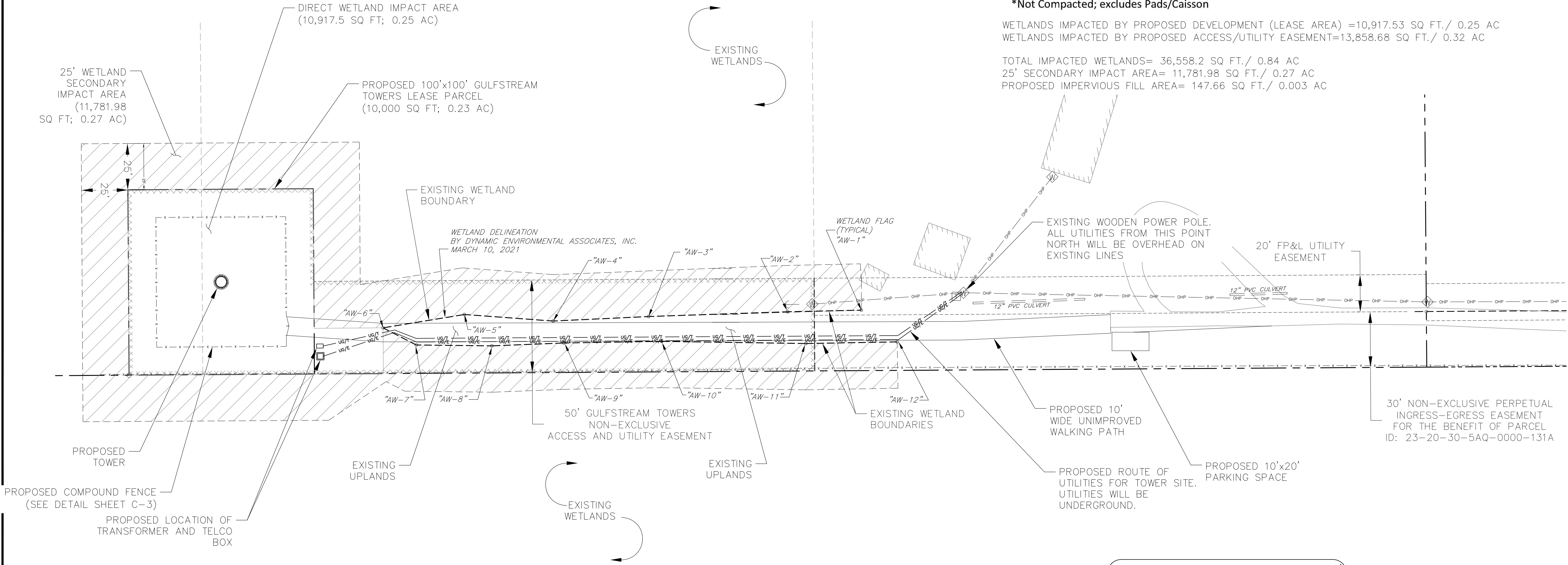
Site Data

Parent Tract	1,220,115.60 SF /	28.010 AC
Development Area	10,000.00 SF /	0.023 AC
Impervious Area		
9' Diameter Caisson	63.62 SF	
(6) 2' & (2) 1' diameter caissons (Carrier #1)	20.42 SF	
(6) 2' & (2) 1' diameter caissons (Carrier #2)	20.42 SF	
(6) 2' & (2) 1' diameter caissons (Carrier #3)	20.42 SF	
(6) 2' & (2) 1' diameter caissons (Carrier #4)	20.42 SF	
(3) 1' diameter posts for Site H-Frame	2.36	
Total (Caisson and Proposed/Future Pads)	147.66 SF	
	(% Development Area)	1.48%
	(% Parent Tract)	0.01%
Pervious Area		
Mulched Development Area* (Proposed)	4,752.34 SF	
Landscaped Area	5,100.00 SF	
Total	9,852.34 SF	
	(% Development Area)	98.52%
	(% Parent Tract)	99.99%

*Not Compacted; excludes Pads/Caisson

WETLANDS IMPACTED BY PROPOSED DEVELOPMENT (LEASE AREA) =10,917.53 SQ FT./ 0.25 AC
WETLANDS IMPACTED BY PROPOSED ACCESS/UTILITY EASEMENT=13,858.68 SQ FT./ 0.32 AC

TOTAL IMPACTED WETLANDS= 36,558.2 SQ FT./ 0.84 AC
25' SECONDARY IMPACT AREA= 11,781.98 SQ FT./ 0.27 AC
PROPOSED IMPERVIOUS FILL AREA= 147.66 SQ FT./ 0.003 AC



LEGEND

85.2	PROPOSED SPOT ELEVATION	-----	EXISTING PARENT TRACT PROPERTY LINE
85.2	EXISTING SPOT ELEVATION	----	EXISTING OVERHEAD POWER LINE
-----	PROPOSED SILT FENCE	---99---	EXISTING CONTOUR
-.-.-.-.-	PROPOSED FENCE	---99---	PROPOSED CONTOUR
-----	PROPOSED LEASE PARCEL	=====	PROPOSED SILT FENCE

REV	DATE	DESCRIPTION
0	01/04/23	PERMIT
PROJECT NO.:		21-5356
DRAWN BY:		R. SCHMIDT
PROJECT MANAGER:		R. SCHMIDT
CHECKED BY:		J. SHARIT

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TEMPLE TERRACE, FL 33637
(813) 615-1422

CERTIFICATE OF AUTHORIZATION 33693

GULFSTREAM
TOWERS

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WINTER PARK, FLORIDA 32789

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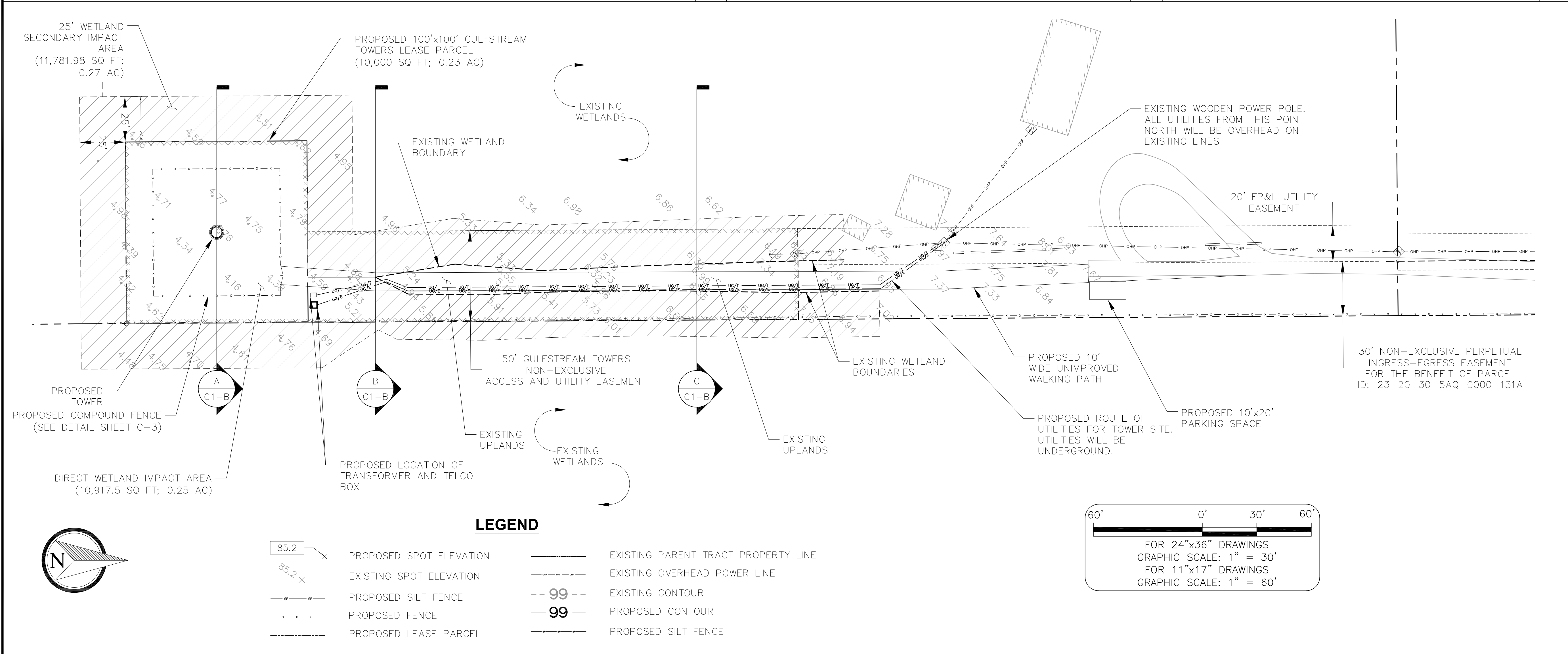
FL133 MECCA
HAMMOCK

TORTUGA TRAIL
(ADDRESS TO BE ASSIGNED)
SANFORD, FLORIDA 32773
(SEMINOLE COUNTY)

SHEET NAME
ENLARGED
SITE PLAN

SHEET NUMBER
C-1A

TOWER AREA CROSS SECTION	A	ACCESS DRIVE CROSS SECTION	B	ACCESS DRIVE CROSS SECTION	C
--------------------------	---	----------------------------	---	----------------------------	---



CROSS SECTION DETAILS	1
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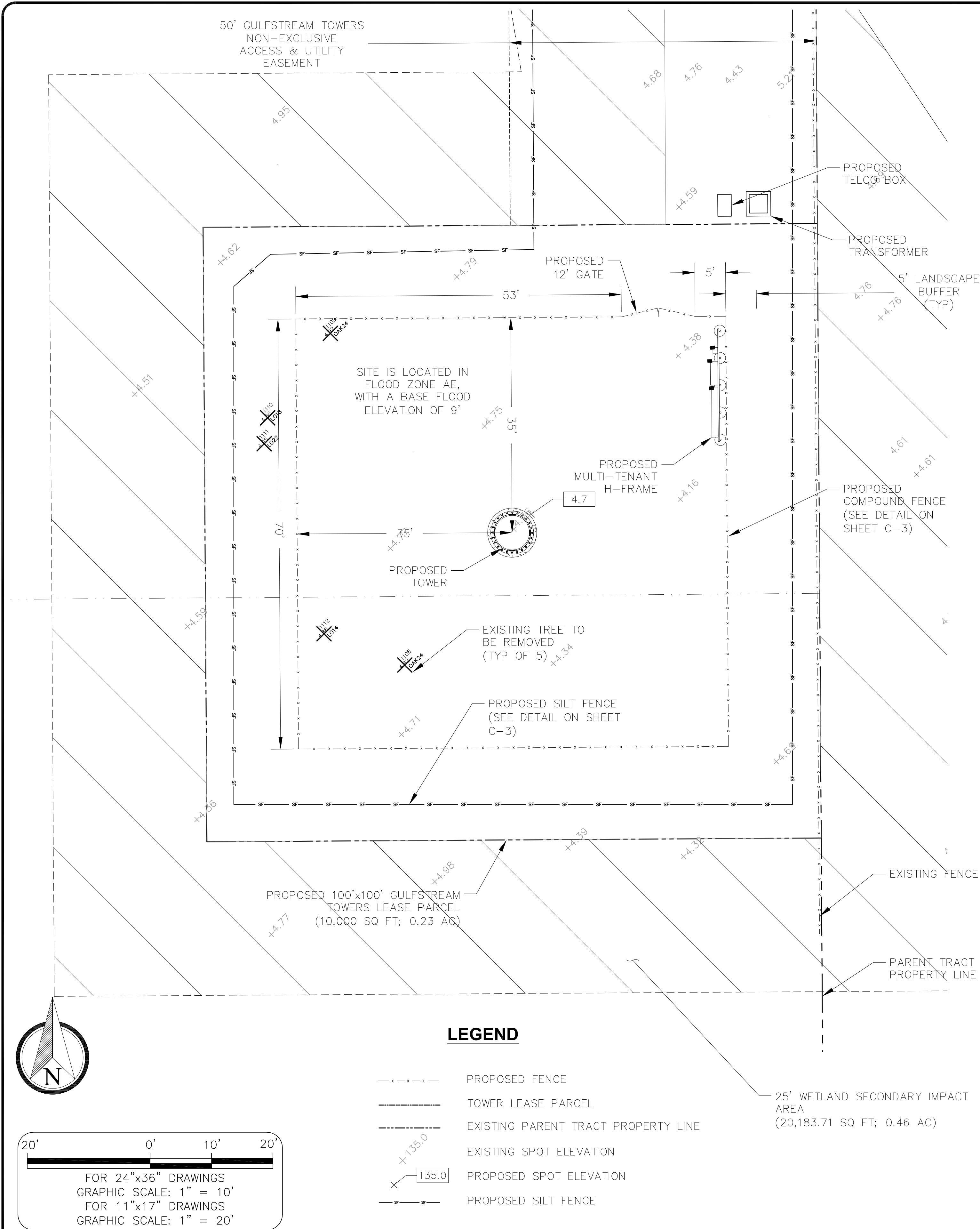
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FL133 MECCA HAMMOCK
TORTUGA TRAIL (ADDRESS TO BE ASSIGNED) SANFORD, FLORIDA 32773 (SEMINOLE COUNTY)
SHEET NAME
CROSS
SECTION DETAILS
SHEET NUMBER
C-1B



