



SEMINOLE COUNTY, FLORIDA
Development Review Committee
Meeting Agenda

Wednesday, November 8, 2023

9:00 AM

Zoom

This meeting will be held remotely via Zoom. The public may email devrevdesk@seminolecountyfl.gov to request a Zoom link to attend in "listen only" mode. Specific questions regarding any project on this agenda should be directed to the Project Manager.

DRC

9:00AM (ZOOM) MULTIFAMILY TOWNHOMES - PRE-APPLICATION

[2023-1186](#)

Project Number: 23-80000145

Project Description: Proposed Site Plan and Rezone for a multifamily townhome development on 10.6 acres in the A-1 Zoning District located on the south side of Hillview Dr, east of S SR 434

Project Manager: Doug Robinson (407) 665-7308
(drobinson03@seminolecountyfl.gov)

Parcel ID: 22-19-29-300-0360-0000+++

BCC District: 3-Constantine

Applicant: Socrate Exantus (407) 674-5601

Consultant: Rodolfo Sucre (407) 743-2754

Attachments: [APPLICATION](#)
[COMMENTS](#)

PRE- APPLICATIONS

COMMENTS ONLY (NO MEETING SCHEDULED)

HEATHROW COUNTRY CLUB DRIVING RANGE - SITE PLAN

[2023-1185](#)

Project Number: 23-06000057

Project Description: Proposed Site Plan to add an open-air canopy, lighting and, fans to an existing country club on 185.9 acres in the PD Zoning District located on the east side of Heathrow Blvd, north of W Lake Mary Blvd

Project Manager: Joy Giles (407) 665-7399 (jgiles@seminolecountyfl.gov)

Parcel ID: 12-20-29-300-001L-0000

BCC District: 5-Herr

Applicant: John Lepak (407) 427-3832

Consultant: Anne Roun (407) 410-8624

Attachments: [APPLICATION](#)
[COMMENTS](#)



SEMINOLE COUNTY, FLORIDA

COUNTY SERVICES
BUILDING
1101 EAST FIRST STREET
SANFORD, FLORIDA
32771-1468

Agenda Memorandum

File Number: 2023-1186

Title:

9:00AM (ZOOM) MULTIFAMILY TOWNHOMES - PRE-APPLICATION

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Parcel ID: 22-19-29-300-0360-0000+++

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**SEMINOLE COUNTY
PLANNING & DEVELOPMENT DIVISION
1101 EAST FIRST STREET, ROOM 2028
SANFORD, FLORIDA 32771
(407) 665-7371 EPLANDESK@SEMINOLECOUNTYFL.GOV**

PROJ. #: 23-80000145

Received: 10/18/23

Paid: 10/18/23

PRE-APPLICATION

INCOMPLETE APPLICATIONS WILL NOT BE ACCEPTED

APPLICATION FEE

PRE-APPLICATION \$50.00

PROJECT

PROJECT NAME: Multifamily Townhomes Residential Development

PARCEL ID #(S): 22-21-29-300-0360-0000, 22-21-29-300-036A-0000, 22-21-29-300-036C-0000,
22-21-29-300-036D-0000, 22-21-29-300-036F-0000, 22-21-29-300-0500-0000

TOTAL ACREAGE: 10.6 BCC DISTRICT: District 3

ZONING: A-1 FUTURE LAND USE: LDR

APPLICANT

NAME: Socrate Exantus COMPANY: All County CFL Property Management

ADDRESS: 390 N Orange Ave. Suite 2300

CITY: Orlando STATE: Florida ZIP: 32801

PHONE: (407) 674-5601 ext 102 EMAIL: ~~Contact@allcountyfl.com~~ socrate@allcountypm.com

CONSULTANT

NAME: Rodolfo Sucre COMPANY: RSP Engineers, Inc.

ADDRESS: 111 N Orange Ave Suite 800 148

CITY: Orlando STATE: Florida ZIP: 32801

PHONE: (407) 743-2754 EMAIL: Rsucre@rspengineers.com

PROPOSED DEVELOPMENT (CHECK ALL THAT APPLY)

SUBDIVISION LAND USE AMENDMENT REZONE SITE PLAN SPECIAL EXCEPTION

Description of proposed development: Townhomes development and infrastructure to support it

STAFF USE ONLY

COMMENTS DUE: **10/27** COM DOC DUE: **11/2** DRC MEETING: **11/8**

PROPERTY APPRAISER SHEET PRIOR REVIEWS:

ZONING: **A-1** FLU: **LDR** LOCATION: **on the south side of Hillview Dr,
east of S SR 434**

W/S: **N/A** BCC: **3: Constantine**



October 2nd, 2023

SEMINOLE COUNTY PLANNING & DEVELOPMENT DIVISION
1101 East First Street
Sanford, Florida 32771

RE: PRE-APPLICATION DETAILED NARRATIVE
RPS JOB#: SE101 MULTIFAMILY TOWNHOMES RESIDENTIAL DEVELOPMENT

Introduction:

This project narrative outlines the proposed Multifamily Townhomes Residential Development with reference address at 525 Hillview Dr. Altamonte Springs, Florida 32714, located within unincorporated Seminole County. The project aims to develop a townhome residential community on 6 contiguous and individual lots totaling 10.6 acres, all currently zoned for A-1 (Agriculture). The proposed plan includes rezoning to R-3 (Multiple-Family Dwelling for townhomes) as well as changing its land use to HDR (High Density Residential) from its current LDR (Low Density Residential) so as to provide the necessary framework for the construction of high-density residential units and communal amenities.

Project Goals and Benefits:

Increased Housing Options: By providing high-density multifamily townhome units, the project will contribute to addressing the housing needs of Altamonte Springs' diverse population, including individuals and families seeking affordable and accessible housing.

Community Amenities: Residents will benefit from well-designed communal spaces, recreational areas, and green spaces, fostering a sense of community and well-being.

Economic Growth: The development will stimulate economic growth by creating job opportunities during construction and in the ongoing management of the townhome residential community.

Increased Property Values: Surrounding properties may experience an increase in value as a result of the improved neighborhood and community amenities.

Compliance and Approvals:

The proposed project will adhere to all relevant zoning codes, land use regulations, and environmental guidelines set forth by Seminole County and the State of Florida. We will work closely with county officials and agencies to ensure that all necessary permits and approvals are obtained in a timely and compliant manner.

Conclusion:

The proposed Multifamily Townhomes Residential Development at 525 Hillview Dr. Altamonte Springs, Florida 32714, represents an opportunity to maximize the existing land use into a thriving and sustainable residential community. By rezoning the property to R-3 and changing its land use to HDR, the project aims to meet the growing demand for high-density multifamily townhome housings while delivering economic benefits to the community and preserving the local environment.



CERTIFY TO:
RSP ENGINEERS, INC.

BENCHMARK OF ORIGIN:

ELEVATIONS AND BENCHMARKS SET ON SITE WERE DONE USING A RTK GNSS RECEIVER.

Notes:

- a) all clearances and / or encroachments shown hereon are of apparent nature. fence ownership by visual means. legal ownership of fences not determined.
- b) this is a boundary survey, prepared for use exclusively by those to whom it is certified.
- c) code restriction and title search are not reflected on this survey.
- d) the flood information shown hereon does not imply that the referenced property will or will not be free from flooding or damage and does not create liability on the part of the firm, any officer or employee thereof for any damage that results from reliance on said information.
- e) the lands depicted hereon were surveyed per the legal description and no claims as to ownership or matters of title are made or implied.
- f) underground encroachments, if any, not located.
- g) I hereby certify that the survey represented hereon meets the minimum technical standards set forth by the board of land surveyors in chapter 5j-17.050 to 17.052 florida administrative code pursuant to section 472.027 fl. statutes.
- h) record bearings depicted on the survey are based off the legal descriptions of the surveyed land.
- i) if shown, elevations are referred to n.a.v.d. 1988
- j) project site is located in the N.E. 1/4 of S.W. 1/4 of Section 22, Township 21 South, Range 29 East.

FLOOD ZONE INFORMATION:

A PORTION OF THE LAND SURVEYED IS IN A FLOOD ZONE. THE AREA IN THE FLOOD ZONE IS DEPCITED ON THE SURVEY. A MAJORITY OF THE LAND IS NOT IN A FLOOD ZONE.

PORTION OF LAND NOT IN A FLOOD ZONE:
THE NFIP FLOOD MAPS HAVE DESIGNATED THE HEREIN DESCRIBED LAND TO BE SITUATED

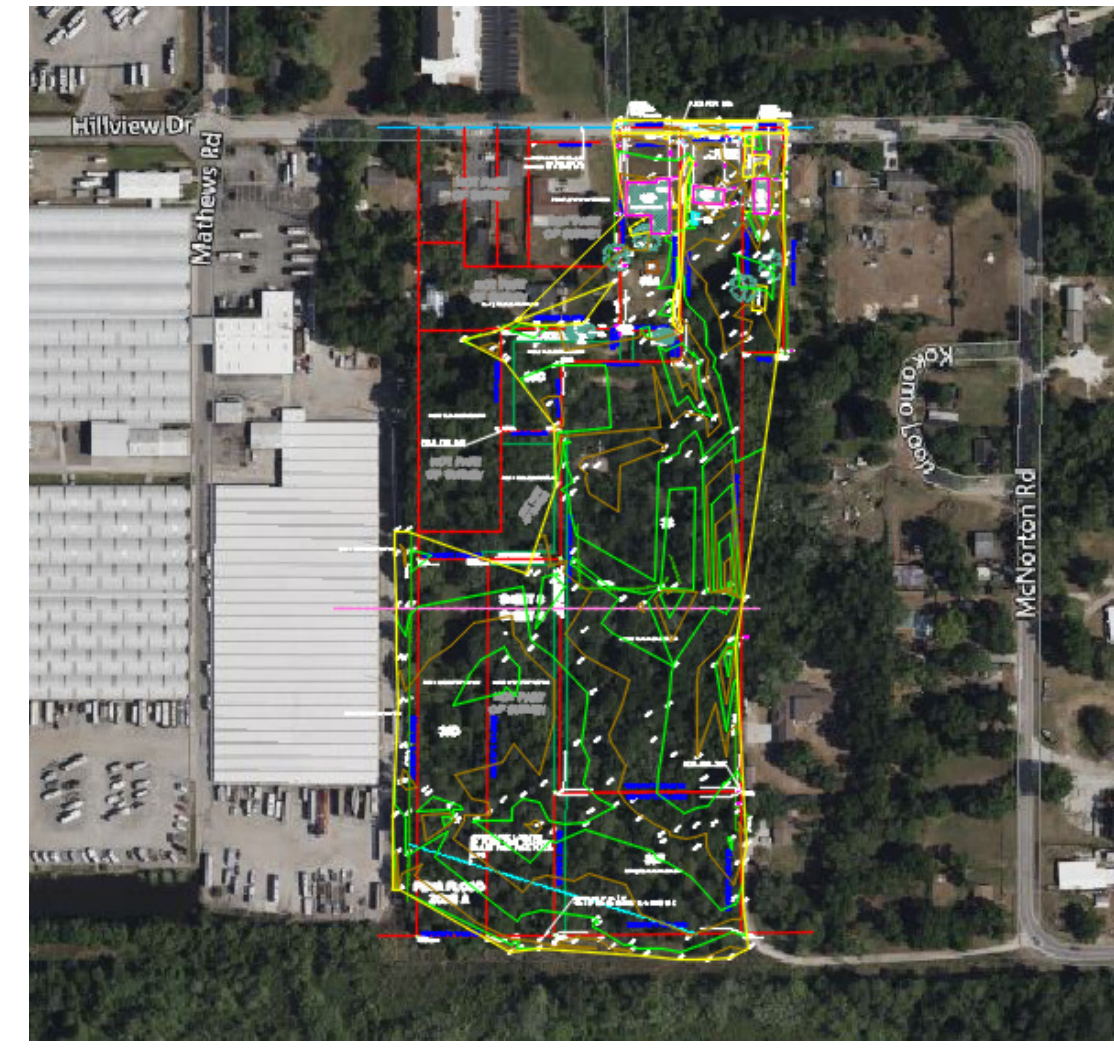
IN FLOOD ZONE: X
PANEL NO/SUFFIX: 145/F
COMMUNITY NO.: 120289
DATE OF FIRM: 9/28/2007

PORTION OF LAND IN A FLOOD ZONE:
THE NFIP FLOOD MAPS HAVE DESIGNATED THE HEREIN DESCRIBED LAND TO BE SITUATED

IN FLOOD ZONE: A
PANEL NO/SUFFIX: 145/F
COMMUNITY NO.: 120289
DATE OF FIRM: 9/28/2007

ACCURACY:

THE ACCURACY OF THE SURVEY WAS BASED ON THE DATA SHEET OF CARLSON BRx7 GNSS RECIEVER. THE HORIZONTAL ACCURACY ACHIEVED WAS ±0.05' WITH 95% CONFIDENCE ALONG THE SEMI-MAJOR AXIS. THE VERTICAL ACCURACY ACHIEVED WAS ±0.10'.



**LOCATION MAP
NOT TO SCALE**

**N.E. 1/4 OF S.W. 1/4 OF SECTION 22, TOWNSHIP 21 SOUTH,
RANGE 29 EAST SEMINOLE COUNTY FLORIDA**

LEGAL DESCRIPTION:

PARCEL 36 LEGAL DESCRIPTION:

COMMENCE AT THE NORTHEAST CORNER OF THE WEST 3 CHAINS OF THE EAST 1/2 OF THE N.E. 1/4 OF THE S.W. 1/4 OF SECTION 22, TOWNSHIP 21 SOUTH, RANGE 29 EAST AND RUN S00°05'09"W ALONG THE EAST LINE OF THE WEST 3 CHAINS OF THE EAST 1/2 OF THE N.E. 1/4 OF THE S.W. 1/4 OF SAID SECTION 22 25.00 FEET TO A POINT ON THE SOUTHERLY RIGHT OF WAY LINE OF HILL VIEW DRIVE, SAID POINT BEING THE POINT OF BEGINNING, THENCE CONTINUE S00°05'09"W ALONG SAID EAST LINE 1053.66 FEET, THENCE RUN S89°44'54"W 294.31 FEET, THENCE RUN N00°05'07"E 698.83 FEET, THENCE RUN N89°44'53"E 194.31 FEET, THENCE RUN N00°05'07"E 355.00 FEET TO A POINT ON THE SOUTHERLY RIGHT OF WAY LINE OF HILL VIEW DRIVE, THENCE RUN N89°50'53"E ALONG SAID SOUTHERLY RIGHT-OF-WAY LINE 100.00 FEET TO THE POINT OF BEGINNING . CONTAINING 5.5362 ACRES. TOGETHER WITH AND SUBJECT TO AN EASEMENT FOR INGRESS AND EGRESS DESCRIBED AS FOLLOWS:

COMMENCE AT THE NORTHEAST CORNER OF THE WEST 3 CHAINS OF THE EAST 1/2 OF THE N.E. 1/4 OF THE S.W. 1/4 OF SECTION 22, TOWNSHIP 21 SOUTH, RANGE 29 EAST AND RUN S00°05'09"W ALONG THE EAST LINE OF THE WEST 3 CHAINS OF THE EAST 1/2 OF THE N.W. 1/4 OF THE S.W. 1/4 OF SAID SECTION 22 25.00 FEET TO A POINT ON THE SOUTHERLY RIGHT OF WAY LINE OF HILL VIEW DRIVE, THENCE RUN S89°50'53"W 178.00 FEET ALONG SAID SOUTHERLY RIGHT OF WAY, THENCE RUN S00°05'07"W 305.00 FEET TO THE POINT OF BEGINNING, THENCE CONTINUE S00°05'07"W 50.14 FEET, THENCE RUN S89°44'53"W 20.00 FEET, THENCE RUN N00°05'07"E 32.62 FEET, THENCE RUN S89°44'53"W 172.62 FEET, THENCE RUN S00°05'07"W 145.07 FEET, THENCE RUN N89°44'53"E 86.31 FEET, THENCE S00°05'07"W 818.03 FEET TO A POINT ON THE SOUTH LINE OF THE N.E. 1/4 OF THE S.W. 1/4 OF SAID SECTION 22, THENCE RUN S89°26'55"W ALONG SAID SOUTH LINE 20.00 FEET, THENCE RUN N00°05'07"E 601.39 FEET, THENCE RUN S89°44'53"W 107.24 FEET, THENCE RUN N00°05'07"E 10.00 FEET, THENCE RUN S89°44'53"W 10.00 FEET, THENCE RUN N00°05'07"E 10.00 FEET, THENCE RUN N89°44'53"E 117.24 FEET, THENCE RUN N00°05'07"E 176.74 FEET, THENCE RUN N89°44'53"W 86.19 FEET, THENCE RUN N00°05'07"E 185.07 FEET, THENCE RUN N89°44'53"E 192.62 FEET, THENCE RUN S00°05'07"W 2.45 FEET, THENCE RUN N89°50'53"E 20.00 FEET TO THE POINT OF BEGINNING.

PARCEL 36A LEGAL DESCRIPTION:

BEGIN 559.12 FEET WEST OF CENTER OF SECTION RUN WEST 98 FEET, THENCE SOUTH 330 FEET, THENCE EAST 98 FEET, THENCE NORTH 330 FEET TO BEGINNING OF SECTION 22, TOWNSHIP 21 SOUTH, RANGE 29 EAST, SEMINOLE COUNTY, FLORIDA.