COMPOUND LAYOUT

SCALE AS NOTED

1

TOWER ELEVATION

NTS

2

[illegible]

PROJECT NO.:		21-5356
DRAWN BY:		R. SCHMIDT
PROJECT MANAGER:		R. SCHMIDT
CHECKED BY:		J. SHARIT

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FL133 MECCA
HAMMOCK

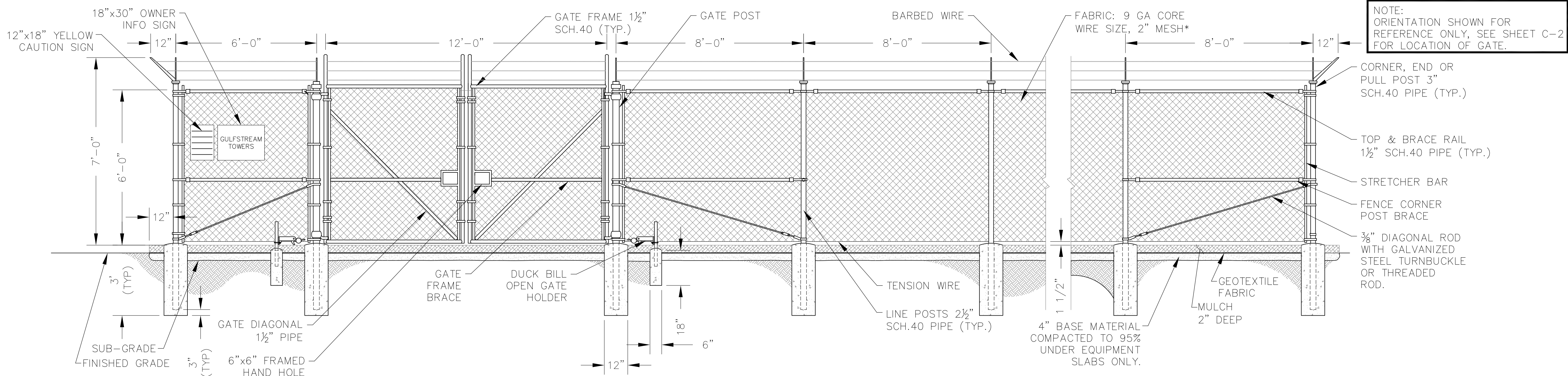
TORTUGA TRAIL
(ADDRESS TO BE ASSIGNED)
SANFORD, FLORIDA 32773
(SEMINOLE COUNTY)

SHEET NAME

COMPOUND LAYOUT
& TOWER ELEVATION

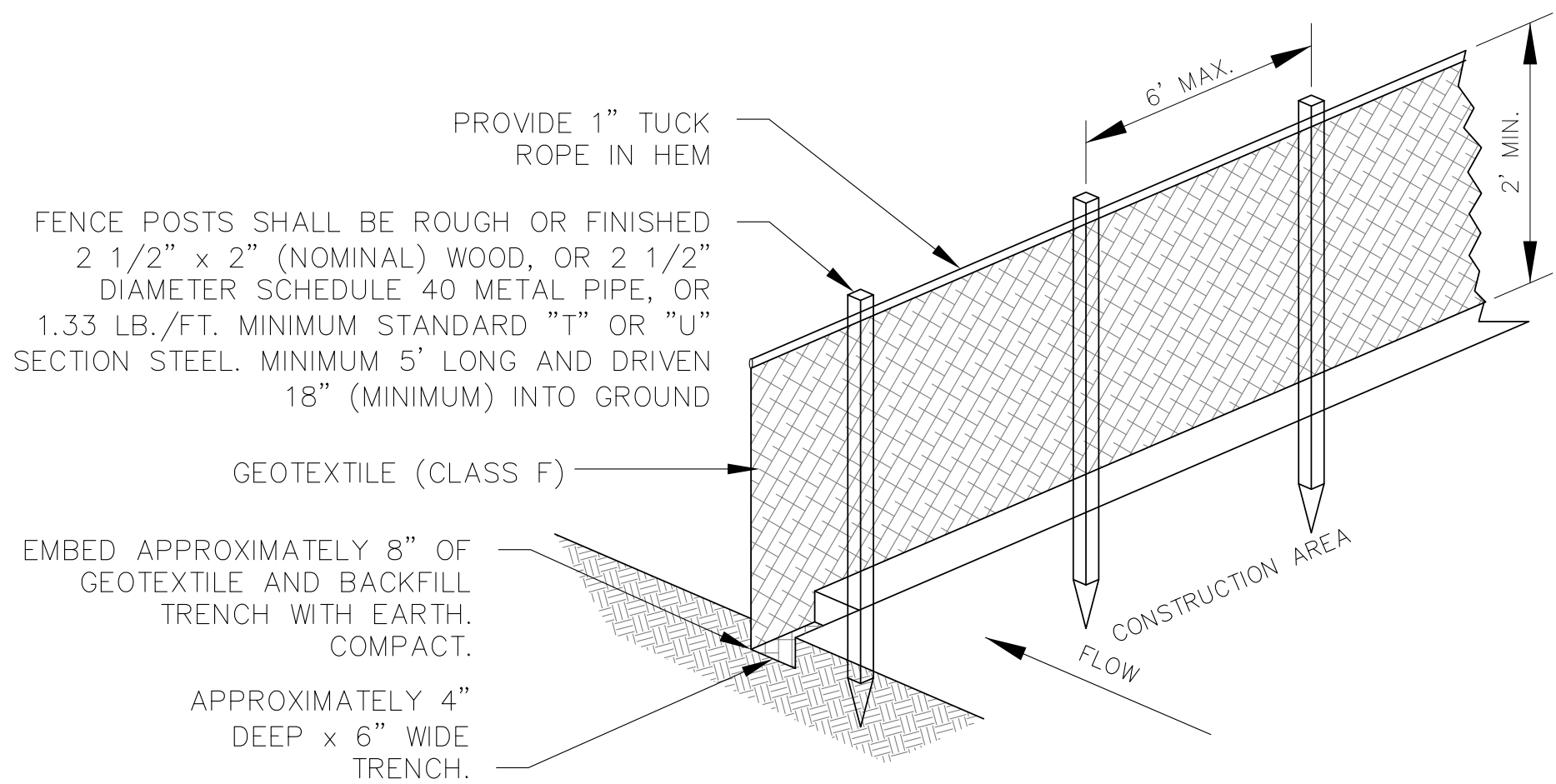
SHEET NUMBER

C-2



FENCE DETAIL

SCALE AS NOTED 1



SILT FENCE NOTES:

1. GEOTEXTILE FABRIC TO BE FASTENED SECURELY TO FENCE POST BY WIRE TIES OR HOG RINGS. (3 FASTENERS PER POST.)
2. ENDS OF INDIVIDUAL ROLLS OF GEOTEXTILE SHALL BE SECURELY FASTENED TO A COMMON POST OR OVERLAPPED 3' MINIMUM.
3. THIS DEVICE IS INTENDED TO CONTROL SHEET FLOW ONLY. DO NOT USE IN AREAS OF CONCENTRATED FLOW WITH A DRAINAGE AREA OF 1/2 ACRE OR MORE.
4. ALL SILT FENCING SHALL BE INSTALLED PRIOR TO COMMENCING ANY LAND DISTURBING ACTIVITIES, AND SHALL REMAIN IN PLACE UNTIL ALL CONSTRUCTION ACTIVITIES ARE COMPLETED.

SILT FENCE DETAIL

NTS

2

FENCE NOTES:

- 1) FINISH POSTS SHALL CONFORM TO ASTM-F1083
- 2) FINISH FABRIC SHALL CONFORM TO ASTM-A392
- 3) INSTALL FENCING PER ASTM F-567
- 4) INSTALL SWING GATES PER ASTM F-900
- 5) POSTS & GATE PIPE SIZES ARE INDUSTRY STANDARDS. ALL PIPES TO BE SI HOT DIP, ASTM A120 GRADE "A" STEEL. ALL GATE FRAMES SHALL BE WELDED. ALL WELDING SHALL BE COATED WITH (3) COATS OF COLD GALV. (OR EQUAL).
- 6) ALL OPEN POSTS SHALL HAVE END-CAPS.
- 7) USE GALVANIZED HOG-RING WIRE TO MOUNT ALL SIGNS.
- 8) ALL SIGNS SHALL BE MOUNTED ON INSIDE OF FENCE FABRIC.
- 9) THE WIRE SHALL BE MINIMUM 11 GA GALVANIZED STEEL AT POSTS AND RAILS.
- 10) TENSION WIRE SHALL BE 9 GA GALVANIZED STEEL.
- 11) FINISH GRADE SHALL BE UNIFORM AND LEVEL.
- 12) CONCRETE FOUNDATIONS SHALL CONSIST OF 2000 PSI CONCRETE.
- 13) TOWER INFORMATION SIGN, MEASURING NO MORE THAN 30" WIDE BY 24" HEIGHT, IDENTIFYING THE FOLLOWING:
 - PRIMARY PARTY RESPONSIBLE FOR THE OPERATION AND MAINTENANCE OF THE FACILITY.
 - THE ADDRESS AND TELEPHONE NUMBER OF THAT PARTY.
 - EMERGENCY CONTACT INFORMATION.