PARCEL 36C LEGAL DESCRIPTION:

COMMENCE AT THE NORTHEAST CORNER OF THE WEST 3 CHAINS OF THE EAST 1/2 OF THE N.E. 1/4 OF THE S.W. 1/4 OF SECTION 22, TOWNSHIP 21 SOUTH, RANGE 29 EAST AND RUN S.00° 05' 09"W ALONG THE EAST LINE OF SAID WEST 3 CHAINS OF THE EAST 1/2 OF THE N.E. 1/4 OF THE S.W. 1/4 OF SAID SECTION 22 1308.81 FEET, THENCE RUN S. 89° 26' 55" W. 525.63 FEET ALONG THE SOUTH LINE OF THE N.E. 1/4 OF THE S.W. 1/4 OF SAID SECTION 22, THENCE RUN N. 00° 05' 07" E. 656.72 FEET ALONG THE WEST LINE OF THE SOUTH 3/4 OF THE EAST 1/2 OF THE WEST 1/2 OF THE N.E. 1/4 OF THE S.W. 1/4 OF SAID SECTION 22, THENCE RUN N. 89° 44' 53" E. 135.00 FEET, THENCE RUN N. 00° 05' 07" E 162.57 FEET TO THE POINT OF BEGINNING, THENCE CONTINUE N. 00° 05'07" E. 165.07 FEET, THENCE RUN N. 89° 44' 53" E. 192.62 FEET, THENCE RUN S. 00° 05' 08"W 2.45 FEET, THENCE RUN N. 89° 50' 53" E. 98.00 FEET, THENCE RUN S. 00° 05'07" W. 50.00 FEET, THENCE RUN S. 89° 44' 53" W. 194.31 FEET, THENCE RUN S. 00° 05'07" W. 112.45 FEET, THENCE RUN S. 89° 44' 53" W. 96.31 FEET TO THE POINT OF BEGINNING. CONTAINING .5940 ACRES, TOGETHER WITH AND SUBJECT TO AN EASEMENT FOR INGRESS AND EGRESS DESCRIBED AS FOLLOWS:

COMMENCE AT THE NORTHEAST CORNER OF THE WEST 3 CHAINS OF THE EAST 1/2 OF THE N.E. 1/4 OF THE S.W. 1/4 OF SECTION 22, TOWNSHIP 21 SOUTH, RANGE 29 EAST AND RUN S00°05'09"W ALONG THE EAST LINE OF THE WEST 3 CHAINS OF THE EAST 1/2 OF THE N.W. 1/4 OF THE S.W. 1/4 OF SAID SECTION 22 25.00 FEET TO A POINT ON THE SOUTHERLY RIGHT OF WAY LINE OF HILL VIEW DRIVE, THENCE RUN S89°50'53"W 178.00 FEET ALONG SAID SOUTHERLY RIGHT OF WAY, THENCE RUN S00°05'07"W 305.00 FEET TO THE POINT OF BEGINNING, THENCE CONTINUE S00°05'07"W 50.14 FEET, THENCE RUN S89°44'53"W 20.00 FEET, THENCE RUN N00°05'07"E 32.62 FEET, THENCE RUN S89°44'53"W 172.62 FEET, THENCE RUN S00°05'07"W 145.07 FEET, THENCE RUN N89°44'53"E 86.31 FEET, THENCE S00°05'07"W 818.03 FEET TO A POINT ON THE SOUTH LINE OF THE N.E. 1/4 OF THE S.W. 1/4 OF SAID SECTION 22, THENCE RUN S89°26'55"W ALONG SAID SOUTH LINE 20.00 FEET, THENCE RUN N00°05'07"E 601.39 FEET, THENCE RUN S89°44'53"W 107.24 FEET, THENCE RUN N00°05'07"E 10.00 FEET, THENCE RUN S89°44'53"W 10.00 FEET, THENCE RUN N00°05'07"E 10.00 FEET, THENCE RUN N89°44'53"E 117.24 FEET, THENCE RUN N00°05'07"E 176.74 FEET, THENCE RUN N89°44'53"W 86.19 FEET, THENCE RUN N00°05'07"E 185.07 FEET, THENCE RUN N89°44'53"E 192.62 FEET, THENCE RUN S00°05'07"W 2.45 FEET, THENCE RUN N89°50'53"E 20.00 FEET TO THE POINT OF BEGINNING.

PARCEL 36D LEGAL DESCRIPTION:

LEG SEC 22 TWP 21S RGE 29E BEG SE COR OF W 1/4 OF NE1/4 OF SW1/4 RUN N 612.55 FT E 114.07 FT S 611.95 FT W 114.07 FT TO BEG (1.6032 AC)

PARCEL 36F LEGAL DESCRIPTION:

COMMENCE AT THE NORTHEAST CORNER OF THE WEST 3 CHAINS OF THE EAST 1/2 OF THE N.E. 1/4 OF THE S.W. 1/4 OF SECTION 22, TOWNSHIP 21 SOUTH, RANGE 29 EAST AND RUN S. 00°05'09" W. ALONG THE EAST LINE OF SAID WEST 3 CHAINS OF THE EAST 1/2 OF THE N.E. 1/4 OF THE S.W. 1/4 OF SAID SECTION 22, 1078.66 FEET TO THE POINT OF BEGINNING, THENCE CONTINUE S. 00°05'09"W. ALONG SAID EAST LINE 230.15 FEET, THENCE RUN S.89°26'55"W. ALONG THE SOUTH LINE OF THE N.E. 1/4 OF THE S.W. 1/4 OF SAID SECTION 22 302.40 FEET, THENCE RUN N.00°05'07"E. 231.74 FEET, THENCE RUN N.89°044'54"E. 302.40 FEET TO THE POINT OF BEGINNING. CONTAINING 1.6032 ACRES.

PARCEL 50 LEGAL DESCRIPTION:

THE WEST 66 FEET OF THE EAST 458.5 FEET TO THE NORTHEAST 1/4 OF THE SOUTHWEST 1/4 OF SECTION 22, TOWNSHIP 21 SOUTH, RANGE 29 EAST (LESS THE SOUTH 942.8 FEET). TOGETHER WITH THAT CERTAIN 1970 FLEET MOBILE HOME, I.D. #5L3406, LOCATED THEREON.

L.B. # 8077
9485 SW 98 STREET
MIAMI, FLORIDA 33176
E-MAIL: tjksurvey@gmail.com
TEL: (786) 242-3333

THOMAS J. KELLY INC.
SURVEYORS-MAPPERS
LAND PLANNERS

519-525-529 HILLVIEW & VACANT LANDS OFF
DRIVE ALTAMONTE HILLVIEW DRIVE
SPRINGS, FL 32714 ALTAMONTE SPRINGS, FL

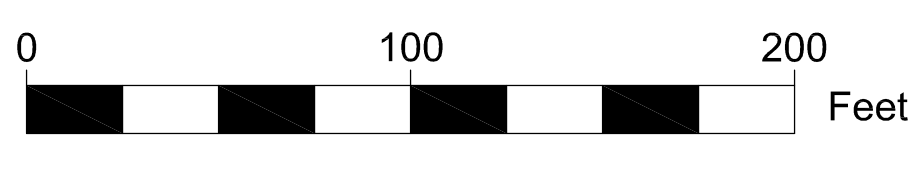
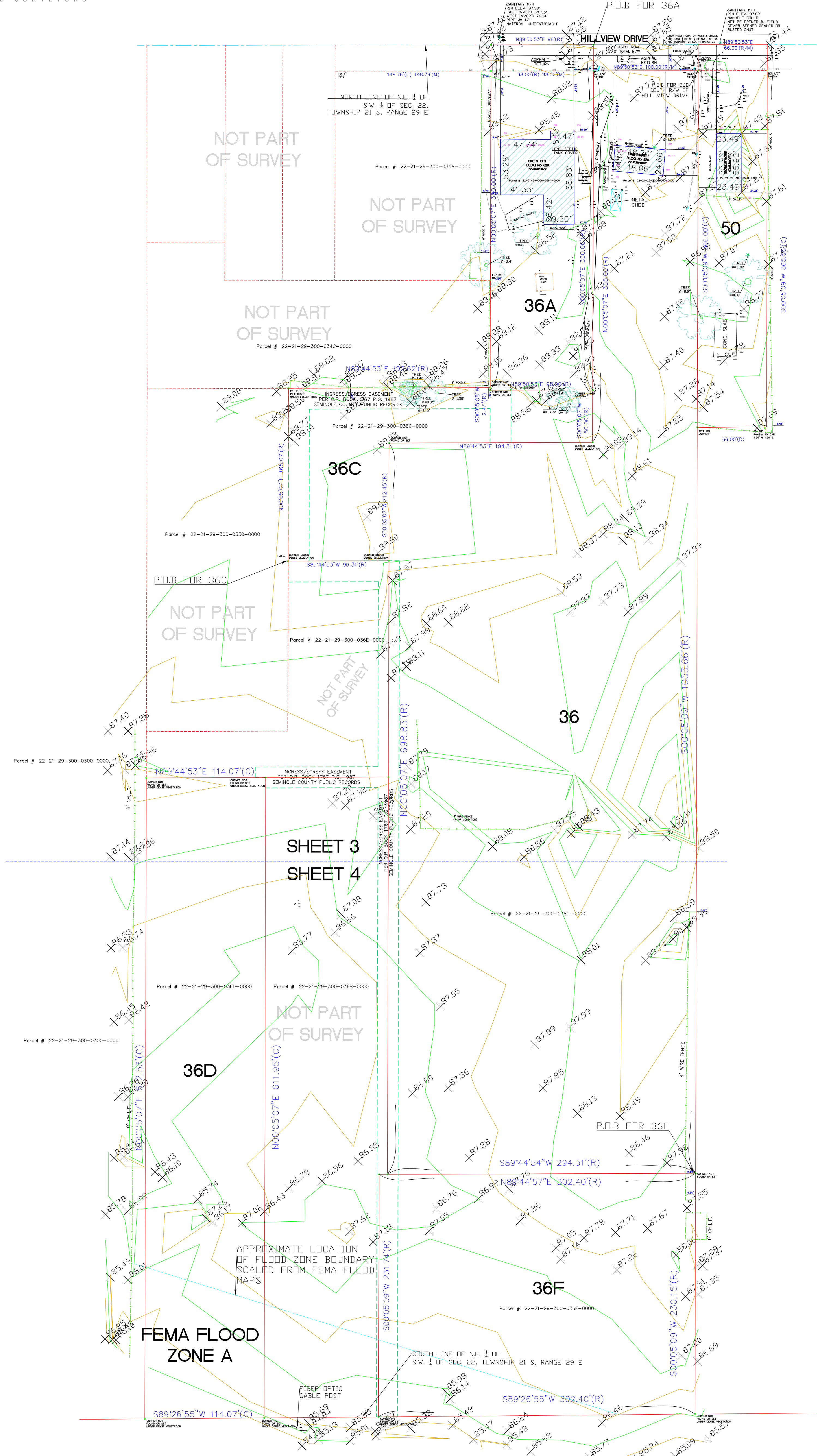
TOPOGRAPHIC
SURVEY

DRAWN BY
J.P.IV

DATE
10/16/23

REVISIONS
BOUNDARY & TOPO

SCALE: N.T.S.
SHEET No. 1 of 4
SURVEY No. 23-1370



LEGEND OF SYMBOLOLOGY		LEGEND OF SURVEY ABBREVIATIONS	
	MAN HOLE SANITARY SEWER	ADJ.	ADJACENT
	CATCH BASIN	A/C	AIR CONDITIONER
	FIRE HYDRANT	ASPH. PAV.	ASPHALT PAVEMENT
	SIGN	B/C	BLOCK CORNER
	HANDICAP PARKING	BLDG.	BUILDING
	CONC. LIGHT POLE	B/L	BLOCK
	WATER METER	B.M.	BENCHMARK COUNTY RECORD
	WATER VALVE	C/G	CURB AND GUTTER
	ELECTRIC BOX	C/B	CATCH BASIN
	T.V. BOX	CH.	CHORD DISTANCE
	ELECTRIC METER	CHLF.	CHAIN LINK FENCE
	WOOD LIGHT POLE	CLP.	CONC. LIGHT POLE
	UTILITY POLE	CL.	CENTER LINE
	X 99.99 = SPOT ELEVATION	CO.	CALCULATED
		CL.	CONCRETE BLOCK AND STUCCO
		CL.	CLEAR
		CL.	CLEARANCE
		CL.	CLEARANCE EASEMENT
		CONC.	CONCRETE
		COR.	CORNER
		CT.	COURT
		CR.	CRIB
		D.C.B.	DADE COUNTY RECORD
		D.E.	DRAINAGE EASEMENT
		D/H.	DRILL HOLE
		D/W.	DRIVEWAY
		ENC.	ENCROACHMENT
		E.M.	EDGE OF METER
		F.	FENCE
		F.F.	FIRE HYDRANT
		F.L.P.	FLOOR FINISH PIPE
		F.L.ELEV.	FLOOR FINISH ELEVATION
		F.P.L.	FLORIDA POWER AND LIGHT CO.
		L.M.E.	LAND MAINTENANCE EASEMENT
		M.E.	MAINTENANCE EASEMENT
		M.F.	MANHOLE FLOOR FINISH
		M.H.S.S.	MANHOLE SANITARY SEWER
		M.L.	MONUMENT LINE
		M.	MEASURED
		N.	NORTH
		N/D.	NAIL AND DISC
		N.G.V.D.	NATIONAL GEODETIC VERTICAL DATUM
		N.T.S.	NOT TO SCALE
		O.A.	OVER HANG
		O.R.B.	OFFICIAL RECORD BOOK
		O.U.	OVERHEAD UTILITY LINE
		P.	PLAT
		P.B.	PLAT BOOK
		P.C.	POINT OF CURVATURE
		P.C.P.	POINT OF COMMENCING CURVATURE
		P.C.P.	PERMANENT CONTROL POINT
		P.C.	FACE
		P.I.	Point of Intersection
		P.K.	PARADE
		P.M.	PARKWAY
		P.L.S.	PROFESSIONAL LAND SURVEYOR
		P/L	PROPERTY LINE
		P.O.B.	POINT OF BEGINNING
		P.O.C.	POINT OF COMMENCEMENT
		P.O.R.	POINT OF REVERSE CURVATURE
		P.P.M.	PERMANENT REFERENCE MONUMENT
		P.T.	POINT OF TANGENCY
		R.	RECORD
		R.C.B.A.R.	REINFORCEMENT BAR
		R/M.	RECORD AND MEASURED
		R.	RESIDENCE
		R/W.	RIGHT-OF-WAY
		S.	SECTION
		S.I.P.	SET IRON PIPE
		S.W.	SIDEWALK
		S.W.	SECTION
		TYP.	TYPICAL
		TERR.	TERRACE
		U.E.	UTILITY EASEMENT
		U.F.	UTILITY FLOOR
		U.F.P.	UTILITY FLOOR FINISH
		U.M.	UTILITY METER
		W.	WEST

L.B. # 8077
9485 SW 98 STREET
MIAMI FLORIDA 33176
TEL(786) 242-1411
E-MAIL: tjksurvey@gmail.com

THOMAS J. KELLY INC.
SURVEYORS-MAPPERS
LAND PLANNERS

519-525-529 HILLVIEW & VACANT LANDS OFF
DRIVE ALTAMONTE HILLVIEW DRIVE
SPRINGS, FL 32714 ALTAMONTE SPRINGS, FL

TOPOGRAPHIC SURVEY

DRAWN BY J.P.IV

DATE 10/6/23

REVISIONS

SCALE: 1:50
SHEET No. 2 of 4

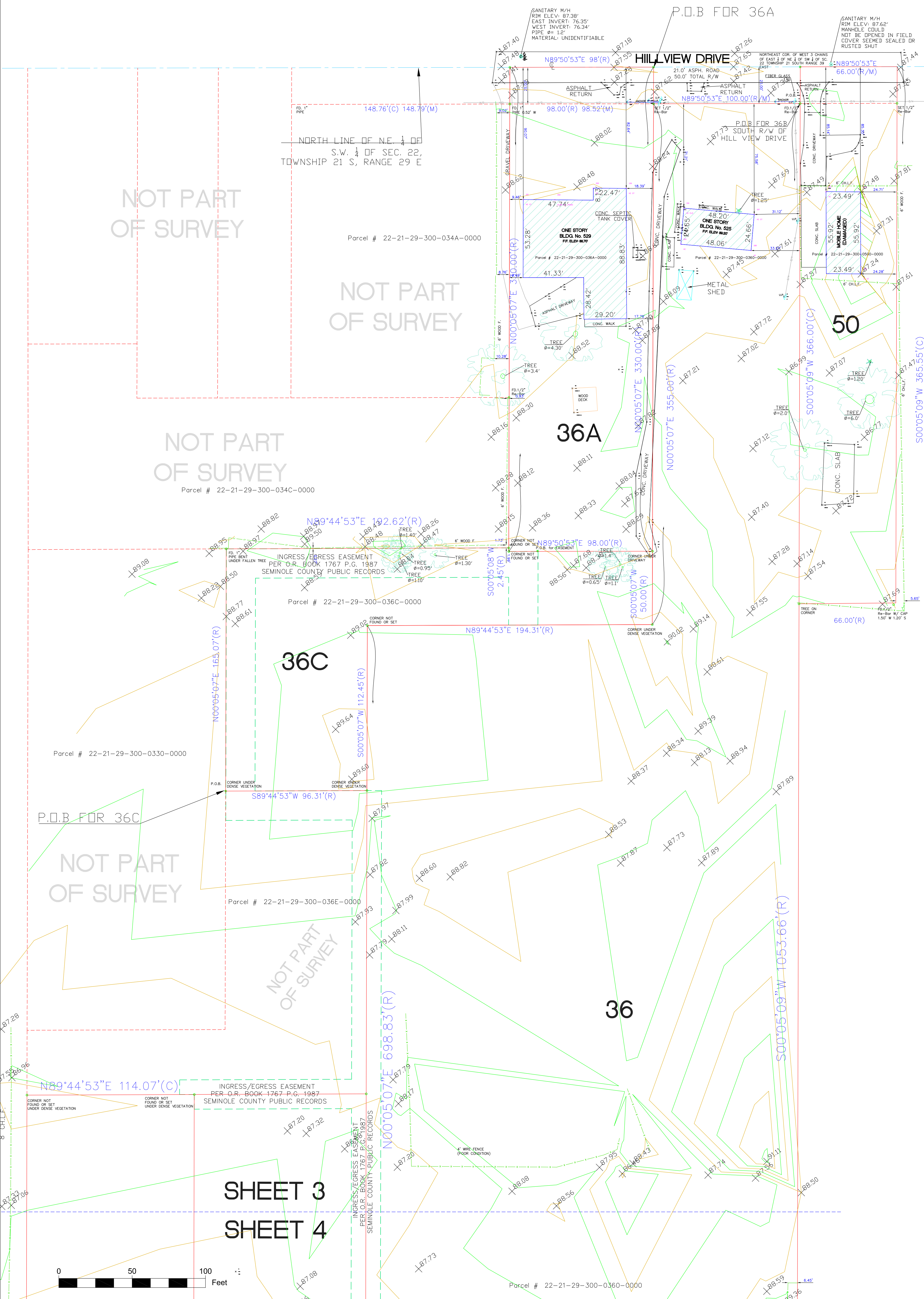


LEGEND OF SYMBOLOLOGY

- MAN HOLE SANITARY SEWER
- CATCH BASIN
- FIRE HYDRANT
- SIGN
- HANDICAP PARKING
- CONC. LIGHT POLE
- WATER METER
- WATER VALVE
- ELECTRIC BOX
- T.V. BOX
- ELECTRIC METER
- WOOD LIGHT POLE
- METAL LIGHT POLE
- UTILITY POLE
- X 99.99 = SPOT ELEVATION

LEGEND OF SURVEY ABBREVIATIONS

- ADJ. ADJACENT
- A/C AIR CONDITIONER
- ASPH. PAV. ASPHALT PAVEMENT
- B/C BLOCK CORNER
- BLDG. BUILDING
- B/K BENCH MARK
- B.M. BENCHMARK COUNTY RECORD
- C/G CURB AND GUTTER
- CH. CHORD DISTANCE
- CHLN LINK FENCE
- CLP. CONCRETE LIGHT POLE
- CL. CENTER LINE
- C. CALCULATED
- CL. CONCRETE BLOCK AND STUCCO CLEAR
- CONC. CONCRETE
- CONC. CONCRETE MAINTENANCE EASEMENT
- COR. CORNER
- CT. COURT
- CS. CEILING
- D.C.R. DADE COUNTY RECORD
- D.E. DRAINAGE EASEMENT
- D/H DRILL HOLE
- D/W DRIVEWAY
- ENC. ENCROACHMENT
- E.M. EDGE OF WATER
- F.D. FENCE
- F.H. FIRE HYDRANT
- F.I.P. FOUND IRON PIPE
- F.F. FINISH FLOOR ELEVATION
- F.P. FLORIDA POWER AND LIGHT CO.
- L.M.E. LENGTH MAINTENANCE EASEMENT
- M.E. MAINTENANCE EASEMENT
- M.F. METAL FENCE
- M.H.S. MANHOLE SANITARY SEWER
- M.L. MONUMENT LINE
- (M) MEASURED
- N NORTH
- N/D. NAIL AND DISC
- N.G.V.D. NATIONAL GEODETIC VERTICAL DATUM
- N.T.S. NOT TO SCALE
- O.H. OVER HANG
- O.R.B. OFFICIAL RECORD BOOK
- O.U.L. OVERHEAD UTILITY LINE
- (P) PLAT
- P.B. PLAT BOOK
- P.C. POINT OF CURVATURE
- P.C.C. POINT OF COMMENCING CURVATURE
- P.C.P. PERMANENT CONTROL POINT
- P.I. POINT OF INTERSECTION
- P.K. PARKWAY
- P.L.S. PROFESSIONAL LAND SURVEYOR
- P/L PROPERTY LINE
- P.O.B. POINT OF BEGINNING
- P.O.C. POINT OF COMMENCEMENT
- P.O.R. POINT OF REVERSE CURVATURE
- P.P.M. PERMANENT REFERENCE MONUMENT
- P.T. POINT OF TANGENCY
- (R) RECORD
- R.E.B. REINFORCEMENT BAR
- (R/M) RECORD AND MEASURED
- R/S. RESIDENCE
- R/W RIGHT-OF-WAY
- SEC. SECTION
- S.I.P. SET IRON PIPE
- S.W. SIDEWALK
- (TYP.) TYPICAL
- TOP. TERRACE
- U.E. UTILITY EASEMENT
- U.F. UTILITY FLOOR
- W.F. WOOD FENCE
- W.M. WATER METER
- W. WEST



L.B. # 8077
 9495 SW 98 STREET
 MIAMI, FLORIDA 33176
 TEL: (786) 242-2400
 E-MAIL: tjksurvey@gmail.com

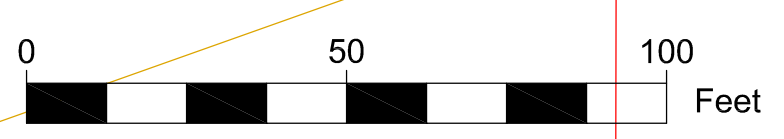
THOMAS J. KELLY INC.
 SURVEYORS-MAPPERS
 LAND PLANNERS

519-525-529 HILLVIEW
 DRIVE ALTAMONTE
 SPRINGS, FL 32714

TOPOGRAPHIC
 SURVEY

REVISIONS	DATE	DRAWN BY
BOUNDARY & TOPO	10/6/23	J.P.V
SURVEY No. 23-1370		SHEET No. 3 of 4

SHEET 3
SHEET 4



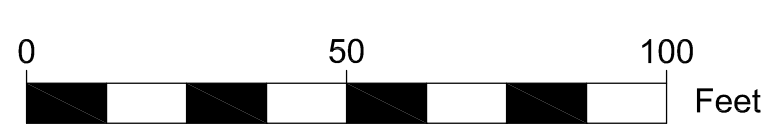
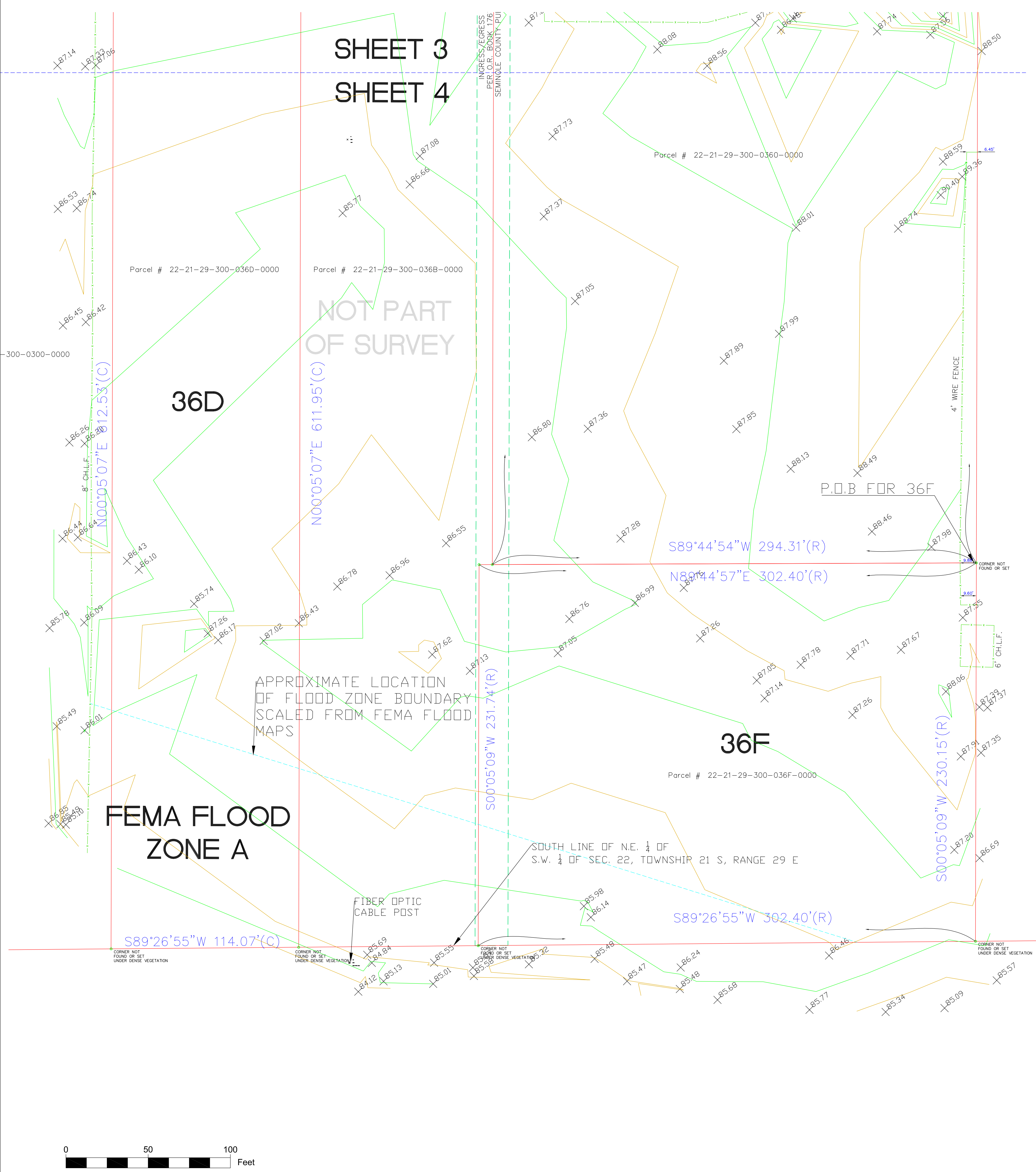


LEGEND OF SYMBOLOLOGY

- MAN HOLE SANITARY SEWER
- CATCH BASIN
- FIRE HYDRANT
- SIGN
- HANDICAP PARKING
- CONC. LIGHT POLE
- WATER METER
- WATER VALVE
- ELECTRIC BOX
- T.V. BOX
- ELECTRIC METER
- WOOD LIGHT POLE
- METAL LIGHT POLE
- UTILITY POLE
- X 99.99 = SPOT ELEVATION

LEGEND OF SURVEY ABBREVIATIONS

- ADJ. ADJACENT
- A/C. AIR CONDITIONER
- ASPH. PAV. ASPHALT PAVEMENT
- B/C. BLOCK CORNER
- BLDG. BUILDING
- BLK. BLOCK
- B.M. BENCH MARK
- B.C.R. BROWARD COUNTY RECORD
- C/V. CURB AND GUTTER
- C.B. CATCH BASIN
- C.D. CHORD DISTANCE
- CH.L.F. CHAIN LINK FENCE
- C.P. CONCRETE PILE
- C/L. CENTER LINE
- (C) CALCULATED
- C.B.S. CONCRETE BLOCK AND STUCCO
- C. CLEAR
- C.M.E. CANAL MAINTENANCE EASEMENT
- CONC. CONCRETE
- COR. CORNER
- CT. COURT
- D.B. DEED BOOK
- D.C.R. DADE COUNTY RECORD
- D.E. DRAINAGE EASEMENT
- D/H. DRILL HOLE
- D/W. DRIVEWAY
- E. EAST
- ENC. ENCROACHMENT
- E.O.W. EDGE OF WATER
- F. FENCE
- F.I. FOUND IRON PIPE
- F.F. FINISH FLOOR ELEVATION
- F.P.L. FLORIDA POWER AND LIGHT CO.
- L. LENGTH
- L.M.E. LAKE MAINTENANCE EASEMENT
- M.E. MAINTENANCE EASEMENT
- M.F. METAL FENCE
- M.H.S.S. MANHOLE SANITARY SEWER
- M/L. MONUMENT LINE
- (M) MEASURED
- N. NORTH
- N/D. NAIL AND DISC
- N.G.V.D. NATIONAL GEODETIC VERTICAL DATUM
- N.T.S. NOT TO SCALE
- O.H. OVER HANG
- O.U.L. OVERHEAD UTILITY LINE
- (P) PLAT
- P.B. PLAT BOOK
- P.C. POINT OF CURVATURE
- P.C.C. POINT OF COMPOUND CURVATURE
- P.C.P. PERMANENT CONTROL POINT
- P.G. PAGE
- P.I. POINT OF INTERSECTION
- P.K. PARKER KALON
- P.W.Y. PARKWAY
- P.L.S. PROFESSIONAL LAND SURVEYOR
- P.V.L. PROPERTY LINE
- P.O.B. POINT OF BEGINNING
- P.O.C. POINT OF COMMENCEMENT
- P.R.C. POINT OF REVERSE CURVATURE
- P.R.M. PERMANENT REFERENCE MONUMENT
- P.T. POINT OF TANGENCY
- (R) RECORD
- RE-BAR REINFORCEMENT BAR
- (R/M) RECORD AND MEASURED
- RES. RESIDENCE
- R/W. RIGHT-OF-WAY
- S. SOUTH
- SEC. SECTION
- S.I.P. SET IRON PIPE
- SM. SMOCK
- (TYP.) TYPICAL
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- U.P. UTILITY POLE
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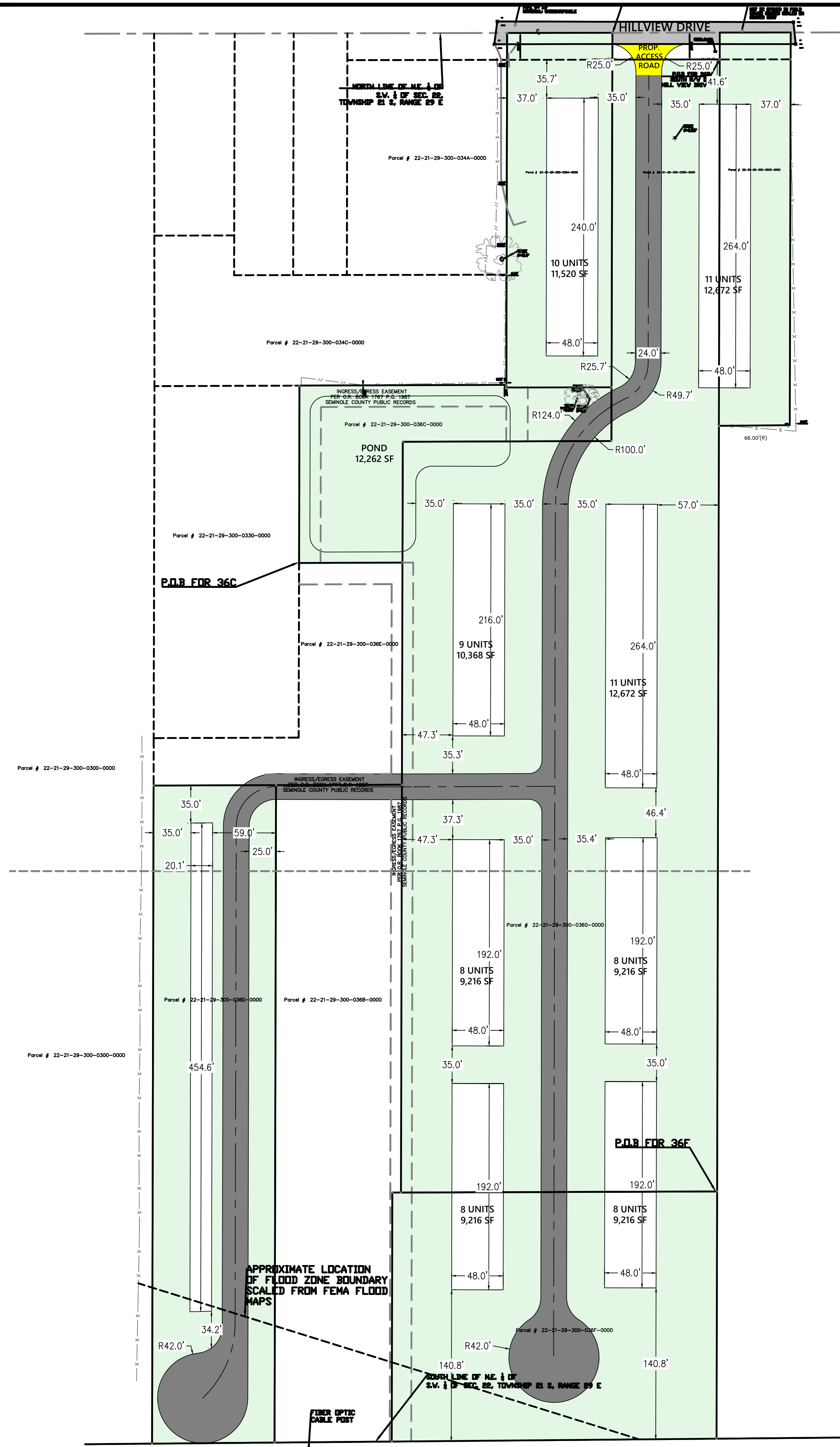
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THOMAS J. KELLY INC.
SURVEYORS-MAPPERS
LAND PLANNERS

519-525-529 HILLVIEW
DRIVE ALTAMONTE
SPRINGS, FL 32714

TOPOGRAPHIC
SURVEY

REVISIONS	DATE	DRAWN BY
BOUNDARY & TOPO	10/16/23	J.P.IV
SURVEY No. 23-1370		
SCALE: 1:30		
SHEET No. 4 of 4		



LEGEND

	PROPOSED SOD
	PROPOSED CONCRETE
	PROPOSED ASPHALT PAVEMENT
	EXISTING PROPERTY LINE
	EXISTING OVERHEAD LINE AND ELECTRIC POLES
	EXISTING FIRE HYDRANT
	PROPOSED BUFFER LINE
	PROPOSED HANDICAP SIGN
	PROPOSED STOP SIGN
	PROPOSED DIRECTIONAL MARKING SIGNS

- ### GENERAL NOTES
- FOR LEGAL DESCRIPTION, BOUNDARY INFO, AND BENCHMARK INFO, SEE SITE SURVEY SHEETS.
 - PRIOR TO ANY CONSTRUCTION, CONTRACTOR SHALL FIELD STAKE ALL CENTERLINE GEOMETRY TO ENSURE PROPOSED DIMENSIONS FIT EXISTING CONDITIONS. CONTRACTOR SHALL NOTIFY ENGINEER IMMEDIATELY IF ANY DISCREPANCIES ARISE.
 - CONTRACTOR IS RESPONSIBLE FOR PROTECTION OF ALL PROPERTY CORNERS.
 - CONTRACTOR SHALL MATCH PROPOSED CURB AND GUTTER, CONCRETE AND PAVEMENT TO EXISTING IN GRADE AND ALIGNMENT.
 - THE EARTHWORK FOR ALL BUILDING FOUNDATIONS, PAVEMENT AND SLABS SHALL BE IN ACCORDANCE WITH ARCHITECTURAL, BUILDING PLANS, AND GEOTECHNICAL REPORT. THE MORE STRINGENT CRITERIA SHALL APPLY.
 - CONTRACTOR IS RESPONSIBLE FOR REPAIRING THE DAMAGE DONE TO ANY EXISTING ITEM DURING CONSTRUCTION, SUCH AS, BUT NOT LIMITED TO, DRAINAGE UTILITIES, PAVEMENT, STRIPING, CURB, ETC. REPAIRS SHALL BE EQUAL TO, OR BETTER THAN EXISTING CONDITIONS.
 - ALL WORK AND MATERIALS SHALL COMPLY WITH ALL COUNTY REGULATIONS, CODES, AND O.S.H.A. STANDARDS.
 - CONTRACTOR SHALL REFER TO THE ARCHITECTURAL PLANS FOR EXACT LOCATIONS AND DIMENSIONS OF EXISTING BUILDINGS, DIMENSIONS AND EXACT BUILDING AND UTILITY ENTRANCE LOCATIONS.
 - PLEASE NOTE: THE LOCATION FOR ALL ADJACENT ROADWAYS, EXISTING DEVELOPMENTS, AND PROPOSED LANDS USES MUST BE SHOWN IN THE SITE PLAN.
 - PARKING SPACES MUST NOT BE LOCATED WITHIN 25' OF ANY STOP SIGN OR 25' FROM THE RIGHT OF WAY AT ENTRANCE DRIVEWAYS (THROAT DISTANCE).