NTS

3

REV	DATE	DESCRIPTION
0	01/04/23	PERMIT

PROJECT NO.:	21-5356
DRAWN BY:	R. SCHMIDT
PROJECT MANAGER:	R. SCHMIDT
CHECKED BY:	J. SHARIT

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TEMPLE TERRACE, FL 33637
(813) 615-1422
CERTIFICATE OF AUTHORIZATION 33693



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WINTER PARK, FLORIDA 32789

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JEREMY D. SHARIT P.E. FL LICENSE 75137

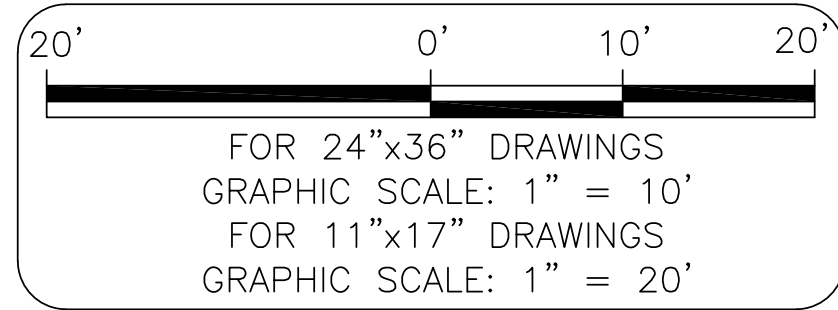
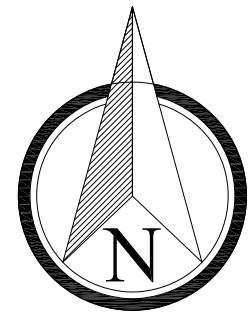
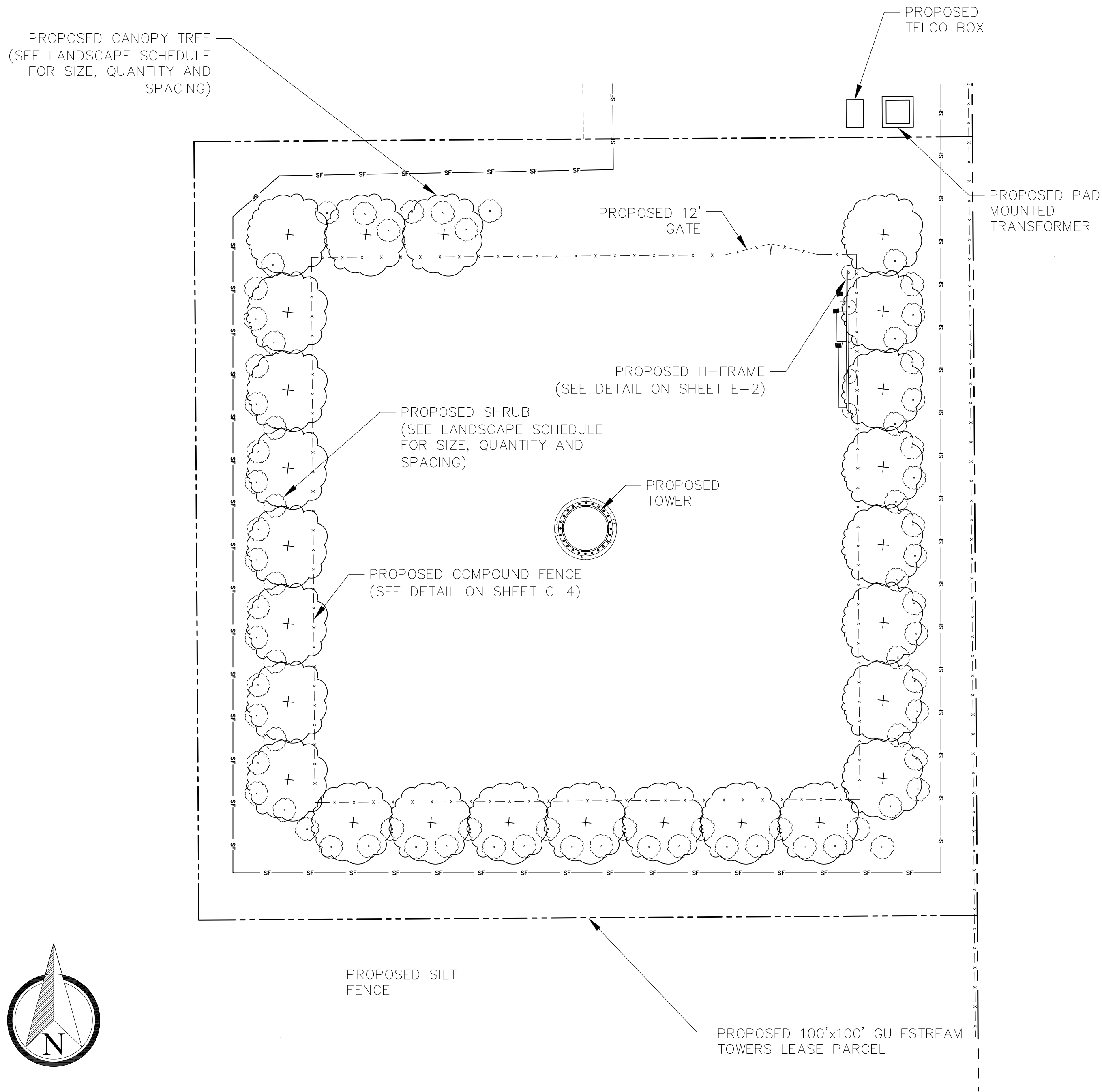
FL133 MECCA HAMMOCK

TORTUGA TRAIL
(ADDRESS TO BE ASSIGNED)
SANFORD, FLORIDA 32773
(SEMINOLE COUNTY)

SHEET NAME
CONSTRUCTION
DETAILS

SHEET NUMBER
C-3

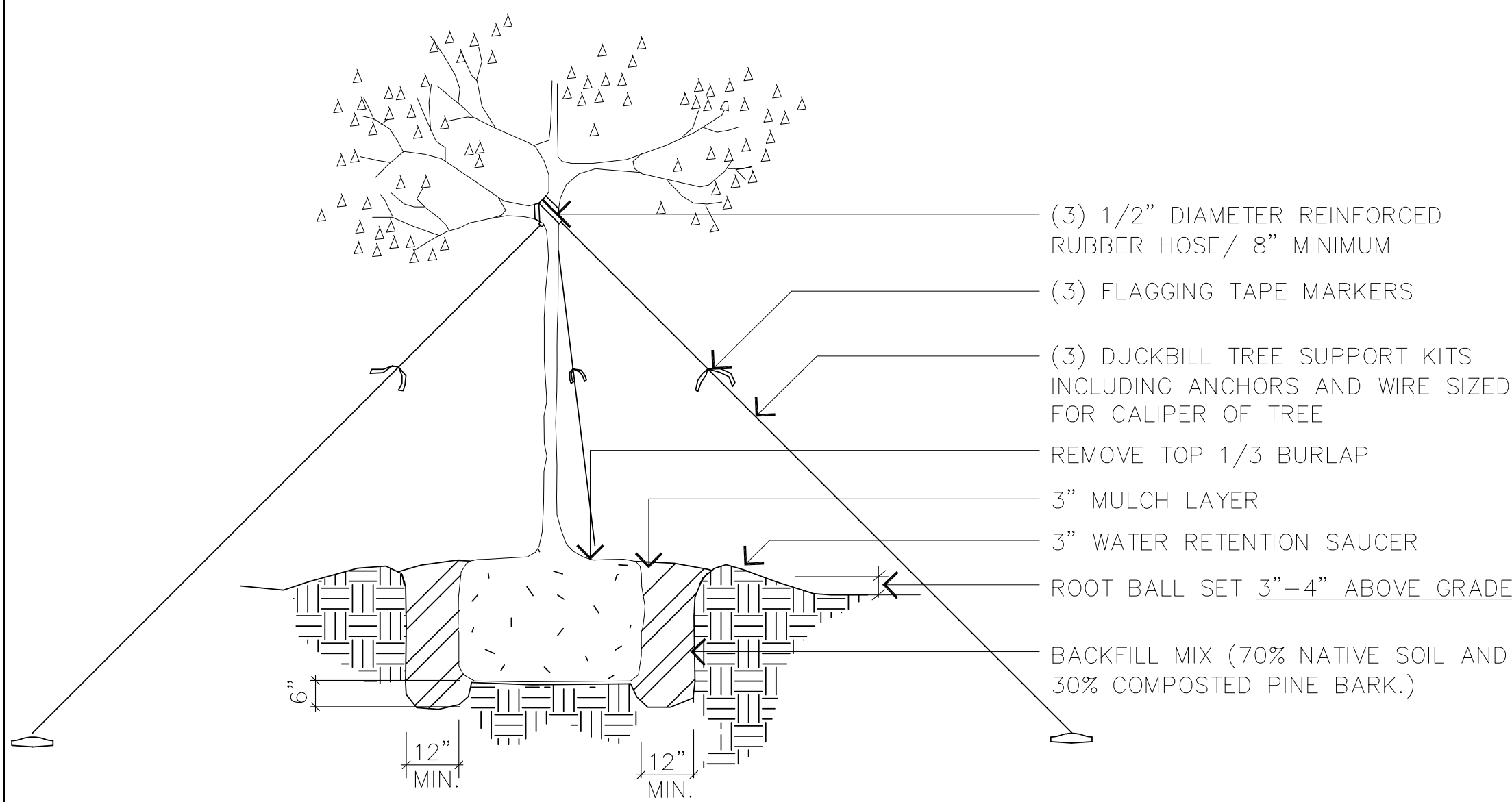
LANDSCAPE SCHEDULE						
	SPECIES	HEIGHT (MIN.)	QUANTITY	SIZE	SPACING (MAX.)	COMMENTS
CANOPY TREE	LIVE OAK (QUERCUS VIRGINIANA)	8' (MIN) AT PLANTING	25	2.5" CALIPER	10' O.C.	XERISCAPE TOLERANT
SHRUBS	VIBURNUM (VIBURNUM ACERIFOLIUM)	24" TALL (MIN) AT PLANTING	74	—	3' O.C.	XERISCAPE TOLERANT, CAPABLE OF REACHING 48" WITHIN 24 MONTHS



LANDSCAPE PLAN

SCALE AS NOTED

1



LANDSCAPING NOTES:

1. ALL TREES AND SHRUBS TO BE XERISCAPE SPECIES INDICATED ON PLANS. LANDSCAPING INTENDED TO SURVIVE ON NORMAL RAINFALL.
2. CONTRACTOR SHALL WARRANTY ALL PLANTINGS FOR ONE YEAR BEGINNING AT THE DATE OF ACCEPTANCE. CONTRACTOR SHALL REPLACE ANY DEAD OR DISCOLORED TREES/SHRUBS WITHIN THE WARRANTY PERIOD.
3. ALL LANDSCAPING SHALL BE FLORIDA GRADE 1 OR BETTER.

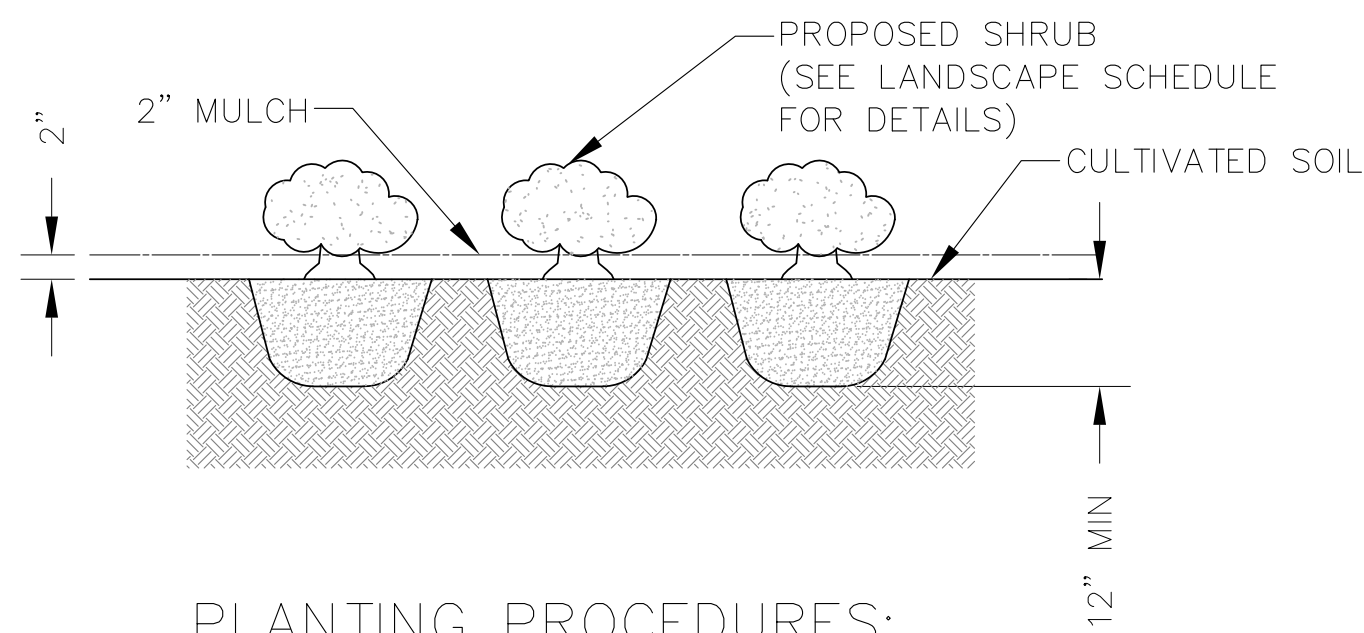
IRRIGATION NOTES:

1. WATERING PROGRAM SHALL ADJUST ACCORDINGLY BASED ON RAIN DAYS PROVIDING SUFFICIENT WATERING.
2. IRRIGATION SYSTEM SHALL PROVIDE 100% COVERAGE.
3. IRRIGATION SHALL INCLUDE A RAIN SENSOR.