SITE DATA

STATEMENT OF INTENT: OWNER PROPOSES A HIGH INTENSITY MULTIFAMILY DEVELOPMENT FOR TOWNHOMES USE AND ITS ACCESSORY INFRASTRUCTURE TO SUPPORT IT.

SITE ADDRESS: HILLVIEW DRIVE

EXISTING LAND USE: LOW DENSITY RESIDENTIAL

PROPOSED LAND USE: HIGH DENSITY RESIDENTIAL

LANDSCAPE BUFFER

BASED ON 0.5 OPACITY	REQUIRED	PROVIDED
NORTH:	25'	25'
WEST:	25'	25'
EAST:	25'	25'
SOUTH:	25'	25'

ZONING: CURRENT PD, A-1; PROPOSED R-3

SUBJECT SITE: NORTH: A-1; EAST: CITY, A-1; SOUTH: C-3, A-1; WEST:

BUILDING SETBACKS

	REQUIRED	PROVIDED
FRONT:	35'	35'
REAR:	35'	35'
SIDE (N):	35'	35'
SIDE (S):	35'	35'

PARKING

	REQUIRED	PROVIDED
2 PER DU x 72 = 144	= 144	144
TOTAL REQUIRED		

NOTE: DU = DWELLING UNIT

OPEN SPACE

Minimum	REQUIRED	PROVIDED
	25%	56.77%

FAR

	REQUIRED	PROVIDED
MAX ALLOWED 13 DU/AC x 10.6 AC = 137 DU		72 DU

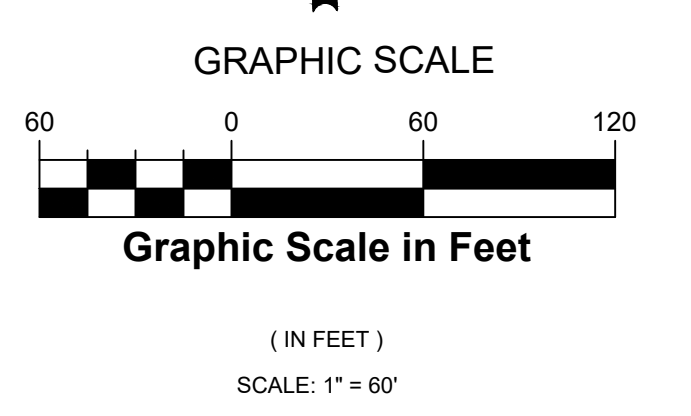
BLDG HEIGHT

	REQUIRED	PROVIDED
MAX ALLOWED 35 FT		24.95 FT

LAND AREAS

TOTAL LAND AREA = 461736 FT² ± 10.6 Acres ±
 TOTAL IMPERVIOUS AREA = 149474FT² 32.37%
 TOTAL PERVIOUS AREA = 312262 FT² 67.63%

FLOOD ZONE:
 THIS PROPERTY LIES WITHIN FLOOD ZONE "X", AS PER THE FLOOD INSURANCE RATE MAPS NUMBER 12117C0145F MAP REVISED SEPTEMBER 28th, 2007.



LEGAL DESCRIPTION:

PARCEL 36 LEGAL DESCRIPTION:
 COMMENCE AT THE NORTHEAST CORNER OF THE WEST 3 CHAINS OF THE EAST 1/2 OF THE N.E. 1/4 OF THE S.W. 1/4 OF SECTION 22, TOWNSHIP 21 SOUTH, RANGE 29 EAST AND RUN S00°05'09"W ALONG THE EAST LINE OF THE WEST 3 CHAINS OF THE EAST 1/2 OF THE N.E. 1/4 OF THE S.W. 1/4 OF SAID SECTION 22 25.00 FEET TO A POINT ON THE SOUTHERLY RIGHT OF WAY LINE OF HILL VIEW DRIVE, SAID POINT BEING THE POINT OF BEGINNING, THENCE CONTINUE S00°05'09"W ALONG SAID EAST LINE 1053.66 FEET, THENCE RUN S89°44'54"W 294.31 FEET, THENCE RUN N00°05'07"E 698.83 FEET, THENCE RUN N89°44'53"E 194.31 FEET, THENCE RUN N00°05'07"E 355.00 FEET TO A POINT ON THE SOUTHERLY RIGHT OF WAY LINE OF HILL VIEW DRIVE, THENCE RUN N89°44'53"E 178.00 FEET ALONG SAID SOUTHERLY RIGHT OF WAY, THENCE RUN S00°05'07"W 305.00 FEET TO THE POINT OF BEGINNING, THENCE CONTINUE S00°05'07"W 50.14 FEET, THENCE RUN S89°44'53"W 20.00 FEET, THENCE RUN N00°05'07"E 32.62 FEET, THENCE RUN S89°44'53"W 172.62 FEET, THENCE RUN S00°05'07"W 145.07 FEET, THENCE RUN N89°44'53"E 86.31 FEET, THENCE RUN S00°05'07"W 816.03 FEET TO A POINT ON THE SOUTH LINE OF THE N.E. 1/4 OF THE S.W. 1/4 OF SAID SECTION 22, THENCE RUN S89°26'55"W ALONG SAID SOUTH LINE 20.00 FEET, THENCE RUN N00°05'07"E 601.39 FEET, THENCE RUN S89°44'53"W 107.24 FEET, THENCE RUN N00°05'07"E 10.00 FEET, THENCE RUN S89°44'53"W 10.00 FEET, THENCE RUN N00°05'07"E 10.00 FEET, THENCE RUN N89°44'53"E 117.24 FEET, THENCE RUN N00°05'07"E 176.74 FEET, THENCE RUN S89°44'53"W 86.19 FEET, THENCE RUN N00°05'07"E 185.07 FEET, THENCE RUN N89°44'53"E 192.62 FEET, THENCE RUN S00°05'07"W 2.45 FEET, THENCE RUN N89°50'53"E 20.00 FEET TO THE POINT OF BEGINNING.

PARCEL 36A LEGAL DESCRIPTION:
 BEGIN 559.12 FEET WEST OF CENTER OF SECTION RUN WEST 98 FEET, THENCE SOUTH 330 FEET, THENCE EAST 98 FEET, THENCE NORTH 330 FEET TO BEGINNING OF SECTION 22, TOWNSHIP 21 SOUTH, RANGE 29 EAST, SEMINOLE COUNTY, FLORIDA.

PARCEL 36C LEGAL DESCRIPTION:
 COMMENCE AT THE NORTHEAST CORNER OF THE WEST 3 CHAINS OF THE EAST 1/2 OF THE N.E. 1/4 OF THE S.W. 1/4 OF SECTION 22, TOWNSHIP 21 SOUTH, RANGE 29 EAST AND RUN S00° 05' 09"W ALONG THE EAST LINE OF SAID WEST 3 CHAINS OF THE EAST 1/2 OF THE N.E. 1/4 OF THE S.W. 1/4 OF SAID SECTION 22 1368.81 FEET, THENCE RUN S. 89° 26' 55" W, 525.63 FEET ALONG THE SOUTH LINE OF THE N.E. 1/4 OF THE S.W. 1/4 OF SAID SECTION 22, THENCE RUN N. 00° 05' 07" E, 656.72 FEET ALONG THE WEST LINE OF THE SOUTH 3/4 OF THE EAST 1/2 OF THE WEST 1/2 OF THE N.E. 1/4 OF THE S.W. 1/4 OF SAID SECTION 22, THENCE RUN N. 89° 44' 53" E, 135.00 FEET, THENCE RUN N. 00° 05' 07"E, 162.57 FEET TO THE POINT OF BEGINNING, THENCE CONTINUE N. 00° 05' 07" E, 165.07 FEET, THENCE RUN N. 89° 44' 53" E, 192.62 FEET, THENCE RUN S. 00° 05' 08"W 2.45 FEET, THENCE RUN N. 89° 50' 53" E, 98.00 FEET, THENCE RUN S. 00° 05' 07"W, 50.00 FEET, THENCE RUN S. 89° 44' 53" W, 194.31 FEET, THENCE RUN S. 00° 05' 07"W, 112.45 FEET, THENCE RUN S. 89° 44' 53" W, 96.31 FEET TO THE POINT OF BEGINNING, CONTAINING .5940 ACRES, TOGETHER WITH AND SUBJECT TO AN EASEMENT FOR INGRESS AND EGRESS DESCRIBED AS FOLLOWS:

COMMENCE AT THE NORTHEAST CORNER OF THE WEST 3 CHAINS OF THE EAST 1/2 OF THE N.E. 1/4 OF THE S.W. 1/4 OF SECTION 22, TOWNSHIP 21 SOUTH, RANGE 29 EAST AND RUN S00°05'09"W ALONG THE EAST LINE OF THE WEST 3 CHAINS OF THE EAST 1/2 OF THE N.E. 1/4 OF THE S.W. 1/4 OF SAID SECTION 22 25.00 FEET TO A POINT ON THE SOUTHERLY RIGHT OF WAY LINE OF HILL VIEW DRIVE, THENCE RUN S89°50'53"W 178.00 FEET ALONG SAID SOUTHERLY RIGHT OF WAY, THENCE RUN S00°05'07"W 305.00 FEET TO THE POINT OF BEGINNING, THENCE CONTINUE S00°05'07"W 50.14 FEET, THENCE RUN S89°44'53"W 20.00 FEET, THENCE RUN N00°05'07"E 32.62 FEET, THENCE RUN S89°44'53"W 172.62 FEET, THENCE RUN S00°05'07"W 145.07 FEET, THENCE RUN N89°44'53"E 86.31 FEET, THENCE RUN S00°05'07"W 816.03 FEET TO A POINT ON THE SOUTH LINE OF THE N.E. 1/4 OF THE S.W. 1/4 OF SAID SECTION 22, THENCE RUN S89°26'55"W ALONG SAID SOUTH LINE 20.00 FEET, THENCE RUN N00°05'07"E 601.39 FEET, THENCE RUN S89°44'53"W 107.24 FEET, THENCE RUN N00°05'07"E 10.00 FEET, THENCE RUN S89°44'53"W 10.00 FEET, THENCE RUN N00°05'07"E 10.00 FEET, THENCE RUN N89°44'53"E 117.24 FEET, THENCE RUN N00°05'07"E 176.74 FEET, THENCE RUN S89°44'53"W 86.19 FEET, THENCE RUN N00°05'07"E 185.07 FEET, THENCE RUN N89°44'53"E 192.62 FEET, THENCE RUN S00°05'07"W 2.45 FEET, THENCE RUN N89°50'53"E 20.00 FEET TO THE POINT OF BEGINNING.

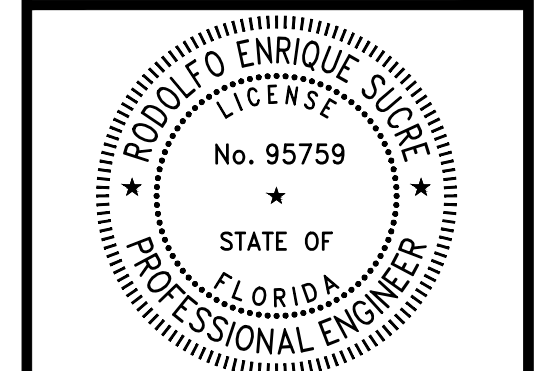
PARCEL 36D LEGAL DESCRIPTION:
 LEG SEC 22 TWP 21S RGE 29E BEG SE COR OF W 1/4 OF NE 1/4 OF SW 1/4 RUN N 612.55 FT E 114.07 FT S 611.95 FT W 114.07 FT TO BEG (1.6032 AC)

PARCEL 36E LEGAL DESCRIPTION:
 COMMENCE AT THE NORTHEAST CORNER OF THE WEST 3 CHAINS OF THE EAST 1/2 OF THE N.E. 1/4 OF THE S.W. 1/4 OF SECTION 22, TOWNSHIP 21 SOUTH, RANGE 29 EAST AND RUN S. 00°05'09" W, ALONG THE EAST LINE OF SAID WEST 3 CHAINS OF THE EAST 1/2 OF THE N.E. 1/4 OF THE S.W. 1/4 OF SAID SECTION 22, 1078.86 FEET TO THE POINT OF BEGINNING, THENCE CONTINUE S. 00°05'09"W, ALONG SAID EAST LINE 230.15 FEET, THENCE RUN S 89°26'55"W, ALONG THE SOUTH LINE OF THE N.E. 1/4 OF THE S.W. 1/4 OF SAID SECTION 22 302.40 FEET, THENCE RUN N 00°05'07"E, 231.74 FEET, THENCE RUN N 89°44'54"E, 302.40 FEET TO THE POINT OF BEGINNING, CONTAINING 1.6032 ACRES.

PARCEL 36F LEGAL DESCRIPTION:
 COMMENCE AT THE NORTHEAST CORNER OF THE WEST 3 CHAINS OF THE EAST 1/2 OF THE N.E. 1/4 OF THE S.W. 1/4 OF SECTION 22, TOWNSHIP 21 SOUTH, RANGE 29 EAST LESS THE SOUTH 942.8 FEET, TOGETHER WITH THAT CERTAIN 1970 FLEET MOBILE HOME, I.D. #SL3406, LOCATED THEREON.



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 FLORIDA
 MIAMI - ORLANDO - TAMPA - JACKSONVILLE
 786-687-2677, 407-743-2754, 813-375-0656 - 904-717-2831



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Designed by:	Checked by:	Approved by:	Date:	Job No.:	No.	Date	Revision	By
R.S.	V.R.	R.S.	10/17/2023					

Plans Prepared By
 RSP Engineers

NOT APPROVED FOR CONSTRUCTION

SITE PLAN
PROJECT NAME
 HILLVIEW DRIVE
 ALTAMONTE SPRINGS,
 SEMINOLE COUNTY, FLORIDA

Sheet No.
C-3.0

Property Record Card

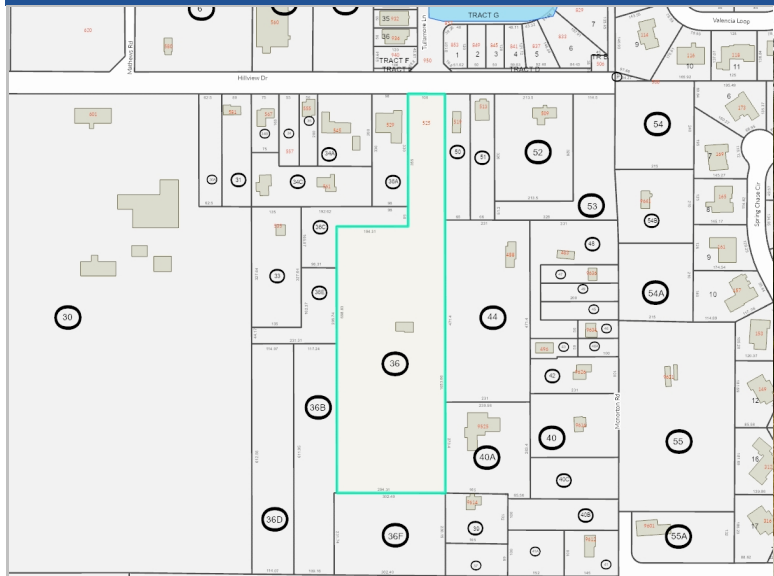


Parcel 22-21-29-300-0360-0000

Property Address 525 HILLVIEW DR ALTAMONTE SPRINGS, FL 32714

Parcel Location

Site View



22212930003600000 01/27/2022

Parcel Information

Value Summary

Parcel	22-21-29-300-0360-0000
Owner(s)	UPSON, TERRY L
Property Address	525 HILLVIEW DR ALTAMONTE SPRINGS, FL 32714
Mailing	525 HILLVIEW DR ALTAMONTE SPG, FL 32714-1602
Subdivision Name	
Tax District	01-COUNTY-TX DIST 1
DOR Use Code	01-SINGLE FAMILY
Exemptions	00-HOMESTEAD(1994)
AG Classification	No