TREE PLANTING DETAIL

NTS

2



PLANTING PROCEDURES:

1. LAY OUT BED.
2. ROTOTILL BED TO 12" DEPTH.
3. INSTALL PLANTS AND MULCH.
4. WATER THOROUGHLY.
5. IF UNABLE TO ROTOTILL DUE TO TREE ROOTS, HAND DIG HOLE (FOR EACH PLANT) 12" WIDE AND 6" DEEPER THAN CONTAINER.

SHRUB PLANTING DETAIL

NTS

3

REV	DATE	DESCRIPTION
0	01/04/23	PERMIT

PROJECT NO.: 21-5356	
DRAWN BY: R. SCHMIDT	PROJECT MANAGER: R. SCHMIDT
CHECKED BY: J. SHARIT	

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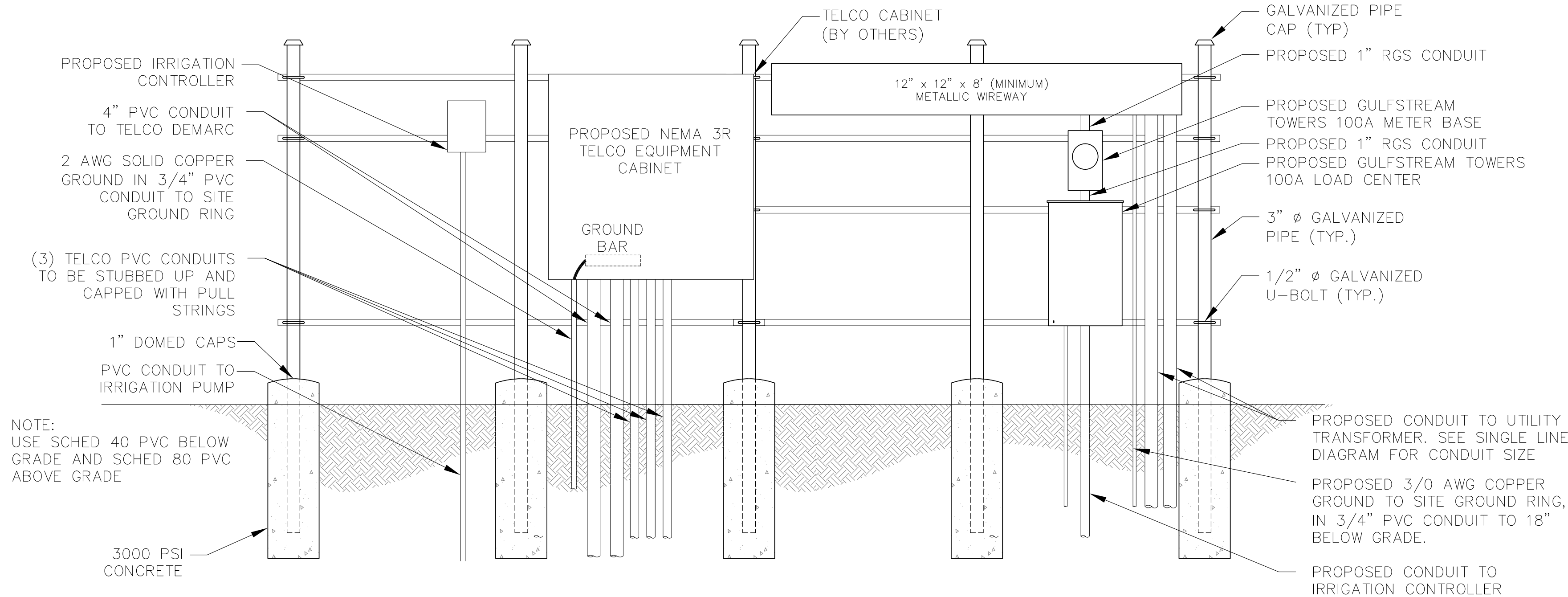
FL133 MECCA HAMMOCK

TORTUGA TRAIL
(ADDRESS TO BE ASSIGNED)
SANFORD, FLORIDA 32773
(SEMINOLE COUNTY)

SHEET NAME
LANDSCAPE PLAN
&
PLANTING DETAILS

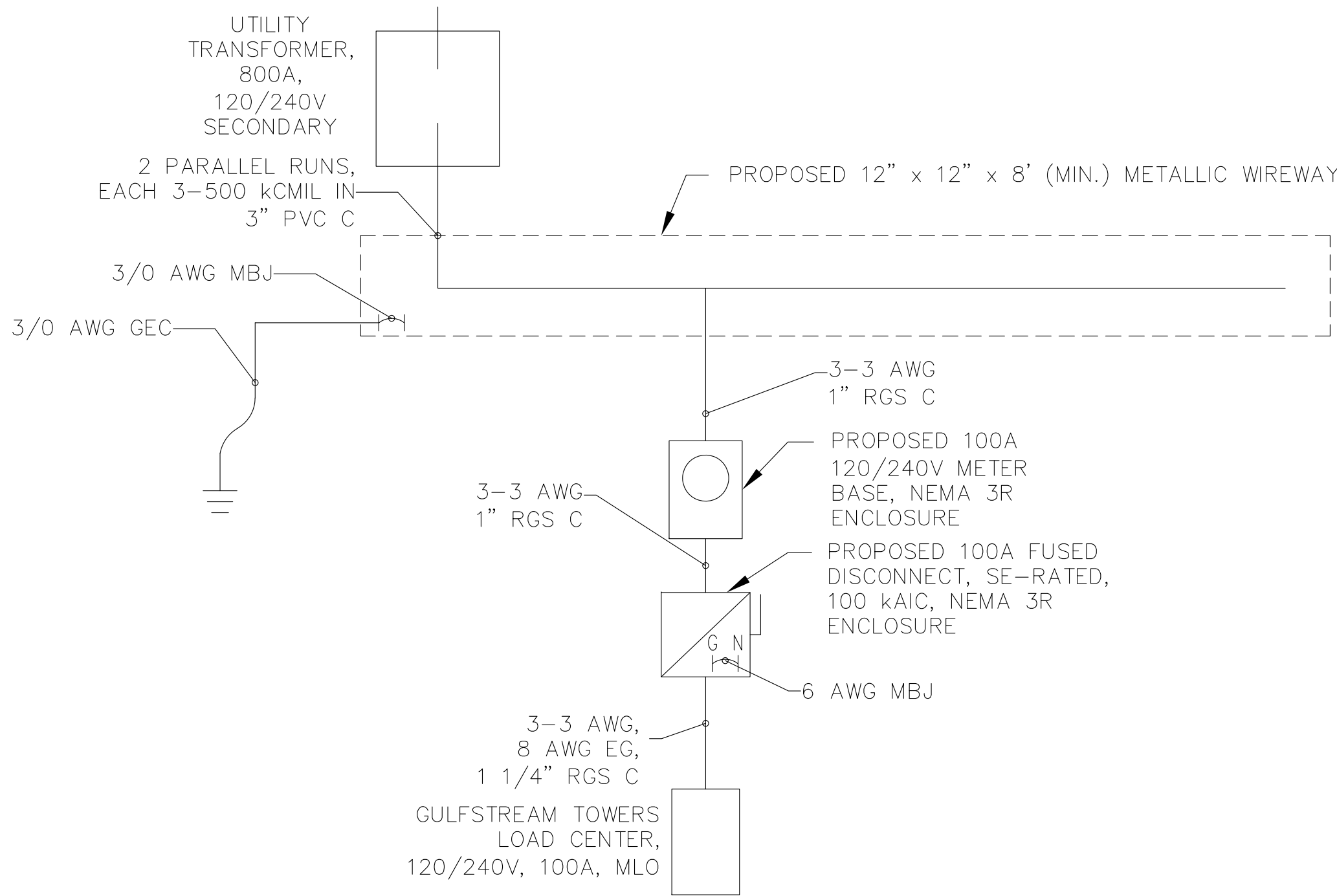
SHEET NUMBER

L-1



H-FRAME DETAIL

NTS 1



SINGLE LINE DIAGRAM

NTS

2 ELECTRICAL NOTES

NTS

3

NOTES AND SPECIFICATIONS:

- ALL ELECTRICAL WORK SHALL COMPLY WITH NEC, STATE, AND LOCAL CODES.
- CONTRACTOR SHALL OBTAIN OWNER/TENANT EQUIPMENT DRAWINGS AND REVIEW FOR ADDITIONAL DETAILS AND REQUIREMENTS THAT MAY NOT BE SHOWN IN THESE DRAWINGS. CONTRACTOR SHALL COMPLY WITH ANY ADDITIONAL OWNER/TENANT SPECIFICATIONS AND REQUIREMENTS THAT MAY BE ADDRESSED IN THE EQUIPMENT SHELTER DRAWINGS.
- PRIOR TO PURCHASING EQUIPMENT, CONTRACTOR SHALL CONTACT THE LOCAL UTILITY & OBTAIN IN WRITING THE MAXIMUM AVAILABLE FAULT CURRENT AT THE UTILITY SERVICE POINT. THE CONTRACTOR SHALL ENSURE ALL ELECTRICAL EQUIPMENT, CIRCUIT BREAKERS, DISCONNECTS, FUSES, AND PANELBOARDS HAVE A FAULT CURRENT INTERRUPTING RATING GREATER THAN THE AVAILABLE FAULT CURRENT. IN NO CASE SHALL THE FAULT CURRENT INTERRUPTING RATING BE LESS THAN 10,000 AMPS.
- THE GROUNDED SERVICE CONDUCTOR (NEUTRAL CONDUCTOR) SHALL BE GROUNDED AT THE WIREWAY ONLY. N-G BONDING SHALL BE MADE AT BOTH THE WIREWAY AND AT EACH SERVICE DISCONNECT.
- ALL POWER CIRCUITS SHALL USE COPPER CONDUCTORS WITH THHN/THWN INSULATION. ALL TERMINATIONS SHALL BE RATED FOR AT LEAST 75 DEGREES C.
- CONTRACTOR SHALL PROVIDE GROUND FAULT CIRCUIT INTERRUPTER (GFCI) TYPE RECEPTACLES FOR ALL UTILITY RECEPTACLES.
- CONTRACTOR SHALL ENSURE ALL NEUTRAL CONDUCTORS SMALLER THAN 4 AWG HAVE WHITE INSULATION AND ALL EQUIPMENT GROUND CONDUCTORS HAVE GREEN INSULATION. COLOR TAPE IDENTIFICATION OF THESE CONDUCTORS IS NOT ALLOWED.
- BELOW GRADE CONDUIT SHALL BE SCHEDULE 40 PVC, ABOVE GRADE CONDUIT SHALL BE GALVANIZED RIGID CONDUIT. BELOW GRADE PVC CONDUIT SHALL TRANSITION TO GRC PRIOR TO RISING ABOVE GRADE. ALL FITTINGS SHALL BE SUITABLE FOR USE WITH THREADED RIGID CONDUIT. VERIFY CONDUIT TYPE WITH LOCAL CONSTRUCTION MANAGER AND ADJUST IF NECESSARY. ALL CONDUIT SHALL MEET NEC, STATE, AND LOCAL CODE REQUIREMENTS AS REQUIRED.

REV	DATE	DESCRIPTION
0	01/04/23	PERMIT

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DRAWN BY:	R. SCHMIDT
PROJECT MANAGER:	R. SCHMIDT
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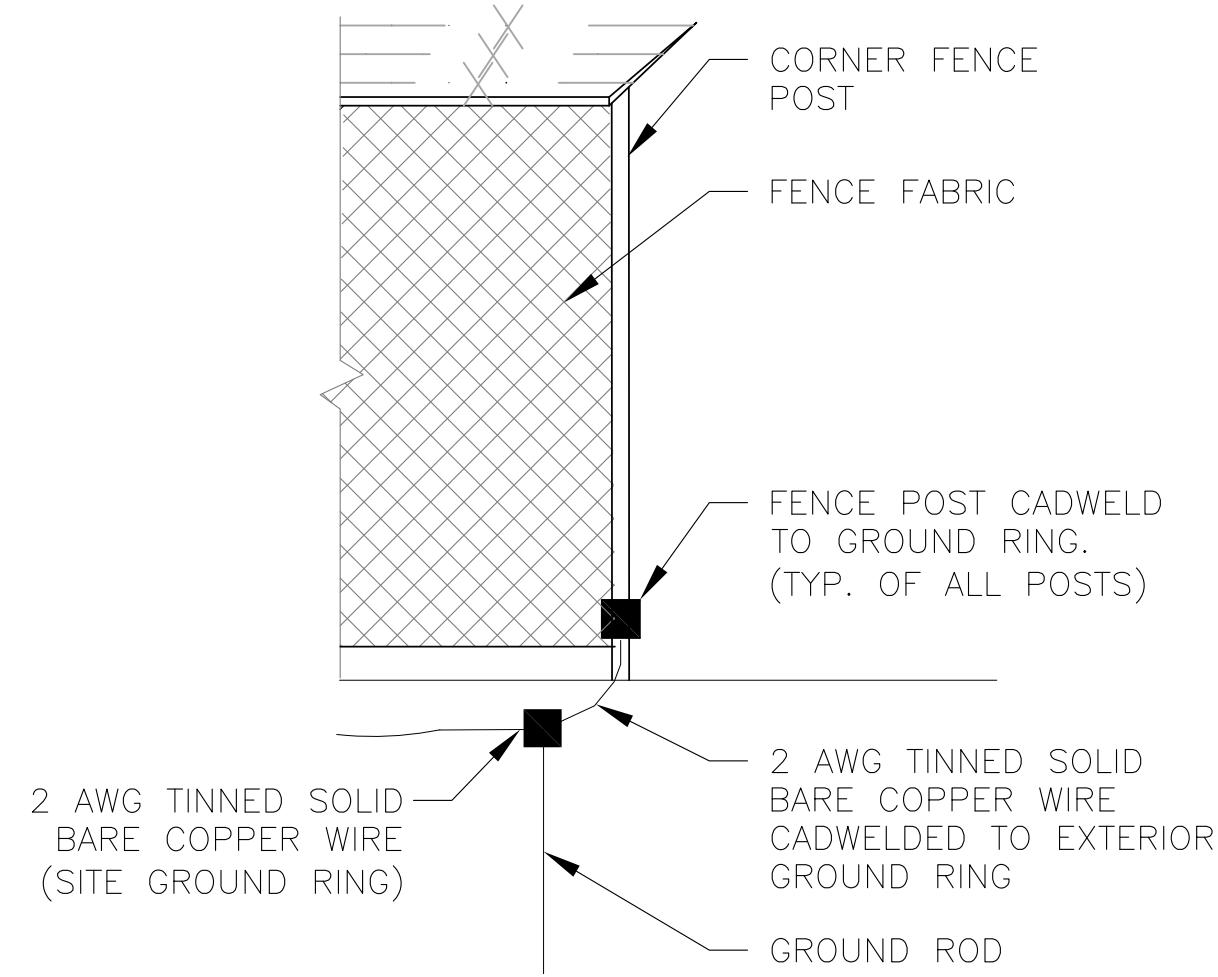
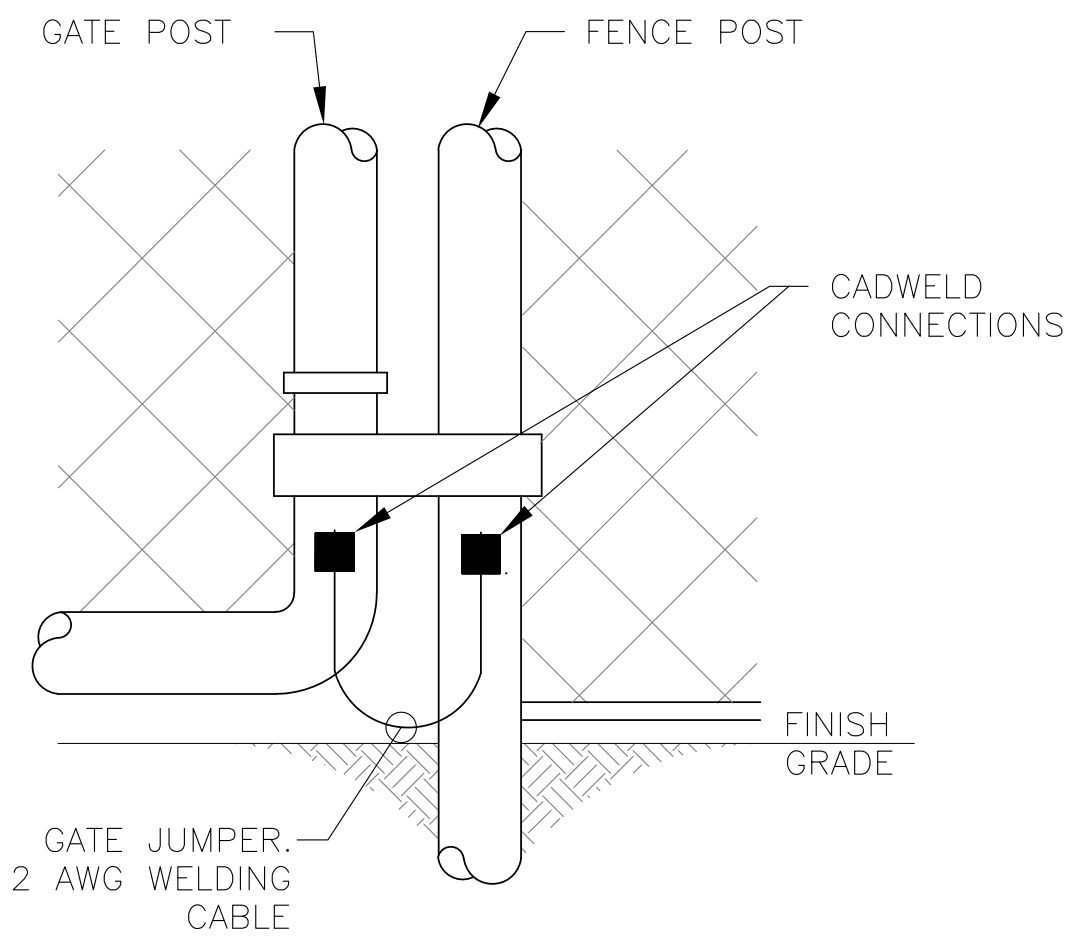
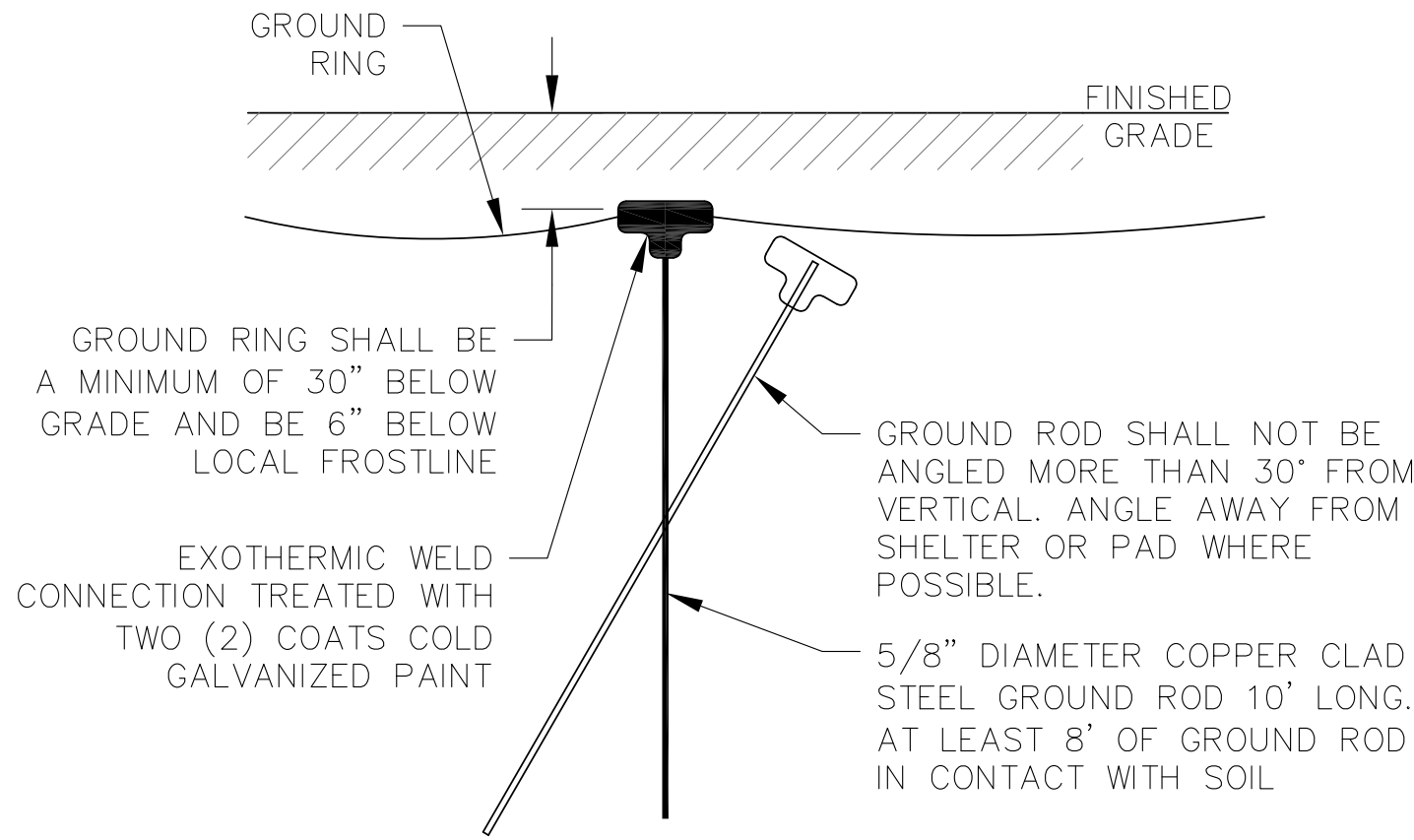
JEREMY D. SHARIT P.E. FL LICENSE 75137

FL133 MECCA
HAMMOCK

TORTUGA TRAIL
(ADDRESS TO BE ASSIGNED)
SANFORD, FLORIDA 32773
(SEMINOLE COUNTY)