	2024 Working Values	2023 Certified Values
Valuation Method	Cost/Market	Cost/Market
Number of Buildings	1	1
Depreciated Bldg Value	\$48,529	\$48,563
Depreciated EXFT Value	\$400	\$400
Land Value (Market)	\$276,500	\$276,500
Land Value Ag		
Just/Market Value	\$325,429	\$325,463
Portability Adj		
Save Our Homes Adj	\$203,160	\$206,755
Amendment 1 Adj	\$0	\$0
P&G Adj	\$0	\$0
Assessed Value	\$122,269	\$118,708

2023 Certified Tax Summary

2023 Tax Amount without Exemptions \$4,331.26 **2023 Tax Savings with Exemptions** \$3,282.44
2023 Tax Bill Amount \$1,048.82

* Does NOT INCLUDE Non Ad Valorem Assessments

Legal Description

SEC 22 TWP 21S RGE 29E
 BEG 459.12 FT W & 25 FT S OF NE
 COR OF SW 1/4 RUN S 1053.66 FT W
 294.31 FT N 698.83 FT E 194.31 FT
 N 355 FT E 100 FT TO BEG
 (5.5362 AC)

Taxes

Taxing Authority	Assessment Value	Exempt Values	Taxable Value
ROAD DISTRICT	\$122,269	\$50,000	\$72,269
SJWM(Saint Johns Water Management)	\$122,269	\$50,000	\$72,269
FIRE	\$122,269	\$50,000	\$72,269
COUNTY GENERAL FUND	\$122,269	\$50,000	\$72,269
Schools	\$122,269	\$25,000	\$97,269

Sales

Description	Date	Book	Page	Amount	Qualified	Vac/Imp
ADMINISTRATIVE DEED	09/01/1986	01767	1987	\$100	No	Vacant

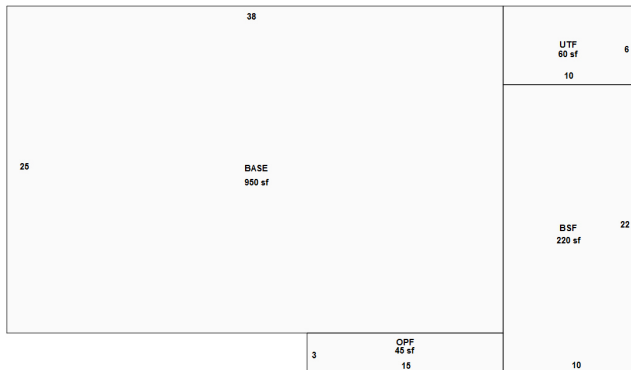
Land

Method	Frontage	Depth	Units	Units Price	Land Value
ACREAGE			5.53	\$50,000.00	\$276,500

Building Information

#	Description	Year Built**	Bed	Bath	Fixtures	Base Area	Total SF	Living SF	Ext Wall	Adj Value	Repl Value	Appendages
---	-------------	--------------	-----	------	----------	-----------	----------	-----------	----------	-----------	------------	------------

1	SINGLE FAMILY	1964	2	1.0	3	950	1,275	1,170	CONC BLOCK	\$48,529	\$82,603	<table border="1" style="width: 100%; border-collapse: collapse;"> <thead> <tr style="background-color: #003366; color: white;"> <th>Description</th> <th>Area</th> </tr> </thead> <tbody> <tr> <td>UTILITY FINISHED</td> <td style="text-align: right;">60.00</td> </tr> <tr> <td>BASE SEMI FINISHED</td> <td style="text-align: right;">220.00</td> </tr> <tr> <td>OPEN PORCH FINISHED</td> <td style="text-align: right;">45.00</td> </tr> </tbody> </table>	Description	Area	UTILITY FINISHED	60.00	BASE SEMI FINISHED	220.00	OPEN PORCH FINISHED	45.00
Description	Area																			
UTILITY FINISHED	60.00																			
BASE SEMI FINISHED	220.00																			
OPEN PORCH FINISHED	45.00																			



Sketch by Apex Sketch

Building 1 - Page 1

** Year Built (Actual / Effective)

Permits

Permit #	Description	Agency	Amount	CO Date	Permit Date
----------	-------------	--------	--------	---------	-------------

Extra Features

Description	Year Built	Units	Value	New Cost
SHED	01/01/1964	1	\$400	\$1,000

Zoning

Zoning	Zoning Description	Future Land Use	Future Land Use Description
A-1	Low Density Residential	LDR	Agricultural-1Ac

Utility Information

Fire Station	Power	Phone(Analog)	Water Provider	Sewer Provider	Garbage Pickup	Recycle	Yard Waste	Hauler
13.00	DUKE	CENTURY LINK	NA	NA	TUE/FRI	WED	WED	Advanced Disposal

Political Representation

Commissioner	US Congress	State House	State Senate	Voting Precinct
Dist 3 - Lee Constantine	Dist 7 - Stephanie Murphy	Dist 30 - Joy Goff-Marcil	Dist 9 - Jason Brodeur	52

School Information

Elementary School District	Middle School District	High School District
Spring Lake	Teague	Lake Brantley

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Property Record Card



Parcel 22-21-29-300-036A-0000

Property Address 529 HILLVIEW DR ALTAMONTE SPRINGS, FL 32714

Parcel Location

Site View



222129300036A0000 01/27/2022

Parcel Information

Value Summary

Parcel	22-21-29-300-036A-0000
Owner(s)	UPSON, TERRY JR
Property Address	529 HILLVIEW DR ALTAMONTE SPRINGS, FL 32714
Mailing	529 HILLVIEW DR ALTAMONTE SPG, FL 32714-1602
Subdivision Name	
Tax District	01-COUNTY-TX DIST 1
DOR Use Code	01-SINGLE FAMILY
Exemptions	00-HOMESTEAD(2010)
AG Classification	No

	2024 Working Values	2023 Certified Values
Valuation Method	Cost/Market	Cost/Market
Number of Buildings	1	1
Depreciated Bldg Value	\$214,489	\$213,028
Depreciated EXFT Value	\$1,200	\$1,200
Land Value (Market)	\$51,800	\$51,800
Land Value Ag		
Just/Market Value	\$267,489	\$266,028
Portability Adj		
Save Our Homes Adj	\$62,436	\$66,947
Amendment 1 Adj	\$0	\$0
P&G Adj	\$0	\$0
Assessed Value	\$205,053	\$199,081

2023 Certified Tax Summary

2023 Tax Amount without Exemptions \$3,540.30 **2023 Tax Savings with Exemptions** \$1,421.88
2023 Tax Bill Amount \$2,118.42

* Does NOT INCLUDE Non Ad Valorem Assessments

Legal Description

SEC 22 TWP 21S RGE 29E
 BEG 559.12 FT W OF CEN OF
 SEC RUN W 98 FT S 330 FT E
 98 FT N 330 FT TO BEG

Taxes

Taxing Authority	Assessment Value	Exempt Values	Taxable Value
ROAD DISTRICT	\$205,053	\$50,000	\$155,053
SJWM(Saint Johns Water Management)	\$205,053	\$50,000	\$155,053
FIRE	\$205,053	\$50,000	\$155,053
COUNTY GENERAL FUND	\$205,053	\$50,000	\$155,053
Schools	\$205,053	\$25,000	\$180,053

Sales

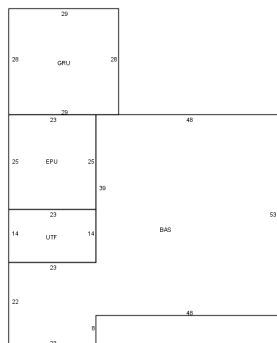
Description	Date	Book	Page	Amount	Qualified	Vac/Imp
PROBATE RECORDS	05/01/2009	07194	0566	\$100	No	Improved
PROBATE RECORDS	01/01/2009	07121	1697	\$100	No	Improved
SPECIAL WARRANTY DEED	02/01/2003	04792	1827	\$96,000	No	Improved
CERTIFICATE OF TITLE	01/01/2003	04681	1034	\$100	No	Improved
CERTIFICATE OF TITLE	08/01/2002	04495	0714	\$26,300	No	Improved

Land

Method	Frontage	Depth	Units	Units Price	Land Value
ACREAGE			0.74	\$70,000.00	\$51,800

Building Information

#	Description	Year Built**	Bed	Bath	Fixtures	Base Area	Total SF	Living SF	Ext Wall	Adj Value	Repl Value	Appendages								
1	SINGLE FAMILY	1974	4	2.0	6	3,050	4,759	3,050	SIDING GRADE 3	\$214,489	\$302,097	<table border="1" style="width: 100%; border-collapse: collapse;"> <thead> <tr> <th>Description</th> <th>Area</th> </tr> </thead> <tbody> <tr> <td>GARAGE UNFINISHED</td> <td style="text-align: right;">812.00</td> </tr> <tr> <td>ENCLOSED PORCH UNFINISHED</td> <td style="text-align: right;">575.00</td> </tr> <tr> <td>UTILITY FINISHED</td> <td style="text-align: right;">322.00</td> </tr> </tbody> </table>	Description	Area	GARAGE UNFINISHED	812.00	ENCLOSED PORCH UNFINISHED	575.00	UTILITY FINISHED	322.00
Description	Area																			
GARAGE UNFINISHED	812.00																			
ENCLOSED PORCH UNFINISHED	575.00																			
UTILITY FINISHED	322.00																			



Building 1 - Page 1

** Year Built (Actual / Effective)

Permits

Permit #	Description	Agency	Amount	CO Date	Permit Date
04017	REROOF	County	\$2,200		2/23/2005
08056	529 HILLVIEW DR: REROOF RESIDENTIAL-SFR	County	\$31,000		5/23/2023

Extra Features

Description	Year Built	Units	Value	New Cost
FIREPLACE 1	10/01/1983	1	\$1,200	\$3,000

Zoning

Zoning	Zoning Description	Future Land Use	Future Land Use Description
A-1	Low Density Residential	LDR	Agricultural-1Ac

Utility Information

Fire Station	Power	Phone(Analog)	Water Provider	Sewer Provider	Garbage Pickup	Recycle	Yard Waste	Hauler
13.00	DUKE	CENTURY LINK	NA	NA	TUE/FRI	WED	WED	Advanced Disposal

Political Representation

Commissioner	US Congress	State House	State Senate	Voting Precinct
Dist 3 - Lee Constantine	Dist 7 - Stephanie Murphy	Dist 30 - Joy Goff-Marcil	Dist 9 - Jason Brodeur	52

School Information

Elementary School District	Middle School District	High School District
Spring Lake	Teague	Lake Brantley

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Property Record Card

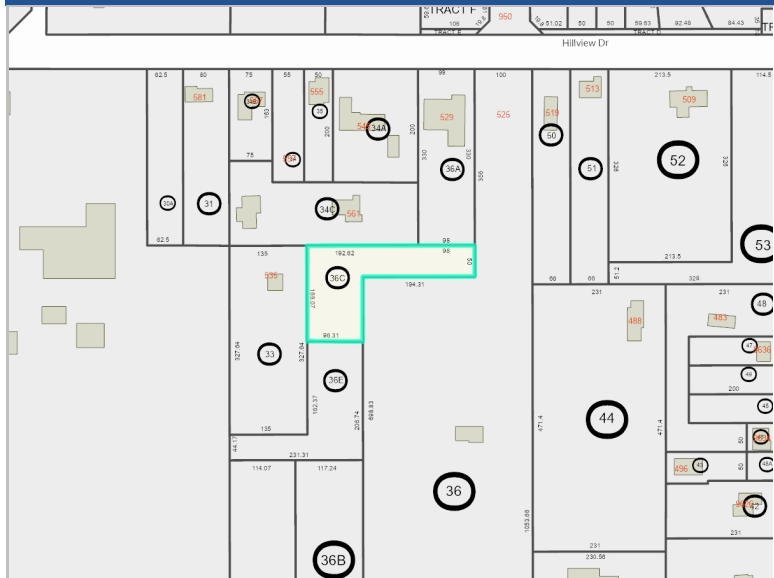


Parcel 22-21-29-300-036C-0000

Property Address HILLVIEW DR ALTAMONTE SPRINGS, FL 32701

Parcel Location

Site View



Sorry, No Image Available at this Time

Parcel Information

Value Summary

Parcel	22-21-29-300-036C-0000
Owner(s)	UPSON, TERRY JR
Property Address	HILLVIEW DR ALTAMONTE SPRINGS, FL 32701
Mailing	519 HILLVIEW DR ALTAMONTE SPG, FL 32714-1602
Subdivision Name	
Tax District	01-COUNTY-TX DIST 1
DOR Use Code	00-VACANT RESIDENTIAL
Exemptions	None
AG Classification	No

	2024 Working Values	2023 Certified Values
Valuation Method	Cost/Market	Cost/Market
Number of Buildings	0	0
Depreciated Bldg Value		
Depreciated EXFT Value		
Land Value (Market)	\$47,200	\$47,200
Land Value Ag		
Just/Market Value	\$47,200	\$47,200
Portability Adj		
Save Our Homes Adj	\$0	\$0
Amendment 1 Adj	\$0	\$0
P&G Adj	\$0	\$0
Assessed Value	\$47,200	\$47,200

2023 Certified Tax Summary

2023 Tax Amount without Exemptions	\$628.14
2023 Tax Bill Amount	\$628.14

* Does NOT INCLUDE Non Ad Valorem Assessments

Legal Description

SEC 22 TWP 21S RGE 29E
 BEG 559.12 FT W & 380 FT S OF NE
 COR OF SW 1/4 RUN W 194.31 FT S
 112.45 FT W 96.31 FT N 165.07 FT
 E 192.62 FT S 2.45 FT E 98 FT S
 50 FT TO BEG
 (.594 AC)

Taxes

Taxing Authority	Assessment Value	Exempt Values	Taxable Value
ROAD DISTRICT	\$47,200	\$0	\$47,200
SJWM(Saint Johns Water Management)	\$47,200	\$0	\$47,200
FIRE	\$47,200	\$0	\$47,200
COUNTY GENERAL FUND	\$47,200	\$0	\$47,200
Schools	\$47,200	\$0	\$47,200

Sales

Description	Date	Book	Page	Amount	Qualified	Vac/Imp
PROBATE RECORDS	05/01/2009	07197	0979	\$100	No	Vacant
PROBATE RECORDS	01/01/2009	07121	1697	\$100	No	Vacant
ADMINISTRATIVE DEED	09/01/1986	01767	1995	\$100	No	Vacant

Land

Method	Frontage	Depth	Units	Units Price	Land Value
ACREAGE			0.59	\$80,000.00	\$47,200

Building Information

Permits

Permit #	Description	Agency	Amount	CO Date	Permit Date
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Extra Features

Description	Year Built	Units	Value	New Cost
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Zoning

Zoning	Zoning Description	Future Land Use	Future Land Use Description
A-1	Low Density Residential	LDR	Agricultural-1Ac

Utility Information

Fire Station	Power	Phone(Analog)	Water Provider	Sewer Provider	Garbage Pickup	Recycle	Yard Waste	Hauler
13.00	DUKE	CENTURY LINK	NA	NA	NA	NA	NA	NA

Political Representation

Commissioner	US Congress	State House	State Senate	Voting Precinct
Dist 3 - Lee Constantine	Dist 7 - Stephanie Murphy	Dist 30 - Joy Goff-Marcil	Dist 9 - Jason Brodeur	52

School Information

Elementary School District	Middle School District	High School District
Spring Lake	Teague	Lake Brantley

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Property Record Card

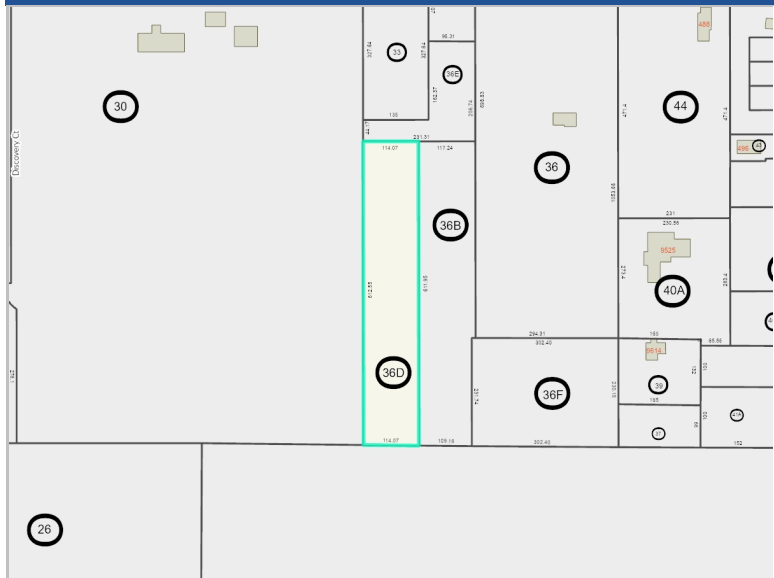


Parcel 22-21-29-300-036D-0000

Property Address HILLVIEW DR ALTAMONTE SPRINGS, FL 32701

Parcel Location

Site View



Sorry, No Image Available at this Time

Parcel Information

Value Summary

Parcel	22-21-29-300-036D-0000
Owner(s)	UPSON, TERRY
Property Address	HILLVIEW DR ALTAMONTE SPRINGS, FL 32701
Mailing	519 HILLVIEW DR ALTAMONTE SPG, FL 32714-1602
Subdivision Name	
Tax District	01-COUNTY-TX DIST 1
DOR Use Code	00-VACANT RESIDENTIAL
Exemptions	None
AG Classification	No

	2024 Working Values	2023 Certified Values
Valuation Method	Cost/Market	Cost/Market
Number of Buildings	0	0
Depreciated Bldg Value		
Depreciated EXFT Value		
Land Value (Market)	\$96,000	\$96,000
Land Value Ag		
Just/Market Value	\$96,000	\$96,000
Portability Adj		
Save Our Homes Adj	\$0	\$0
Amendment 1 Adj	\$0	\$0
P&G Adj	\$0	\$0
Assessed Value	\$96,000	\$96,000