SHEET NAME
SINGLE LINE
DIAGRAM &
H-FRAME DETAIL

SHEET NUMBER
E-2



GROUND ROD DETAIL

NTS

1

GATE BONDING DETAIL

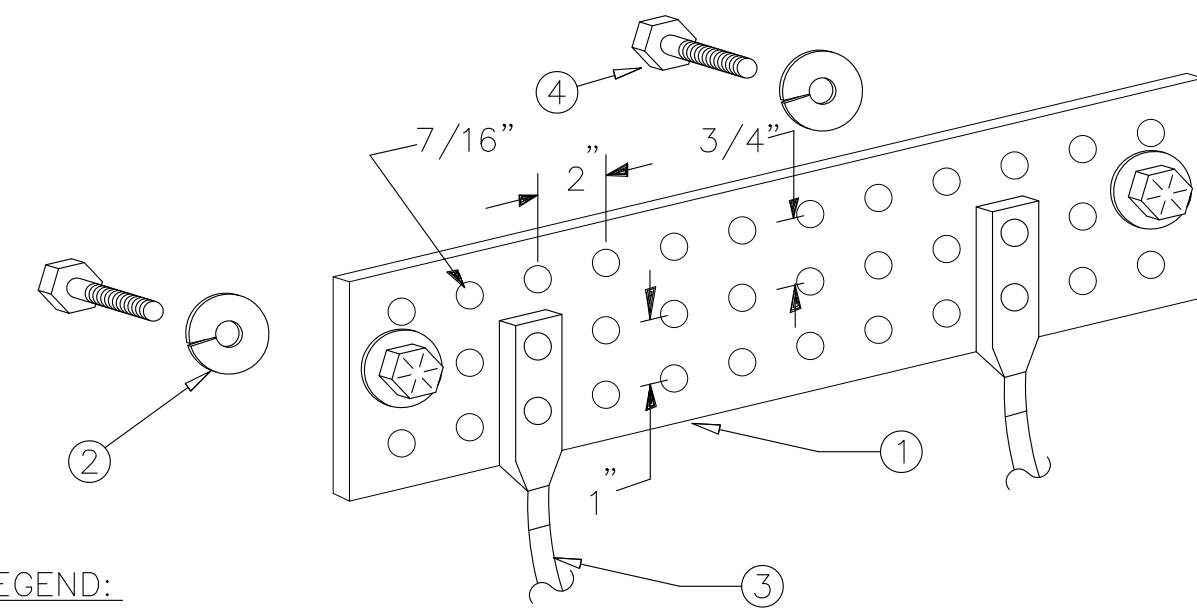
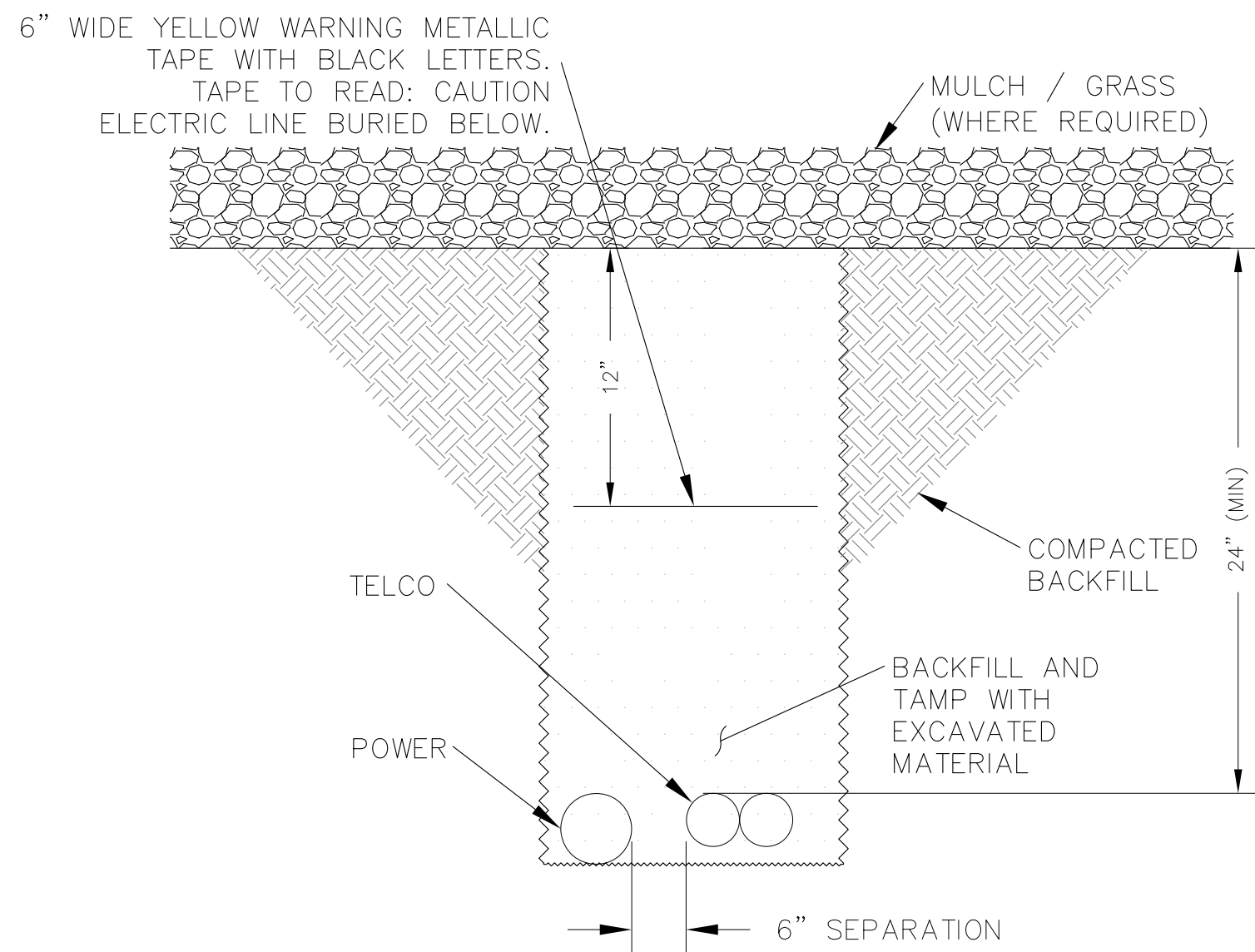
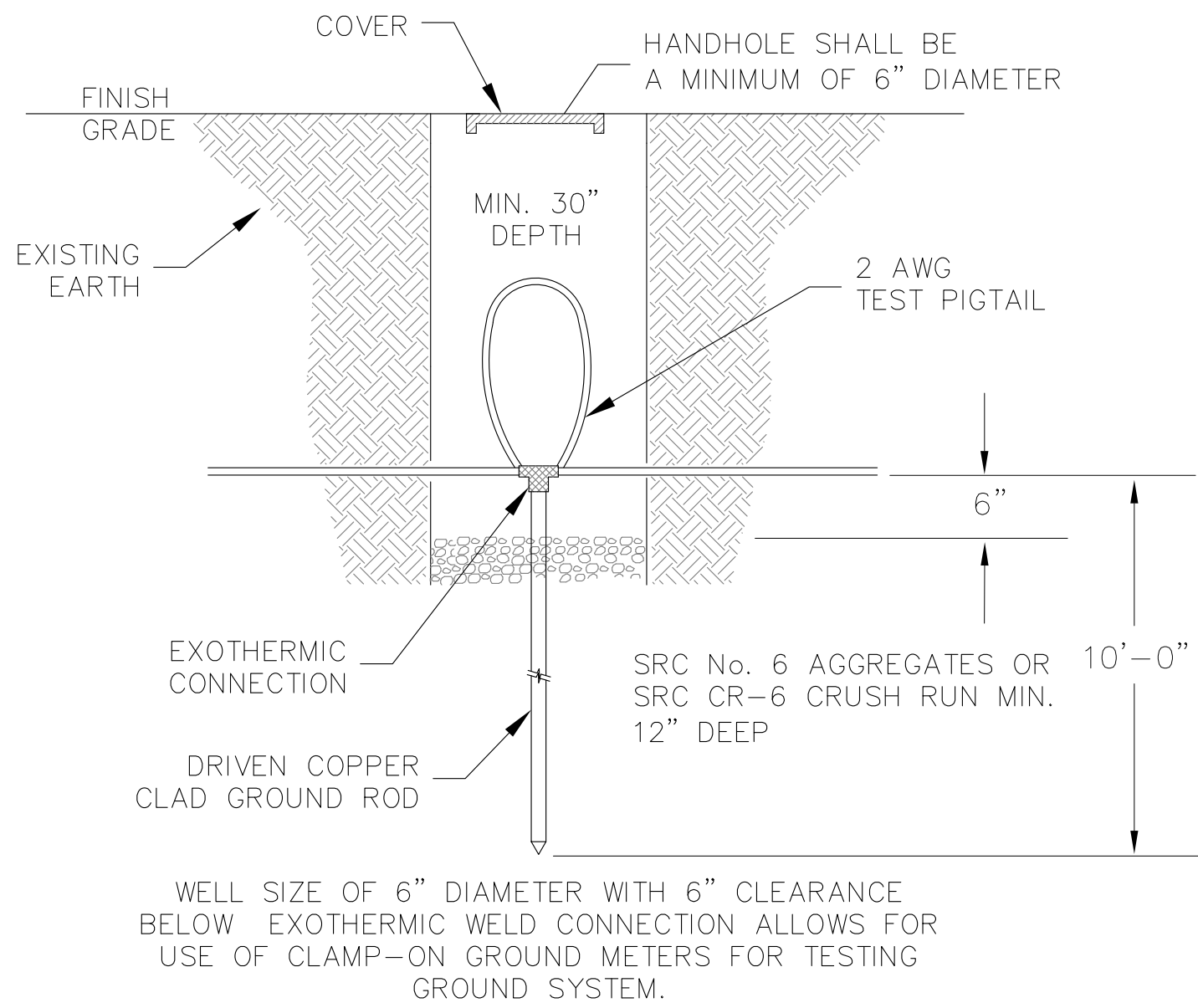
NTS

2

FENCE POST BONDING DETAIL

NTS

3



GROUND ROD TEST WELL DETAIL

NTS

4

UTILITY TRENCH DETAIL

NTS

5

GROUND BAR DETAIL

NTS

6

REV	DATE	DESCRIPTION
0	01/04/23	PERMIT

PROJECT NO.:	21-5356
DRAWN BY:	R. SCHMIDT
PROJECT MANAGER:	R. SCHMIDT
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FL133 MECCA HAMMOCK

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SANFORD, FLORIDA 32773
(SEMINOLE COUNTY)

SHEET NAME

ELECTRICAL DETAILS

SHEET NUMBER

E-3

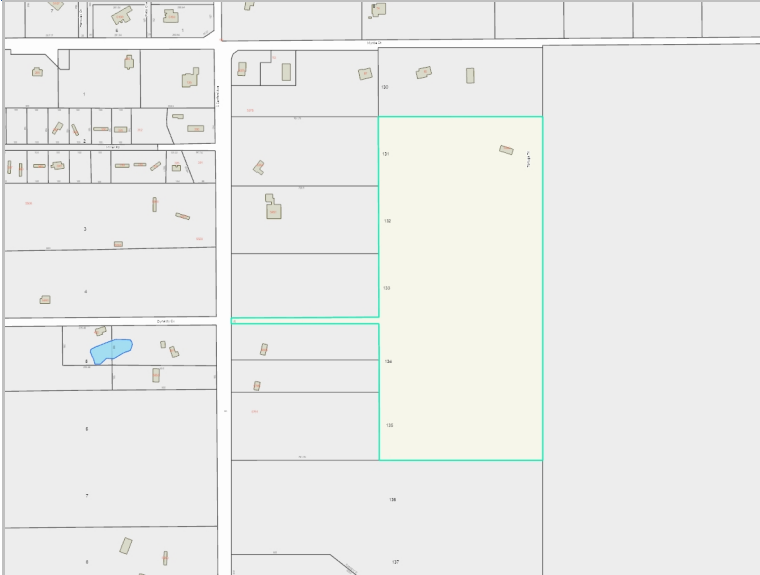
Property Record Card



Parcel 23-20-30-5AQ-0000-131A

Property Address 5340 TORTUGA TRL SANFORD, FL 32773

Parcel Location



Site View



2320305AQ0000131A 02/22/2022

Parcel Information

Parcel	23-20-30-5AQ-0000-131A
Owner(s)	ARTOPOEUS, JENNIFER A
Property Address	5340 TORTUGA TRL SANFORD, FL 32773
Mailing	400 BRIAR PATCH LN GENEVA, FL 32732-8905
Subdivision Name	EUREKA HAMMOCK
Tax District	01-COUNTY-TX DIST 1
DOR Use Code	02-MOBILE/MANUFACTURED HOME
Exemptions	None
AG Classification	No

Value Summary

	2024 Working Values	2023 Certified Values
Valuation Method	Cost/Market	Cost/Market
Number of Buildings	2	2
Depreciated Bldg Value	\$101,287	\$100,583
Depreciated EXFT Value	\$1,400	\$1,200
Land Value (Market)	\$100,755	\$98,255
Land Value Ag		
Just/Market Value	\$203,442	\$200,038
Portability Adj		
Save Our Homes Adj	\$0	\$0
Non-Hx 10% Cap (AMD 1)	\$4,892	\$19,538
P&G Adj	\$0	\$0
Assessed Value	\$198,550	\$180,500

2023 Certified Tax Summary

2023 Tax Amount w/o Non-Hx Cap	\$2,662.11	2023 Tax Savings with Non-Hx Cap	\$154.94
2023 Tax Bill Amount	\$2,507.17		

* Does NOT INCLUDE Non Ad Valorem Assessments

Legal Description

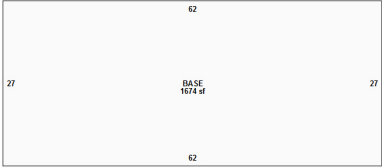
LOT 131 (LESS W 761.75 FT) & E 1/2 OF LOT 132 & 133 & S 25 FT OF W 761.75 FT OF LOT 133 (LESS W 33.5 FT FOR RD) & LOTS 134 & 135 (LESS W 761.75 FT)
EUREKA HAMMOCK
PB 1 PG 106
INFO: 131B CUTOUT FOR 95

Taxes			
Taxing Authority	Assessment Value	Exempt Values	Taxable Value
ROAD DISTRICT	\$198,550	\$0	\$198,550
SJWM(Saint Johns Water Management)	\$198,550	\$0	\$198,550
FIRE	\$198,550	\$0	\$198,550
COUNTY GENERAL FUND	\$198,550	\$0	\$198,550
Schools	\$203,442	\$0	\$203,442

Sales						
Description	Date	Book	Page	Amount	Qualified	Vac/Imp
WARRANTY DEED	05/01/1987	01852	1911	\$12,000	Yes	Vacant

Land					
Method	Frontage	Depth	Units	Units Price	Land Value
ACREAGE			26.31	\$500.00	\$13,155
ACREAGE			1	\$87,500.00	\$87,500
LOT			1	\$100.00	\$100

Building Information													
#	Description	Year Built**	Bed	Bath	Fixtures	Base Area	Total SF	Living SF	Ext Wall	Adj Value	Repl Value	Appendages	
1	MOBILE HOME	1989/1994	3	2.0	6	1,674	1,674	1,674	MOBILE HOME ABOVE AV	\$72,548	\$126,722	Description	Area

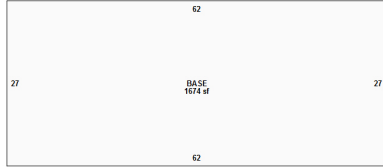


Sketch by Apex Sketch

Building 1 - Page 1

** Year Built (Actual / Effective)

#	Description	Year Built**	Bed	Bath	Fixtures	Base Area	Total SF	Living SF	Ext Wall	Adj Value	Repl Value	Appendages	
2	BARNS/SHEDS	1993			0	1,674	1,674	1,674	SIDING GRADE 3	\$28,739	\$32,844	Description	Area



Sketch by Apur Sketch

Building 0 - Page

** Year Built (Actual / Effective)

Permits

Permit #	Description	Agency	Amount	CO Date	Permit Date
03009	METAL REROOF W/INSULATION	County	\$15,332		3/19/2004

Extra Features

Description	Year Built	Units	Value	New Cost
SCREEN PATIO 1	05/01/1994	1	\$1,400	\$3,500

Zoning

Zoning	Zoning Description	Future Land Use	Future Land Use Description
A-1	Suburban Estates	SE	Agricultural-1Ac

Utility Information

Fire Station	Power	Phone(Analog)	Water Provider	Sewer Provider	Garbage Pickup	Recycle	Yard Waste	Hauler
35.00	FPL	AT&T	SEMINOLE COUNTY UTILITIES	SEMINOLE COUNTY UTILITIES	MON/THU	THU	NO SERVICE	Waste Pro

Political Representation

Commissioner	US Congress	State House	State Senate	Voting Precinct
Dist 2 - Jay Zembower	Dist 7 - Cory Mills	Dist 36 - RACHEL PLAKON	Dist 10 - Jason Brodeur	23

School Information

Elementary School District	Middle School District	High School District
Region 3	Millennium	Seminole

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**Seminole County Government
Development Services Department
Planning and Development Division
Credit Card Payment Receipt**

If you have questions about your application or payment, please email us eplandesk@seminolecountyfl.gov or call us at: (407) 665-7371.

Receipt Details

Date: 4/26/2024 7:42:43 AM
Project: 24-80000046
Credit Card Number: 44*****0458
Authorization Number: 024207
Transaction Number: 260424C18-C1CA34B1-CE12-452B-B624-2F03DB79B103
Total Fees Paid: 52.50

Fees Paid

Description	Amount
CC CONVENIENCE FEE -- PZ	2.50
PRE APPLICATION	50.00
Total Amount	52.50

SEMINOLE COUNTY GOVERNMENT
 1101 EAST FIRST STREET, 2ND FLOOR, WEST WING
 SANFORD, FLORIDA 32771

Please review the comments below. If you determine that you would like to be scheduled for a 20 minute meeting with the Development Review Committee, please email your request to attend to devrevdesk@seminolecountyfl.gov or call (407) 665-7372 no later than noon on Friday, 05/10/2024, in order to place you on the Wednesday, 05/15/2023 meeting agenda.

The DRC Agenda can be found [HERE](#).

PROJECT NAME:	MECCA HAMMOCK - PRE-APPLICATION	PROJ #: 24-80000046
APPLICATION FOR:	DR - PRE-APPLICATION DRC	
APPLICATION DATE:	3/19/24	
RELATED NAMES:	EP MIKE BURKHEAD	
PROJECT MANAGER:	KATHY HAMMEL (407) 665-7389	
PARCEL ID NO.:	23-20-30-5AQ-0000-131A	
PROJECT DESCRIPTION	PROPOSED SPECIAL EXCEPTION TO INSTALL A 160' MONOPOLE TOWER AND COMMUNICATIONS FACILITY ON 29.98 ACRES IN THE A-1 ZONING DISTRICT LOCATED ON THE EAST SIDE OF S SANFORD AVE, SOUTH OF MYRTLE ST	
NO OF ACRES	29.98	
BCC DISTRICT	2-JAY ZEMBOWER	
CURRENT ZONING	A-1	
LOCATION	ON THE EAST SIDE OF S SANFORD AVE, SOUTH OF MYRTLE ST	
FUTURE LAND USE-	SE	
SEWER UTILITY	SEMINOLE COUNTY UTILITIES	
WATER UTILITY	SEMINOLE COUNTY UTILITIES	
APPLICANT:	CONSULTANT:	
MIKE BURKHEAD GULFSTREAM TOWERS, LLC 127 W FAIRBANKS AVE #469 WINTER PARK FL 32789 (407) 617-0167 MIKE@GULFSTREAMTOWERS.COM		N/A

Please be advised, these comments are intended to assist you in finding information that will enable you to prepare for your plan review. They are not intended to replace or exempt you from the applicable Codes and Ordinances as they pertain to your project. These comments are informational only and do not grant any approvals. Also be advised, from time to time Codes and Ordinances are amended and the comments provided only reflect the regulations in effect at the time of review.

The development project review will be completed utilizing Electronic Plan Review (ePlan). For questions regarding this process, please consult the Electronic Plan Review Applicant User Guide that can be found [HERE](#).

PROJECT MANAGER COMMENTS

A Special Exception was approved for a 160' Communication Tower. The approval has expired because a site plan was not approved within a year of the approval date therefore a new Special Exception is required.

AGENCY/DEPARTMENT COMMENTS

Item	REVIEWED BY	TYPE
1	Natural Resources	Specimen tree: Live oak, magnolia, bald cypress and longleaf pine trees twenty-four (24) inches DBH or greater. SCLDC Chapter 2
2	Natural Resources	Historic tree: Any live oak, bald cypress, or longleaf pine thirty-six (36) inches or greater DBH that is determined by Seminole County to be of such unique and intrinsic value to the general public because of its size, age, historic association or ecological value as to justify this classification. Prior to removal of any live oak, bald cypress, or longleaf pine thirty-six (36) inches or greater DBH, a report from a certified arborist must be submitted detailing the condition of the tree, if the condition of tree has a rating over 3 or above, the tree must be inspected by the Natural Resource Officer prior to removal. Any tree designated a Florida State Champion shall likewise be within this definition.
3	Natural Resources	Please provide a sealed or certified tree survey prepared by a professional surveyor, completed within the past 2 years. Show the location, DBH, common name, and, if applicable, indicate specimen tree status of all protected and preserved trees. SCLDC 60.10(b)(1)
4	Natural Resources	Dead or declining trees, as determined by a certified arborist, are exempt from arbor regulations. SCLDC 60.4(f)
5	Natural Resources	Trees less than six (6) inches DBH and palm trees are exempt from arbor regulations. SCLDC 60.4(h)
6	Natural Resources	Barriers for the designated protected trees must be in place prior to any land clearing occurring near protected trees designated to remain. The property owner shall guarantee survival of retained or replacement trees for one (1) year from the issuance of a certificate of completion, or until the issuance of a certificate of occupancy on single-family residential lots. SCLDC 60.8(b)
7	Natural Resources	Protective barriers shall be placed at points not closer than six (6) feet from the base of the tree or at the radius of distance of one (1) foot radius for every one (1) inch of diameter of tree or stand of trees, whichever is greater to a maximum of twenty four (24) feet from the center of the tree. If circumstances exist that require encroachment of the drip-line, the Development Services Director, or designee may use discretion in allowing the barriers to be placed closer to the tree trunk. No attachments or wires other than those of a protective or nondamaging nature shall be attached to any tree. SCLDC 60.8(c)
8	Natural Resources	Protective barriers shall consist of three (3) foot tall temporary fencing with posts spaced six (6) feet apart and linked together with brightly colored net fence fabric. SCLDC 60.8(d)

9	Natural Resources	Reasonable efforts should be made to preserve specimen trees. A permit to remove a specimen tree shall be granted when one or more of the following items do not allow for reasonable options to preserve the tree(s): Grading and drainage requirements within the drip line of canopy trees; The construction of a building; The installation of required utilities; or Access to and immediately around proposed structures. SCLDC 60.9(c)
10	Natural Resources	Canopy trees used for replacement shall be a minimum of ten (10) feet in height and have a caliper no less than three (3) inches. SCLDC 60.9(d)(3)
11	Natural Resources	Understory trees shall not make up more than twenty-five (25) percent of the total number of trees planted to meet the required replacement for the site. Understory trees used for replacement shall be a minimum of four (4) feet in height and have a caliper no less than one and a half inches. SCLDC 60.9(d)(4)
12	Natural Resources	Palm trees listed in the recommended stock may be used as replacement trees with the following ratio: one (1) inch of palm caliper = 0.33 inches of canopy or understory tree. Palm trees may not account for more than twenty (20) percent of the required replacement trees. SCLDC 60.9(d)(5)
13	Natural Resources	The cumulative DBH of specimen trees preserved on site shall count two (2) to one (1) toward meeting the total replacement requirement. SCLDC 60.9(d)(6a)
14	Natural Resources	Trees located within a designated conservation area shall not count toward replacement requirements. SCLDC 60.9(d)(7)
15	Natural Resources	If the Development Services Director determines that the number of trees to be planted is unfeasible, then the applicant can account for the remainder of the required caliper inches by paying \$125 per caliper inch into the Arbor Trust Fund. SCLDC 60.9(d)(8)
16	Natural Resources	In the case of any development which requires site plan approval by the Planning and Zoning Commission, the Board of County Commissioners, or both; permits for removal, relocation or replacement of trees covered under this Chapter 60 shall be obtained by making application at the time of site plan submittal. SCLDC 60.10(a)(2)
17	Natural Resources	Each application for a permit to remove, relocate or replace trees covered under this Chapter 60 must be accompanied by a written statement indicating the reasons for removal, relocation or replacement of trees. SCLDC 60.10(d)
18	Natural Resources	Please provide a tree mitigation table with site plan submission. SCLDC 60.10 (b)(2f)
19	Natural Resources	The review may include, but need not be limited to, a field check of the site and referral of the application for recommendations to other appropriate administrative departments or agencies. SCLDC 60.10(d)
20	Natural Resources	If wetland mitigation is proposed, please provide documentation from St. Johns River Water Management District.