2023 Certified Tax Summary

2023 Tax Amount without Exemptions \$1,277.57
2023 Tax Bill Amount \$1,277.57

* Does NOT INCLUDE Non Ad Valorem Assessments

Legal Description

SEC 22 TWP 21S RGE 29E
 BEG SE COR OF W 1/4 OF NE 1/4 OF
 SW 1/4 RUN N 612.55 FT E 114.07
 FT S 611.95 FT W 114.07 FT TO BEG
 (1.6032 AC)

Taxes

Taxing Authority	Assessment Value	Exempt Values	Taxable Value
ROAD DISTRICT	\$96,000	\$0	\$96,000
SJWM(Saint Johns Water Management)	\$96,000	\$0	\$96,000
FIRE	\$96,000	\$0	\$96,000
COUNTY GENERAL FUND	\$96,000	\$0	\$96,000
Schools	\$96,000	\$0	\$96,000

Sales

Description	Date	Book	Page	Amount	Qualified	Vac/Imp
QUIT CLAIM DEED	09/01/2002	04550	1339	\$100	No	Vacant
QUIT CLAIM DEED	04/01/1995	02972	0388	\$100	No	Vacant
ADMINISTRATIVE DEED	09/01/1986	01767	1993	\$100	No	Vacant

Land

Method	Frontage	Depth	Units	Units Price	Land Value
ACREAGE			1.6	\$60,000.00	\$96,000

Building Information

Permits

Permit #	Description	Agency	Amount	CO Date	Permit Date
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Extra Features

Description	Year Built	Units	Value	New Cost
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Zoning

Zoning	Zoning Description	Future Land Use	Future Land Use Description
A-1	Low Density Residential	LDR	Agricultural-1Ac

Utility Information

Fire Station	Power	Phone(Analog)	Water Provider	Sewer Provider	Garbage Pickup	Recycle	Yard Waste	Hauler
13.00	DUKE	CENTURY LINK	NA	NA	NA	NA	NA	NA

Political Representation

Commissioner	US Congress	State House	State Senate	Voting Precinct
Dist 3 - Lee Constantine	Dist 7 - Stephanie Murphy	Dist 30 - Joy Goff-Marcil	Dist 9 - Jason Brodeur	52

School Information

Elementary School District	Middle School District	High School District
Spring Lake	Teague	Lake Brantley

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Property Record Card

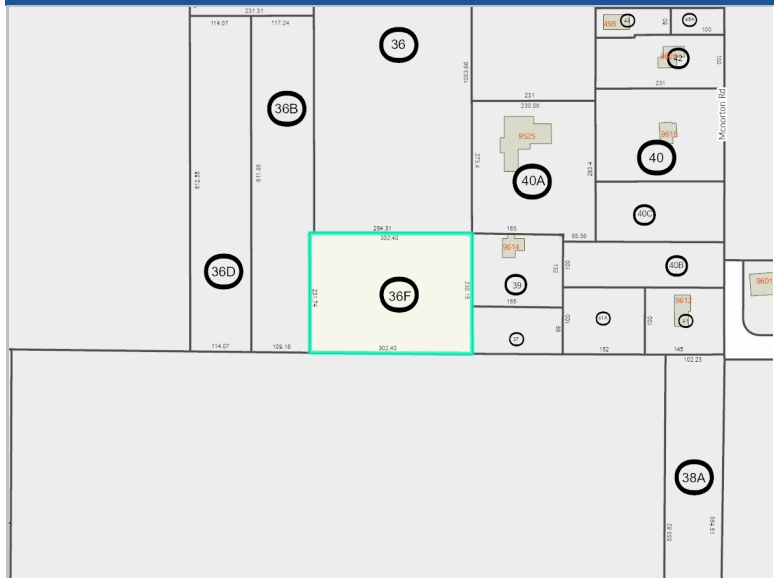


Parcel 22-21-29-300-036F-0000

Property Address HILLVIEW DR ALTAMONTE SPRINGS, FL 32714

Parcel Location

Site View



Sorry, No Image Available at this Time

Parcel Information

Value Summary

Parcel	22-21-29-300-036F-0000
Owner(s)	UPSON, TERRY
Property Address	HILLVIEW DR ALTAMONTE SPRINGS, FL 32714
Mailing	519 HILLVIEW DR ALTAMONTE SPG, FL 32714-1602
Subdivision Name	
Tax District	01-COUNTY-TX DIST 1
DOR Use Code	00-VACANT RESIDENTIAL
Exemptions	None
AG Classification	No

	2024 Working Values	2023 Certified Values
Valuation Method	Cost/Market	Cost/Market
Number of Buildings	0	0
Depreciated Bldg Value		
Depreciated EXFT Value		
Land Value (Market)	\$96,000	\$96,000
Land Value Ag		
Just/Market Value	\$96,000	\$96,000
Portability Adj		
Save Our Homes Adj	\$0	\$0
Amendment 1 Adj	\$0	\$0
P&G Adj	\$0	\$0
Assessed Value	\$96,000	\$96,000

2023 Certified Tax Summary

2023 Tax Amount without Exemptions	\$1,277.57
2023 Tax Bill Amount	\$1,277.57

* Does NOT INCLUDE Non Ad Valorem Assessments

Legal Description

SEC 22 TWP 21S RGE 29E
 BEG 459.12 FT W & 1078.66 FT S OF
 NE COR OF SW 1/4 RUN S 230.15 FT
 W 302.40 FT N 231.74 FT E 302.40
 FT TO BEG
 (1.6032 AC)

Taxes			
Taxing Authority	Assessment Value	Exempt Values	Taxable Value
ROAD DISTRICT	\$96,000	\$0	\$96,000
SJWM(Saint Johns Water Management)	\$96,000	\$0	\$96,000
FIRE	\$96,000	\$0	\$96,000
COUNTY GENERAL FUND	\$96,000	\$0	\$96,000
Schools	\$96,000	\$0	\$96,000

Sales						
Description	Date	Book	Page	Amount	Qualified	Vac/Imp
FINAL JUDGEMENT	10/01/2002	04559	0857	\$100	No	Vacant
QUIT CLAIM DEED	09/01/2002	04550	1343	\$100	No	Vacant
QUIT CLAIM DEED	10/01/1995	02982	0005	\$100	No	Vacant
QUIT CLAIM DEED	08/01/1990	02236	1204	\$100	No	Vacant
ADMINISTRATIVE DEED	09/01/1986	01767	1989	\$100	No	Vacant

Land					
Method	Frontage	Depth	Units	Units Price	Land Value
ACREAGE			1.6	\$60,000.00	\$96,000

Building Information					
Permits					
Permit #	Description	Agency	Amount	CO Date	Permit Date

Extra Features				
Description	Year Built	Units	Value	New Cost

Zoning			
Zoning	Zoning Description	Future Land Use	Future Land Use Description
A-1	Low Density Residential	LDR	Agricultural-1Ac

Utility Information								
Fire Station	Power	Phone(Analog)	Water Provider	Sewer Provider	Garbage Pickup	Recycle	Yard Waste	Hauler
13.00	DUKE	CENTURY LINK	NA	NA	NA	NA	NA	NA

Political Representation				
Commissioner	US Congress	State House	State Senate	Voting Precinct
Dist 3 - Lee Constantine	Dist 7 - Stephanie Murphy	Dist 30 - Joy Goff-Marcil	Dist 9 - Jason Brodeur	52

School Information		
Elementary School District	Middle School District	High School District
Spring Lake	Teague	Lake Brantley

Property Record Card

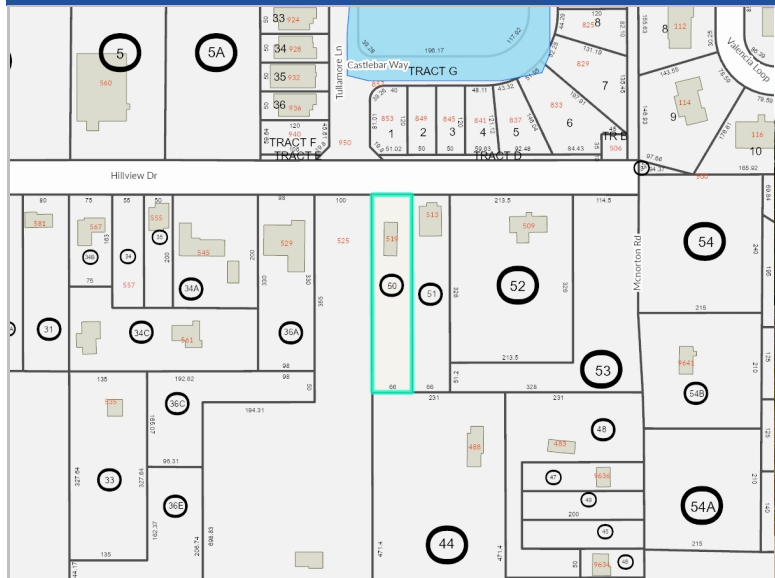


Parcel 22-21-29-300-0500-0000

Property Address 519 HILLVIEW DR ALTAMONTE SPRINGS, FL 32714

Parcel Location

Site View



22212930005000000 01/27/2022

Parcel Information

Value Summary

Parcel	22-21-29-300-0500-0000
Owner(s)	UPSON, TERRY
Property Address	519 HILLVIEW DR ALTAMONTE SPRINGS, FL 32714
Mailing	529 HILLVIEW DR ALTAMONTE SPG, FL 32714-1602
Subdivision Name	
Tax District	01-COUNTY-TX DIST 1
DOR Use Code	02-MOBILE/MANUFACTURED HOME
Exemptions	None
AG Classification	No

	2024 Working Values	2023 Certified Values
Valuation Method	Cost/Market	Cost/Market
Number of Buildings	1	1
Depreciated Bldg Value	\$22,214	\$20,549
Depreciated EXFT Value	\$2,800	\$2,400
Land Value (Market)	\$43,200	\$43,200
Land Value Ag		
Just/Market Value	\$68,214	\$66,149
Portability Adj		
Save Our Homes Adj	\$0	\$0
Amendment 1 Adj	\$0	\$0
P&G Adj	\$0	\$0
Assessed Value	\$68,214	\$66,149

2023 Certified Tax Summary

2023 Tax Amount without Exemptions \$880.31
2023 Tax Bill Amount \$880.31

* Does NOT INCLUDE Non Ad Valorem Assessments

Legal Description

SEC 22 TWP 21S RGE 29E
 W 66 FT OF E 458.5 FT OF
 NE 1/4 OF SW 1/4 (LESS S
 942.8 FT)

Taxes

Taxing Authority	Assessment Value	Exempt Values	Taxable Value
ROAD DISTRICT	\$68,214	\$0	\$68,214
SJWM(Saint Johns Water Management)	\$68,214	\$0	\$68,214
FIRE	\$68,214	\$0	\$68,214
COUNTY GENERAL FUND	\$68,214	\$0	\$68,214
Schools	\$68,214	\$0	\$68,214

Sales

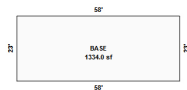
Description	Date	Book	Page	Amount	Qualified	Vac/Imp
QUIT CLAIM DEED	09/01/2002	04550	1341	\$100	No	Improved
QUIT CLAIM DEED	09/01/1995	02973	0849	\$16,900	No	Improved
QUIT CLAIM DEED	12/01/1986	01797	0840	\$100	No	Improved

Land

Method	Frontage	Depth	Units	Units Price	Land Value
ACREAGE			0.54	\$80,000.00	\$43,200

Building Information

#	Description	Year Built**	Bed	Bath	Fixtures	Base Area	Total SF	Living SF	Ext Wall	Adj Value	Repl Value	Appendages	
1	MOBILE HOME	1969	3	1.0	3	1,334	1,334	1,334	MOBILE HOMES AVG	\$22,214	\$55,534	Description	Area



Sketch by Apex Sketch

Building 1 - Page 1

** Year Built (Actual / Effective)

Permits

Permit #	Description	Agency	Amount	CO Date	Permit Date
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Extra Features

Description	Year Built	Units	Value	New Cost
CARPORT 3	04/01/1969	1	\$2,800	\$7,000

Zoning

Zoning	Zoning Description	Future Land Use	Future Land Use Description
A-1	Low Density Residential	LDR	Agricultural-1Ac

Utility Information

Fire Station	Power	Phone(Analog)	Water Provider	Sewer Provider	Garbage Pickup	Recycle	Yard Waste	Hauler
13.00	DUKE	CENTURY LINK	NA	NA	TUE/FRI	WED	NO SERVICE	Advanced Disposal

Political Representation

Commissioner	US Congress	State House	State Senate	Voting Precinct
Dist 3 - Lee Constantine	Dist 7 - Stephanie Murphy	Dist 30 - Joy Goff-Marcil	Dist 9 - Jason Brodeur	52

School Information

Elementary School District	Middle School District	High School District
Spring Lake	Teague	Lake Brantley

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**Seminole County Government
Development Services Department
Planning and Development Division
Credit Card Payment Receipt**

If you have questions about your application or payment, please email us eplandesk@seminolecountyfl.gov or call us at: (407) 665-7371.

Receipt Details

Date: 10/18/2023 12:59:19 PM
Project: 23-80000145
Credit Card Number: 48*****3449
Authorization Number: 018990
Transaction Number: 181023C19-4E28341D-2BFC-4EC0-A149-4B8C51F1BD9C
Total Fees Paid: 52.50

Fees Paid

Description	Amount
CC CONVENIENCE FEE -- PZ	2.50
PRE APPLICATION	50.00
Total Amount	52.50

SEMINOLE COUNTY GOVERNMENT
 1101 EAST FIRST STREET, 2ND FLOOR, WEST WING
 SANFORD, FLORIDA 32771

Please review the comments below. If you determine that you would like to be scheduled for a 20 minute meeting with the Development Review Committee, please email your request to attend to devrevdesk@seminolecountyfl.gov or call (407) 665-7372 no later than noon on Friday, 11/3/2023, in order to place you on the **Wednesday, 11/8/2023** meeting agenda.

MEETINGS ARE NOW BEING HELD IN A HYBRID FORMAT (IN-PERSON AND VIRTUALLY ON ZOOM). IF YOU REQUEST A MEETING, YOU MUST INDICATE WHETHER YOU WOULD LIKE TO ATTEND THE MEETING IN-PERSON OR REMOTELY VIA ZOOM.

The DRC Agenda can be found [HERE](#).

PROJECT NAME:	MULTIFAMILY TOWNHOMES - PRE-APPLICATION	PROJ #: 23-80000145
APPLICATION FOR:	DR - PRE-APPLICATION DRC	
APPLICATION DATE:	10/18/23	
RELATED NAMES:	EP SOCRATE EXANTUS	
PROJECT MANAGER:	DOUGLAS ROBINSON (407) 665-7308	
PARCEL ID NO.:	22-19-29-300-0360-0000+++	
PROJECT DESCRIPTION	PROPOSED SITE PLAN FOR A MULTIFAMILY TOWNHOME DEVELOPMENT ON 10.6 ACRES IN THE A-1 ZONING DISTRICT LOCATED ON THE SOUTH SIDE OF HILLVIEW DR, EAST OF S SR 434	
NO OF ACRES	10.6	
BCC DISTRICT	3-Lee Constantine	
CURRENT ZONING	A-1	
LOCATION	ON THE SOUTH SIDE OF HILLVIEW DR, EAST OF S SR 434	
FUTURE LAND USE-	LDR	
SEWER UTILITY	NA	
WATER UTILITY	NA	
APPLICANT:	CONSULTANT:	
SOCRATE EXANTUS ALL COUNTY CFL PROPERTY MGT 390 N ORANGE AVE STE 2300 ORLANDO FL 32801 (407) 674-5601 SOCRATE@ALLCOUNTYPPM.COM	RODOLFO SUCRE RSP ENGINEERS INC 111 N ORANGE AVE, STE 800 148 ORLANDO FL 32801 (407) 743-2754 RSUCRE@RSPENGINEERS.COM	

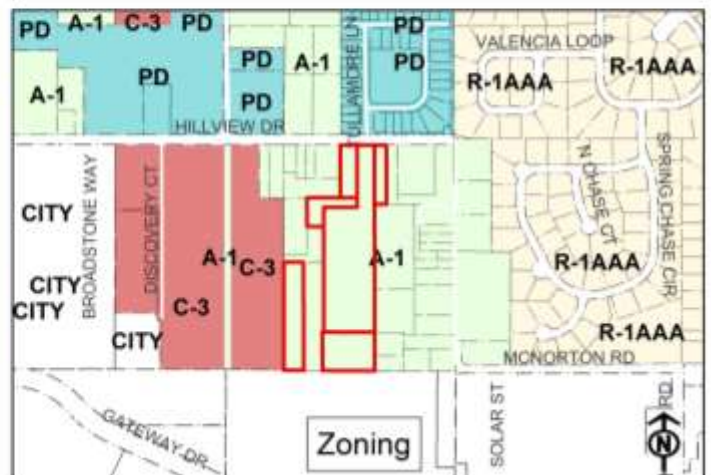
Please be advised, these comments are intended to assist you in finding information that will enable you to prepare for your plan review. They are not intended to replace or exempt you from the applicable Codes and Ordinances as they pertain to your project. These comments are informational only and do not grant any approvals. Also be advised, from time to time Codes and Ordinances are amended and the comments provided only reflect the regulations in effect at the time of review.

The development project review will be completed utilizing Electronic Plan Review (ePlan). For questions regarding this process, please consult the Electronic Plan Review Applicant User Guide that can be found [HERE](#).

PROJECT MANAGER COMMENTS

Staff recommends that the Applicant contact the City of Altamonte Springs about potable water and sanitary sewer service connections and the potential for annexation.

PROJECT AREA ZONING AND AERIAL MAPS



AGENCY/DEPARTMENT COMMENTS

REF #	REVIEWED BY	TYPE
1.	Buffers and CPTED	Buffer information can be found here: https://www.municode.com/library/fl/seminole_county/codes/land_development_code?nodeld=SECOLADECO_CH30ZORE_PT67LASCBU
2.	Buffers and CPTED	Please refer to the SCLDC sections 30.1282 and 30.1284 on opacity and plant units.
3.	Buffers and CPTED	Parking lot landscaping will be required in accordance with SCLDC Sec. 30. 1292.
4.	Buffers and CPTED	Since R-3 is rezoned to a site plan, the buffers must be determined with the rezone. Please be prepared to submit a landscape plan indicating buffer widths, opacities, plant unit calculations, species, size, quantity, and location of plantings.
5.	Buffers and CPTED	Based on a preliminary review, staff estimates the 25' proposed buffer should meet the minimum buffer requirements. A 0.6 opacity, 25' width buffer may be required on the east
6.	Building Division	Any building construction and/or modification will require Building permits and engineered plans to meet the current 7th ED (2020) Florida Building Codes.
7.	Building Division	Type of use and size of building may require fire sprinklers and fire alarms.
8.	Comprehensive Planning	The current Future Land Use is Low Density Residential (LDR). The proposed Future Land Use of High Density Residential (HDR) is not compatible with the surrounding LDR future land use properties. However, some of the listed properties are adjacent to City of Altamonte Springs, and with the County Industrial (IND) Future Land Use. Discuss with staff about pre-annexation with the City of Altamonte.
9.	Comprehensive Planning	The proposed Zoning Map Amendment from A-1 to R-3 is consistent with the proposed HDR FLU designation but may not be compatible with the zoning in the area. Follow the link to complete the Facility Capacity Impact Assessment worksheet: https://www.seminolecountyfl.gov/core/fileparse.php/3207/urlt/Future-Lane-Use-Attachment-A-Worksheets.pdf and to complete the Rezone/ Future Land Use Amendment application found here: https://www.seminolecountyfl.gov/core/fileparse.php/3423/urlt/Rezone-LUA-Application-Package.pdf
10.	Environmental Services	This development is within Seminole County's potable water service area, but we do not have any potable water lines nearby. The City of Altamonte Springs may have potable water lines nearby capable of servicing this development. If they were to service potable water to this development, we could provide a letter stating that we have no objection to them doing so. Please coordinate with the City of Altamonte Springs to determine how best to service this development.
11.	Environmental Services	This development is within Seminole County's sanitary sewer service area, but we do not have any sanitary sewer lines nearby. The City of Altamonte Springs may

		have sanitary sewer lines nearby capable of servicing this development. If they were to service sanitary sewer to this development, we could provide a letter stating that we have no objection to them doing so. Please coordinate with the City of Altamonte Springs to determine how best to service this development.
12.	Environmental Services	This development is not within any reclaim water service areas. Irrigation would be provided by this development's potable water system.
13.	Environmental Services	If no sanitary sewer connections can be made to this development via the City of Altamonte Springs, onsite sewage treatment and disposal systems (OSTDS) aka septic systems would be needed to service the individual lots of this development. Per House Bill 1379, these lots would need enhanced nutrient-reducing (ENR) capable OSTDS since they would be new construction, on lots one acre or less, and located in a Florida basin management action plan (BMAP) area. To apply for a OSTDS permit, follow link: https://www.flrules.org/gateway/reference.asp?No=Ref-14359 , download and complete an application form (DEP4015, page 1) and submit it, along with a site plan (DEP4015, page 2), a building floor plan, and the required application fee to your local Florida Department of Health location.
14.	Natural Resources	Based on preliminary analysis, there may be endangered and threatened wildlife on the subject property. A threatened and endangered study along with a species of special concern survey will be required prior to final engineering or site plan approval. SCLDC 45.1(a)
15.	Natural Resources	The proposed project is within the Wekiva Study Area. See SCLDC Chapter 30 Part 58 for requirements for development within this area.
16.	Natural Resources	The development of the site shall make the most advantageous use of topography and preserve mature trees and other natural features wherever possible. No site plan shall be approved that would result in the removal of over seventy-five (75) percent of existing trees, with trunk diameters of six (6) inches or greater, from any site, unless the Planning Manager finds that the development of the site would be severely restricted. Special consideration and credit shall be given to the retention of trees having a trunk diameter of twenty-four (24) inches or larger. Show location, size, and species of trees with minimum DBH of three (3) inches being removed and saved with site plan submission. SCLDC 60.22
17.	Natural Resources	Show tree replacement table with site plan submission. SCLDC 60.22(f)
18.	Planning and Development	COMMUNITY MEETINGS: Seminole County requires community meetings for all Future Land Use Amendments, Rezones, Special Exceptions, and non-residential Variances. Please see the Community Meetings link below for the requirements that the applicant must meet. https://www.seminolecountyfl.gov/core/fileparse.php/3423/urlt/Community-Meeting-Procedure.pdf

19. Planning and Development	<p>PUBLIC NOTIFICATION: Public Notification is required for all Future Land Use Amendments, Rezones, Special Exceptions, and non-residential Variances. Please see the Public Notification Procedures link below for the requirements: https://www.seminolecountyfl.gov/core/fileparse.php/3423/urlt/Public-Notice-Amendment-Procedures.pdf</p>
20. Planning and Development	<p>The subject site is contiguous to the city limits of Altamonte Springs. The City of Altamonte Springs may require annexation of the site to obtain utilities. We recommend that the applicant contact the City of Altamonte Springs Planning & Development Department about completing a pre-annexation agreement. The Planning & Development Department can be reached at (407) 571-8150 or by email at gm@altamonte.org.</p>
21. Planning and Development	<p>If the subject property were to develop in the County, a Small Scale Future Land Use Amendment (SSFLUA) and Rezone may take four (4) to six (6) months and involves a community meeting and public hearings with the Planning and Zoning (P&Z) Commission and the Board of County Commissioners (BCC).</p>
22. Planning and Development	<p>One of the six properties is not contiguous to the other five. Staff would not support building an access road across the ingress/egress easement (as shown in the development concept) to connect the outlying parcel to the west.</p>
23. Planning and Development	<p>The subject property is adjacent to the City of Altamonte Springs. Seminole County will provide an intergovernmental notice to the adjacent city.</p>
24. Planning and Development	<p>Staff would not likely support a future land use map amendment to High Density Residential (HDR) because it is not compatible with the single-family properties located to the east. Staff may consider an amendment to allow Medium Density Residential (MDR) Future Land Use as a transition from Low Density Residential (LDR) located to the east.</p> <p>The MDR Future Land Use designation would potentially allow up to ten (10) dwelling units per acre without affordable housing or twelve (12) dwelling units per acre, if affordable housing is proposed as part of the project.</p>
25. Planning and Development	<p>The subject property is within the County's Urban Bear Management Area and must comply with the requirements outlined in Chapter 258 of the Seminole County Code of Ordinances (2015-33). https://www.seminolecountyfl.gov/core/fileparse.php/4073/urlt/Bear-Management-Ordinance-Final-Approved-DocumentADA.pdf</p>
26. Planning and Development	<p>The proposed project is subject to Site Plan Review Process: SCLDC Chapter 40. Information can be found at: http://cdn.seminolecountyfl.gov/departments-services/development-services/planning-development/development-processes-requirements/index.shtml</p>
27. Public Safety - Fire Marshal	<p>Type of use and size of building may require fire sprinklers and fire alarms.</p>

<p>Public Safety - 28. Fire Marshal</p>	<p>Adequate water supply with fire flow calculations for fire protection (hydrants) shall be provided per section 18.3 and 18.4 of NFPA 1.</p>
<p>Public Safety - 29. Fire Marshal</p>	<p>"All the following items shall be acknowledged and added to the site plan sheets as note:</p> <ol style="list-style-type: none"> 1.Fire department access roads provided at the start of a project and shall be maintained throughout construction. (NFPA 1, 16.1.4). 2.A second entrance/exit might be required per AHJ if the response time for emergency is exceeded per NFPA 1, Section 18.2.3.3 Multiple Access Roads. 3.A water supply for fire protection, either temporary or permanent, shall be made available as soon as combustible material accumulates. This applies to both commercial and residential developments. (NFPA 1, 16.4.3.1). 4.Where underground water mains and hydrants are to be provided, they shall be installed, completed, and in service prior to construction work. (NFPA 1, 16.4.3.1.3). 5.Fire flow testing shall be performed in accordance with NFPA 291, recommended practice for fire flow testing. 6.A 36 in. clear space shall be maintained around the circumference of fire hydrants and a clear space of not less than 60 in. (1524 mm) shall be provided in front of each hydrant connection having a diameter greater than 212 in. NFPA 1, 18.5.7. 7.Hydrant shall be marked with a blue reflector in the roadway in accordance with NFPA 1, chapter 18.5.10. 8.Access to gated Subdivisions or Developments shall provide Fire Department access through an approved SOS and Seminole County Knox Key Switch. NFPA 1, 18.2.2.2"
<p>Public Safety - 30. Fire Marshal</p>	<p>Include turning radius analysis with plans. * Turning radius analysis based on aerial truck Specifications. (Section 18.2.3.4.3. NFPA 1) Fire Truck Parameters: Pierce Arrow XT Chassis Aerial Platform 100 Inside Cramp Angle: 40 Degrees Axle Track: 82.92 inches Wheel Offset: 5.30 inches Tread Width: 17.5 inches Chassis Overhang: 68.99 inches Additional Bumper Depth: 22 inches Front Overhang: 90.99 inches Wheelbase: 270 inches Overall length: 581.75 inches Calculated Turning Radius: Inside Turn: 25 ft. 7 in. Curb to Curb: 41 ft. 8 in. Wall to Wall: 48 ft. 5 in. Overall length: 48 ft 6in.</p>

31.	Public Safety - Fire Marshal	Fire department access road shall have an unobstructed width of not less than 20 ft in accordance with the specifications of NFPA 1, Section 18.2.3.5.1.1
32.	Public Safety - Fire Marshal	Hose Lay: Fire Department access roads shall be provided such that any portion of the facility or any portion of an exterior wall of the first floor of the building is located not more than 150 FT (450 FT if equipped with an AUTOMATIC FIRE SPRINKLER SYSTEM) from Fire Department access roads measured by an approved route around the exterior of the building or facility (Section 18.2.3.2.2 and 18.2.3.2.2.1 NFPA 1)
33.	Public Safety - Fire Marshal	Access to a door: Fire department access roads shall extend to within 50 FT of at least one exterior door that can be opened from the outside and that provides access to the interior of the building per Section 18.2.3.2.1 NFPA 1
34.	Public Works - Engineering	Based on FEMA FIRM Map the southern portions of the site appear to lie in the floodplain. Seminole County does not allow fill in the floodplain without equal volumetric compensation.
35.	Public Works - Engineering	The proposed project is located within the Little Wekiva drainage basin within Tributary F.
36.	Public Works - Engineering	Based on SCS Soil Survey GIS overlays, the site generally has A/D class soils.
37.	Public Works - Engineering	Based on a preliminary review, at a minimum, the site will be required to hold water quality and not exceed the pre development rate of discharge for the 25-year,24-hour storm event if viable outfall is verified. If viable outfall to the ultimate receiving body cannot be verified, the entire 25-year, 24-hour storm event volume will need to be retained.
38.	Public Works - Engineering	Based on 1 ft. contours, the topography of the site appears to slope to the south.
39.	Public Works - Engineering	Based on a preliminary review, the site appears to outfall to a wetland system to the south.
40.	Public Works - Engineering	A detailed drainage analysis will be required at final engineering.
41.	Public Works - Engineering	A permit from the St. John's River Water Management District or Florida Department of Environmental Protection is generally required for projects with more than 5,000 sq. ft. of new impervious or 4,000 sq. ft. of new building for a total of 9,000 sq. ft. of new impervious surface. For more information see www.sjrwmd.com .
42.	Public Works - Engineering	A National Pollutant Discharge Elimination System (NPDES) Permit is required for all projects that disturb greater than one acre. (http://cfpub.epa.gov/npdes/home.cfm?program_id=45)

43. Public Works - Engineering	The property is adjacent to Hillview St which currently programmed to be improved according to the County 5-year Capital Improvement Program (Seminole County CIP No. 02007092). Plans are available for review.
44. Public Works - Engineering	The developer shall provide a pedestrian sidewalk along Hillview St frontage or may provide payment into the Sidewalk Fund in accordance with Ordinance #2019-46 in lieu of sidewalk construction since sidewalk is planned through proposed CIP project.

AGENCY/DEPARTMENT EFORM COMMENTS AND PROJECT STATUS

This section shows the reviewers of this project from the various County agencies. It may also include additional comments for review and response.

DEPARTMENT	REVIEWER	STATUS	CONTACT INFORMATION
Buffers and CPTED	Maya Athanas	Review Complete	Phone: 407-665-7388 Email: mathanas@seminolecountyfl.gov
Building Division	Tony Coleman	Review Complete	Phone: 407-665-7581 Email: acoleman@seminolecountyfl.gov
Comprehensive Planning	Tyler Reed	Review Complete	Phone: 407-665-7398 Email: treed@seminolecountyfl.gov
Environmental Services	James Van Alstine	Review Complete	Phone: 407-665-2024 Email: jvanalstine@seminolecountyfl.gov
Impact Analysis Coordination	William Wharton	No Review Required	Phone: 407-665-5730 Email: wwarton@seminolecountyfl.gov
Natural Resources	Sarah Harttung	Review Complete	Phone: 407-665-7391 Email: sharttung@seminolecountyfl.gov
Planning and Development	Doug Robinson	Review Complete	Phone: 407-665-7308 Email: drobinson03@seminolecountyfl.gov
Public Safety - Fire Marshal	Matthew Maywald	Review Complete	Phone: 407-665-5177 Email: mmaywald@seminolecountyfl.gov
Public Works - Engineering	Jose Gomez	Review Complete	Phone: 407-665-7383 Email: jgomez@seminolecountyfl.gov

RESOURCE INFORMATION

Seminole County Land Development Code:

<http://www.seminolecountyfl.gov/departments-services/development-services/planning-development/codes-regulations/>

Seminole County Comprehensive Plan:

<http://www.seminolecountyfl.gov/departments-services/development-services/planning-development/codes-regulations/comprehensive-plan/index.stml>

Development Services:

<http://www.seminolecountyfl.gov/departments-services/development-services/>

Wekiva Consistency form:

<http://www.seminolecountyfl.gov/core/fileparse.php/3207/urlt/WekivaConReview.pdf>

Seminole County Property Appraiser Maps:

<http://www.scpafl.org>

Seminole County Wetland Information:

<http://www.seminolecountyfl.gov/departments-services/development-services/planning-development/forms-applications-resources/wetl-dock-information.stml>

FEMA LOMR (Letter of Map Revision):

www.fema.gov

Cities:

Altamonte Springs	(407) 571-8000	www.altamonte.org
Casselberry	(407) 262-7700	www.casselberry.org
Lake Mary	(407) 585-1449	www.lakemaryfl.com
Longwood	(407) 260-3440	www.longwoodfl.org
Oviedo	(407) 971-5555	www.cityofoviedo.net
Sanford	(407) 688-5000	www.sanfordfl.gov
Winter Springs	(407) 327-1800	www.winterspringsfl.org

Other Agencies:

Florida Dept of Transportation	FDOT		www.dot.state.fl.us
Florida Dept of Enviro Protection	FDEP	(407) 897-4100	www.dep.state.fl.us
St. Johns River Water Mgmt Dist	SJRWMD	(407) 659-4800	www.sjrwmd.com
Health Department	Septic	(407) 665-3621	

Other Resources:

Flood Prone Areas	www.seminolecountyfl.gov/gm/building/flood/index.aspx
Watershed Atlas	www.seminole.wateratlas.usf.edu
Seminole Co. Property Appraiser	www.scpafl.org



SEMINOLE COUNTY, FLORIDA

COUNTY SERVICES
BUILDING
1101 EAST FIRST STREET
SANFORD, FLORIDA
32771-1468

Agenda Memorandum

File Number: 2023-1185

Title:

HEATHROW COUNTRY CLUB DRIVING RANGE - SITE PLAN

Project Number: 23-06000057

Project Description: Proposed Site Plan to add an open-air canopy, lighting and, fans to an existing country club on 185.9 acres in the PD Zoning District located on the east side of Heathrow Blvd, north of W Lake Mary Blvd

Project Manager: Joy Giles (407) 665-7399 (jgiles@seminolecountyfl.gov)

Parcel ID: 12-20-29-300-001L-0000

BCC District: 5-Herr

Applicant: John Lepak (407) 427-3832

Consultant: Anne Roun (407) 410-8624



SEMINOLE COUNTY
PLANNING & DEVELOPMENT DIVISION
1101 EAST FIRST STREET, ROOM 2028
SANFORD, FLORIDA 32771
(407) 665-7371 EPLANDESK@SEMINOLECOUNTYFL.GOV

PROJ. #: 23-06000057

Received: 10/3/23 Paid: 10/5/23

SITE PLAN/DREDGE & FILL

ALL INFORMATION MUST BE PROVIDED FOR APPLICATION TO BE CONSIDERED COMPLETE

APPLICATION TYPES/FEEES

<input type="checkbox"/> SMALL SITE PLAN (<2,500 SQUARE FEET IMPERVIOUS SURFACE AREA SUBJECT FOR REVIEW)	\$500.00
<input type="checkbox"/> FILL (≥100 CUBIC YARDS OF FILL AND/OR IN FLOOD PLAIN OR WETLAND PER SEC. 40.2)	\$500.00
<input type="checkbox"/> DREDGE AND FILL	\$750.00
<input checked="" type="checkbox"/> SITE PLAN (>2,500 SQUARE FEET IMPERVIOUS SURFACE AREA SUBJECT FOR REVIEW)	CALCULATED BELOW MAXIMUM \$9,000
<p>Canopy NEW BUILDING SQUARE FOOTAGE: <u>3075</u> + NEW PAVEMENT SQUARE FOOTAGE: <u>(3075 - 456) 2619</u> = TOTAL SQUARE FEET OF NEW IMPERVIOUS SURFACE AREA (ISA) SUBJECT FOR REVIEW: _____</p> <p>(TOTAL NEW ISA <u>5,694</u> /1,000 = <u>5.69</u>) * x \$25 + \$2,500 = FEE DUE: <u>\$2,642.25</u></p> <p><u>EXAMPLE: 40,578 SF OF NEW ISA SUBJECT FOR REVIEW = 40,578/1,000 = 40.58* x \$25 = \$1,014.50 + \$2,500 = \$3,514.50</u></p> <p>*ROUNDED TO 2 DECIMAL POINTS</p>	