21	Natural Resources	According to the county wetland maps, wetlands are possibly located ____ (location: ex: throughout, center, NW corner) the property. ***Please be advised the county wetland maps can be used only as guidelines and cannot be used to make jurisdictional wetlands determination. A field determination can be made by a qualified environmental scientist. **
22	Natural Resources	Wetland boundaries need to be delineated by a wetlands specialist and approved by Seminole County and staff of FDEP if residential not in the WRPA or SJRWMD if residential in the WRPA or if in a Commercial plat. The plat must show the approved wetland line and provide the date and name of the SJRWMD reviewer.
23	Natural Resources	A 15-foot minimum, 25-foot average undisturbed upland buffer must be provided from all approved jurisdictional wetland boundaries.
24	Natural Resources	Conservation easements dedicated to Seminole County will be required over the wetlands and required buffers, and all property within the 100 year flood plain.
25	Natural Resources	Resources for wetland information: St. Johns River Water Management District: www.sjrwmd.com Florida Department of Environmental Protection: www.dep.state.fl.us Seminole County Map Resources: www.seminolecountyfl.gov Wetland and Flood Prone: Under ONLINE SERVICES / Interactive Maps / Information Kiosk Quadrangles: DEPARTMENTS/ Information Technologies / GIS / Maps available for viewing / Wetland quadrangle maps. Seminole County Property Appraiser Map Resources: http://www.scpafl.org Zoning, Future Land Use, FEMA, Aerials
26	Natural Resources	Replacement of non-specimen trees shall be based on a one-to-one ratio of the cumulative DBH of the trees to be removed to the cumulative caliper of the trees to be installed. Specimen trees shall be replaced on a two-to-one ratio of the cumulative caliper of the trees to be installed to the cumulative DBH of the trees removed. SCLDC 60.9(d)(1)
27	Building Division	Any building construction and/or modification will require Building permits and engineered plans to meet the current 8th ed (2023) Florida Building Codes.
28	Comprehensive Planning	Future Land Use Element Page FLU-125 The subject property has a future land use designation of Suburban Estates (SE). Suburban Estates - Purpose and Intent: The purpose and intent of this land use designation are: to allow the development of large lot single family estates as a desired final land use; to act as a stepped down land use serving as a buffer between urban development and the Rural Area; and to allow existing agricultural operations to continue until developed for other uses. Communications Towers are not included in the list of uses in the FLU Element.

29	Comprehensive Planning	Future Land Use Element, Policy FLU 1.2 Floodplain Protection - The County shall continue to implement the Environmentally Sensitive Lands Overlay Area through the regulation that supports the National Flood Insurance Program by: A. Restricting uses that are dangerous to health, safety and property, and minimize public and private losses due to flood conditions; B. Prohibiting land filling and grade changes where such activity will cause erosion or inhibit flood waters; C. Requiring development to comply with the requirements and rules of the National Flood Insurance Program and Florida Department of Health; and D Requiring all subdivisions and site plans to maintain pre-development runoff characteristics, provide compensating storage, comply with wetland regulations, and dedicate post-development floodprone and wetland areas to the County as a conservation easement.
30	Comprehensive Planning	Comment Future Land Use Element, FLU-117 - Environmentally Sensitive Lands Overlay This overlay consists of wetland areas (as delineated on the St. Johns River Water Management District Wetlands Map) and 100 year floodplain areas (as delineated on the United States Geological Survey or Flood Insurance Rate Maps). Purpose and Intent A. Implementing public policies to protect the public health, safety and welfare by conserving and protecting natural resources needed to ensure availability of groundwater and limiting flood damage; B. Implementing the County's non-structural approach to water management. Uses that involve a minimum land alteration are permitted in order to maintain the natural flood storage and nutrient assimilation capability of wetland and floodprone areas; and C. Preserving the status quo of significant environmental importance and associated wildlife habitat (see also Policy FLU 11.15 Code Enforcement and Implementation).
31	Public Safety - Fire Marshal	Fire department access road shall have an unobstructed width of not less than 20 ft in accordance with the specifications of NFPA 1, Section 18.2.3.5.1.1
32	Public Safety - Fire Marshal	Please verify the composition of the fire department access road (driveway) to the site/structure. This shall be a compacted all weather surface and comprised of asphalt, concrete, millings, etc. It shall not consist of sugar sand. NFPA 1, 18.2.3.4.2
33	Public Safety - Fire	If any actual structure is required (other than the pole) the following shall be required: Adequate water supply with fire flow calculations for fire protection (hydrants) shall be provided per section 18.3 and 18.4 of NFPA 1.
34	Public Safety - Fire Marshal	Fire department access roads shall have an unobstructed vertical clearance of not less than 13 feet 6 inch (NFPA 1, 18.2.3.5.1.2)
35	Buffers and CPTED	Buffer information can be found here: https://www.municode.com/library/fl/seminole_county/codes/land_development_code?nodeId=SECOLA_DECO_CH30ZORE_PT67LASCBU
36	Buffers and CPTED	Please refer to the SCLDC sections 30.14.5 and 30.14.3.1 on opacity and plant groups.
37	Buffers and CPTED	A full buffer review will be done at time of site plan review, or at rezone if rezoning to a Planned Development.

38	Buffers and CPTED	Any proposed buffering must be indicated on the conceptual site plan at time of special exception request.
39	Public Works - Engineering	Based on the FEMA FIRM Map the site is located entirely in the floodplain and wetland area. Floodplain volumetric compensation and wetland mitigation will be required.
40	Public Works - Engineering	The proposed project is located within the Lake Jesup Drainage Basin.
41	Public Works - Engineering	Based on the USDA Web Soil Survey, the site has predominantly Nittaw Muck, occasionally flooded, Map Unit Symbol 22. Nittaw Muck, occasionally flooded, are classified by the USDA as "Very Poorly Drained" soils. The USDA Web Soil Survey estimates the Depth to Water Table to be 0 to 6 inches and designates the Hydrologic Soil Group as C/D.
42	Public Works - Engineering	Comment Based on the available one (1) foot contours, the topography of the site appears to slope from north to south.
43	Public Works - Engineering	Based on the preliminary review, the site appears to outfall to the wetlands north of Lake Jesup. Per the Seminole County Public Works Engineering Manual - Section 2.4.1 (Design Storm - Minimum), a retention or detention facility with positive outfall requires the Stormwater Quantity Analysis to meet (not exceed) the pre development rate of discharge for a 25-Year, 24-Hour storm event. Stormwater Quality Analysis shall meet the St. Johns River Water Management District (SJRWMD) requirements. A detailed Drainage Plan will be required at permitting. A detailed Drainage Analysis will be required at Final Engineering.
44	Public Works - Engineering	Comment A permit from the St. John's River Water Management District or Florida Department of Environmental Protection is generally required for projects with more than 5,000 sq. ft. of new impervious area, or 4,000 sq. ft. of new building for a total of 9,000 sq. ft. of new impervious surface. For more information see www.sjrwmd.com .
45	Public Works - Engineering	Comment A National Pollutant Discharge Elimination System (NPDES) Permit is required for all projects that disturb greater than one (1) acre. (http://cfpub.epa.gov/npdes/home.cfm?program_id=45)
46	Public Works - Engineering	The access to the site is through East Myrtle Street and Tortuga Trail. East Myrtle Street is functionally classified as a Local Road; however, the section east of South Sanford Avenue is unpaved and unmaintained. East Myrtle Street is not currently programmed to be improved according to the Seminole County 5-year Capital Improvement Program. Tortuga Trail is a private road. A 16 feet wide access road with 20 feet unobstructed width is required to accommodate the Fire Department emergency vehicles.

47	Planning and Development	The proposed project is subject to Site Plan Review Process: SCLDC Chapter 40. Information can be found at: http://cdn.seminolecountyfl.gov/departments-services/development-services/planning-development/development-processes-requirements/index.html
48	Planning and Development	Library Comment Seminole County requires community meetings for all Future Land Use Amendments, Rezones, Special Exceptions, and non-residential Variances. Please see the Community Meetings link in the Resources tab located at the top of your ePlan task window or below for the requirements that the applicant must meet. https://www.seminolecountyfl.gov/core/fileparse.php/3423/urlt/Community-Meeting-Procedure.pdf
1	Planning and Development	Seminole County requires community meetings for all Future Land Use Amendments, Rezones, Special Exceptions, and non-residential Variances. Please see the Community Meetings link in the Resources tab located at the top of your ePlan task window or below for the requirements that the applicant must meet. https://www.seminolecountyfl.gov/core/fileparse.php/3423/urlt/Community-Meeting-Procedure.pdf
1	Planning and Development	Library Comment New Public Notification Procedures are required for all Future land Use Amendments, Rezones, Special Exceptions, and non-residential Variances. Please see the Public Notification Procedures link in the Resources tab located at the top of your ePlan task window or below for the requirements: https://www.seminolecountyfl.gov/core/fileparse.php/3423/urlt/Public-Notice-Amendment-Procedures.pdf

AGENCY/DEPARTMENT EFORM COMMENTS AND PROJECT STATUS

This section shows the reviewers of this project from the various County agencies. It may also include additional comments for review and response.

DEPARTMENT	REVIEWER
Planning and Development	Kathy Hammel khammel@seminolecountyfl.gov
Public Safety - Fire Marshal	Matthew Maywald mmaywald@seminolecountyfl.gov
Buffers and CPTED	Maya Athanas mathanas@seminolecountyfl.gov
Environmental Services	James Van Alstine jvanalstine@seminolecountyfl.gov
Public Works - Engineering	Vladimir Simonovski vsimonovski@seminolecountyfl.gov
Natural Resources	Sarah Harttung sharttung@seminolecountyfl.gov
Public Works - Impact Analysis	William Wharton wwharton@seminolecountyfl.gov
Comprehensive Planning	Doug Robinson drobinson@seminolecountyfl.gov

Building Division	Jay Hamm jhamm@seminolecountyfl.gov
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RESOURCE INFORMATION

Seminole County Land Development Code:

<http://www.seminolecountyfl.gov/departments-services/development-services/planning-development/codes-regulations/>

Seminole County Comprehensive Plan:

<http://www.seminolecountyfl.gov/departments-services/development-services/planning-development/codes-regulations/comprehensive-plan/index.shtml>

Development Services:

<http://www.seminolecountyfl.gov/departments-services/development-services/>

Wekiva Consistency form:

<http://www.seminolecountyfl.gov/core/fileparse.php/3207/urlt/WekivaConReview.pdf>

Seminole County Property Appraiser Maps:

<http://www.scpafl.org>

Seminole County Wetland Information:

<http://www.seminolecountyfl.gov/departments-services/development-services/planning-development/forms-applications-resources/wetl-dock-information.shtml>

FEMA LOMR (Letter of Map Revision):

www.fema.gov

Cities:

Altamonte Springs	(407) 571-8000	www.altamonte.org
Casselberry	(407) 262-7700	www.casselberry.org
Lake Mary	(407) 585-1449	www.lakemaryfl.com
Longwood	(407) 260-3440	www.longwoodfl.org
Oviedo	(407) 971-5555	www.cityofoviedo.net
Sanford	(407) 688-5000	www.sanfordfl.gov
Winter Springs	(407) 327-1800	www.winterspringsfl.org

Other Agencies:

Florida Dept of Transportation	FDOT		www.dot.state.fl.us
Florida Dept of Enviro Protection	FDEP	(407) 897-4100	www.dep.state.fl.us
St. Johns River Water Mgmt Dist	SJRWMD	(407) 659-4800	www.sjrwmd.com
Health Department	Septic	(407) 665-3621	

Other Resources:

Flood Prone Areas	www.seminolecountyfl.gov/gm/building/flood/index.aspx
Watershed Atlas	www.seminole.wateratlas.usf.edu
Seminole Co. Property Appraiser	www.scpafl.org