PROJECT

PROJECT NAME:	Heathrow Country Club Driving Range Update		
PARCEL ID #(S):	12-20-29-300-001L-0000		
DESCRIPTION OF PROJECT:	Existing driving range update. We will add an open-air canopy (noncombustible), lighting, fans, TVs to create a more functionable and technology driven driving range solution.		
EXISTING USE(S):	PD Driving Range	PROPOSED USE(S):	PD Driving Range
ZONING:	PD	FUTURE LAND USE:	PD TOTAL ACREAGE: 185.9 BCC DISTRICT: 5: Herr
WATER PROVIDER:	Seminole County	SEWER PROVIDER:	Seminole County
ARE ANY TREES BEING REMOVED?	YES <input type="checkbox"/> NO <input checked="" type="checkbox"/> (IF YES, ATTACH COMPLETED ARBOR APPLICATION)		
IF DREDGE & FILL OR FILL PERMIT, CUBIC YARDS OF FILL PROPOSED:	NA		

APPLICANTEPLAN PRIVILEGES: VIEW ONLY UPLOAD NONE

NAME: John Lepak	COMPANY: Trinity Restoration and Contracting, Inc	
ADDRESS: 1382 Palm Ave		
CITY: Winter Park	STATE: FL	ZIP: 32789
PHONE: 407-427-3832	EMAIL: JLepak@TrinityRestC.com	

CONSULTANTEPLAN PRIVILEGES: VIEW ONLY UPLOAD NONE

NAME: Anne Roun	COMPANY: KPM Franklin	
ADDRESS: 6300 Hazelton Dr suite 118		
CITY: Orlando	STATE: FL	ZIP: 32822
PHONE: 407-410-8624	EMAIL: ARoun@KPMFranklin.com	

OWNER(S)

(INCLUDE NOTARIZED OWNER'S AUTHORIZATION FORM)

NAME(S): Concert Heathrow		
ADDRESS: 1220 Bridgewater Dr		
CITY: Heathrow	STATE: FL	ZIP: 32746
PHONE:	EMAIL:	

CONCURRENCY REVIEW MANAGEMENT SYSTEM (SELECT ONE)

I hereby declare and assert that the aforementioned proposal and property described are covered by a valid previously issued Certificate of Vesting or a prior Concurrency determination (Test Notice issued within the past two years as identified below. (Please attach a copy of the Certificate of Vesting or Test Notice.)

<u>TYPE OF CERTIFICATE</u>	<u>CERTIFICATE NUMBER</u>	<u>DATE ISSUED</u>
VESTING:	_____	_____
TEST NOTICE:	_____	_____

Concurrency Application and appropriate fee are attached. I wish to encumber capacity at an early point in the development process and understand that only upon approval of the Development Order and the full payment of applicable facility reservation fees is a Certificate of Concurrency issued and entered into the Concurrency Management monitoring system.

Not applicable

I understand that the application for site plan review must include all required submittals as specified in Chapter 40, Part 4, of the Seminole County Land Development Code. Submission of incomplete plans may create delays in review and plan approval. **The review fee provides for two plan reviews. Additional reviews will require an additional fee.**

I hereby represent that I have the lawful right and authority to file this application.

SIGNATURE OF AUTHORIZED APPLICANT

10/2/2023

DATE

05/2023

OWNER AUTHORIZATION FORM

An authorized applicant is defined as:

- The property owner of record; or
- An agent of said property owner (power of attorney to represent and bind the property owner must be submitted with the application); or
- Contract purchase (a copy of a fully executed sales contract must be submitted with the application containing a clause or clauses allowing an application to be filed).

I, Sundria R. Ridgley, the owner of record for the following described property [Parcel ID Number(s)] 12-20-29-300-001L-0000 hereby designates John Kepak to act as my authorized agent for the filing of the attached application(s) for:

<input type="checkbox"/> Alcohol License	<input type="checkbox"/> Arbor Permit	<input checked="" type="checkbox"/> Construction Revision	<input type="checkbox"/> Final Engineering
<input type="checkbox"/> Final Plat	<input type="checkbox"/> Future Land Use Amendment	<input type="checkbox"/> Lot Split/Reconfiguration	<input type="checkbox"/> Minor Plat
<input type="checkbox"/> Preliminary Subdivision Plan	<input type="checkbox"/> Rezone	<input type="checkbox"/> Site Plan	<input type="checkbox"/> Special Event
<input type="checkbox"/> Special Exception	<input type="checkbox"/> Temporary Use Permit	<input type="checkbox"/> Vacate	<input type="checkbox"/> Variance

OTHER: _____
 and make binding statements and commitments regarding the request(s). I certify that I have examined the attached application(s) and that all statements and diagrams submitted are true and accurate to the best of my knowledge. Further, I understand that this application, attachments, and fees become part of the Official Records of Seminole County, Florida and are not returnable.

10/2/2023
 Date

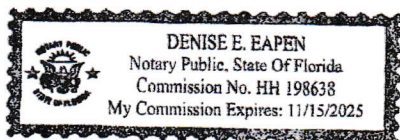
Concert Heathrow Opco, LLC

 Property Owner's Signature

Sundria R. Ridgley Authorized Person
 Property Owner's Printed Name

STATE OF FLORIDA
COUNTY OF SEMINOLE

SWORN TO AND SUBSCRIBED before me, an officer duly authorized in the State of Florida to take acknowledgements, appeared Sundria R. Ridgley for Concert Heathrow Opco, LLC (property owner),
 by means of physical presence or online notarization; and who is personally known to me or who has produced _____ as identification, and who executed the foregoing instrument and sworn an oath on this 2nd day of October, 2023.



Notary Public



[Department of State](#) / [Division of Corporations](#) / [Search Records](#) / [Search by Entity Name](#) /

Detail by Entity Name

Foreign Limited Liability Company

CONCERT HEATHROW, LLC

Filing Information

Document Number	M11000003280
FEI/EIN Number	45-2508615
Date Filed	06/27/2011
State	DE
Status	ACTIVE
Last Event	LC STMT OF RA/RO CHG
Event Date Filed	12/13/2019
Event Effective Date	NONE

Principal Address

300 International Pkwy, Suite 150
Lake Mary, FL 32746

Changed: 01/18/2023

Mailing Address

300 INTERNATIONAL PKWY.
SUITE 150
LAKE MARY, FL 32746

Changed: 03/03/2021

Registered Agent Name & Address

CT CORPORATION SYSTEMN
1200 S PINE ISLAND RD
PLANTATION, FL 33324

Name Changed: 12/13/2019

Address Changed: 12/13/2019

Authorized Person(s) Detail

Name & Address

Title Authorized Person

Ridgley , Sundria

300 International Pkwy, Suite 150
Lake Mary, FL 32746

Title Authorized Person

NANULA, PETER J

300 International Pkwy, Suite 150
Lake Mary, FL 32746

Title Authorized Person

Bogumil, Walter

300 International Pkwy, Suite 150
Lake Mary, FL 32746

Annual Reports

Report Year	Filed Date
2022	03/31/2022
2023	01/18/2023
2023	02/27/2023

Document Images

02/27/2023 -- AMENDED ANNUAL REPORT	View image in PDF format
01/18/2023 -- ANNUAL REPORT	View image in PDF format
03/31/2022 -- ANNUAL REPORT	View image in PDF format
03/03/2021 -- ANNUAL REPORT	View image in PDF format
01/16/2020 -- ANNUAL REPORT	View image in PDF format
12/13/2019 -- CORLCRACHG	View image in PDF format
09/13/2019 -- LC Amendment	View image in PDF format
02/08/2019 -- ANNUAL REPORT	View image in PDF format
01/10/2018 -- ANNUAL REPORT	View image in PDF format
10/18/2017 -- CORLCRACHG	View image in PDF format
01/09/2017 -- ANNUAL REPORT	View image in PDF format
03/21/2016 -- ANNUAL REPORT	View image in PDF format
11/23/2015 -- AMENDED ANNUAL REPORT	View image in PDF format
03/23/2015 -- ANNUAL REPORT	View image in PDF format
04/18/2014 -- CORLCRACHG	View image in PDF format
01/14/2014 -- ANNUAL REPORT	View image in PDF format
02/13/2013 -- ANNUAL REPORT	View image in PDF format
04/18/2012 -- ANNUAL REPORT	View image in PDF format
06/27/2011 -- Foreign Limited	View image in PDF format

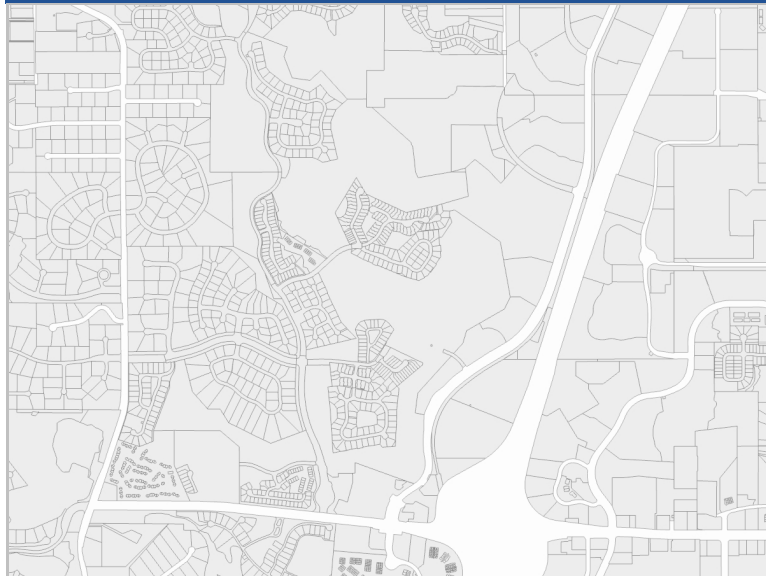
Property Record Card



Parcel 12-20-29-300-001L-0000

Property Address 1200 BRIDGEWATER DR LAKE MARY, FL 32746

Parcel Location



Site View



122029300001L0000 04/27/2023

Parcel Information

Parcel	12-20-29-300-001L-0000
Owner(s)	CONCERT HEATHROW LLC
Property Address	1200 BRIDGEWATER DR LAKE MARY, FL 32746
Mailing	1220 BRIDGEWATER DR HEATHROW, FL 32746
Subdivision Name	
Tax District	01-COUNTY-TX DIST 1
DOR Use Code	38-GOLF COURSE
Exemptions	None
AG Classification	No

Value Summary

	2023 Working Values	2022 Certified Values
Valuation Method	Cost/Market	Cost/Market
Number of Buildings	7	7
Depreciated Bldg Value	\$3,289,012	\$3,293,366
Depreciated EXFT Value	\$176,139	\$187,873
Land Value (Market)	\$1,487,200	\$1,487,200
Land Value Ag		
Just/Market Value	\$4,952,351	\$4,968,439
Portability Adj		
Save Our Homes Adj	\$0	\$0
Amendment 1 Adj	\$0	\$0
P&G Adj	\$0	\$0
Assessed Value	\$4,952,351	\$4,968,439

2022 Certified Tax Summary

2022 Tax Amount without Exemptions	\$66,119.99
2022 Tax Bill Amount	\$66,119.99

* Does NOT INCLUDE Non Ad Valorem Assessments

Legal Description

SEC 12 TWP 20S RGE 29E
 BEG 586.25 FT W OF NE COR OF SEC RUN S 08 DEG 18 MIN 38 SEC E 373.67 FT S 74 DEG 49 MIN 12 SEC W 400.99 FT S 09 DEG 27 MIN 44 SEC E 91.24 FT S 87 DEG 34 MIN 15 SEC E 165.15 FT S 55 DEG 17 MIN 15 SEC E 839.40 FT S 10 DEG 30 MIN 58 SEC E 849.26 FT S 26 DEG 33 MIN 54 SEC W 201.25 FT S 60 DEG 18 MIN 33 SEC W 656.14 FT S 16 DEG 58 MIN 32 SEC W 198.66 FT S 42 DEG 16 MIN 53 SEC W 215.31 FT NWLY ALONG CURVE 166.72 FT N 69 DEG 55 MIN 37 SEC W 383.74 FT N 10 DEG 42 MIN 47 SEC W 564.85 FT S 61 DEG 53 MIN 37 SEC W 498.82 FT S 38 DEG 32 MIN 40 SEC E 232.70 FT S 31 DEG 36 MIN 56 SEC W 481.35 FT SLY ALONG CURVE 138.10 FT N 83 DEG 36 MIN 04 SEC W 526.26 FT NLY ALONG CURVE 175.54 FT S 86 DEG 14 MIN 28 SEC W 46.75 FT NLY ALONG CURVE 148.88 FT NWLY ALONG CURVE 39.27 FT N 03 DEG 11 MIN 54 SEC E 57.51 FT NLY ALONG CURVE 57.50 FT N 77 DEG 39 SEC E 774.31 FT N 43 DEG 10 MIN 16 SEC W 490.56 FT N 64 DEG 30 MIN 44 SEC E 10 FT N 25 DEG 29 MIN 16 SEC W 95 FT S 64 DEG 30 MIN 44 SEC W 10 FT N 25 DEG 29 MIN 16 SEC W 223.53 FT N 16 DEG 52 MIN 45 SEC W 16.64 FT N 47 DEG 30 MIN E 350.28 FT NELY ALONG CURVE 290.52 FT S 13 DEG 45 MIN 35 SEC W 64.32 FT S 62 DEG 13 MIN 40 SEC E 213.11 FT S 67 DEG 26 MIN 09 SEC E 147.02 FT S 19 DEG 33 MIN 01 SEC W 10.01 FT S 67 DEG 26 MIN 09 SEC E 75.10 FT N 19 DEG 33 MIN 01 SEC E 10.01 FT S 67 DEG 26 MIN 09 SEC E 475.75 FT S 74 DEG 53 MIN 20 SEC E 197.58 FT N 63 DEG 46 MIN 42 SEC E 96.82 FT N 25 DEG 57 MIN 40 SEC W 9.73 FT N 63 DEG 46 MIN 42 SEC E 57.08 FT S 55 DEG 03 MIN

22 SEC E 10 FT N 34 DEG 56 MIN 38 SEC E 75 FT S 55 DEG 03 MIN 22 SEC E 3 FT N 34 DEG 56 MIN 38 SEC E 75 FT N 55 DEG 03 MIN 22 SEC W 13 FT N 34 DEG 56 MIN 38 SEC E 124.39 FT N 04 DEG 50 MIN 35 SEC W 79.99 FT S 86 DEG 35 MIN 46 SEC E 13.14 FT N 04 DEG 50 MIN 35 SEC W 100.45 FT S 78 DEG 38 SEC W 13.10 FT N 04 DEG 50 MIN 35 SEC W 599.91 FT S 77 DEG 13 MIN 35 SEC W 466.59 FT N 65 DEG 01 MIN 14 SEC W 661.98 FT N 03 DEG 57 MIN 33 SEC W 291.62 FT S 31 DEG 09 MIN 50 SEC W 621.40 FT S DEG 42 MIN 21 SEC E 327.78 FT SWLY ALONG CURVE 330.01 FT S 47 DEG 30 MIN W 94.43 FT N 53 DEG 51 MIN 29 SEC W 103.62 FT NLY ALONG CURVE 38.61 FT WLY ALONG CURVE 75.07 FT N 77 DEG 08 MIN 21 SEC W 53 FT NLY ALONG CURVE 48.68 FT N 24 DEG 23 MIN 51 SEC W 10.70 FT S 22 DEG 27 MIN 14 SEC W 22.50 FT N 64 DEG 31 MIN 52 SEC W 89.68 FT N 20 DEG 42 MIN 17 SEC E 56.19 FT N 57 DEG 29 MIN 07 SEC W 154.70 FT S 62 DEG 36 MIN 04 SEC W 72.81 FT N 57 DEG 29 MIN 07 SEC W 78 FT N 37 DEG 51 MIN 17 SEC W 83.34 FT N 64 DEG 45 SEC W 43.99 FT N 36 DEG 15 MIN 07 SEC W 25.80 FT N 27 DEG 35 MIN 09 SEC W 44.35 FT N 22 DEG 10 MIN 56 SEC E 45.88 FT N 16 DEG 44 MIN 51 SEC W 20.07 FT N 70 DEG 29 MIN 22 SEC W 45.11 FT N 11 DEG 53 MIN 20 SEC W 117.40 FT N 55 DEG 20 MIN 26 SEC E 43.92 FT N 21 DEG 03 MIN 37 SEC W 301.13 FT NLY ALONG CURVE 61.88 FT NWLY ALONG CURVE 205.06 FT S 82 DEG 42 MIN 36 SEC E 61.77 FT NWLY ALONG CURVE 328.42 FT E 384.83 FT S 59 DEG 17 MIN 46 SEC E 145.40 FT N 77 DEG 13 MIN 57 SEC E 232.51 FT N 12 DEG 46 MIN 03 SEC W 457.31 FT N 125 FT N 23 DEG 20 MIN 41 SEC E 187.41 FT N 47 DEG 54 MIN 39 SEC E 235.18 FT E 285.95 FT S 122.53 FT E 80 FT S 48 DEG 16 MIN 27 SEC E 788.59 FT S 21 DEG 06 MIN 46 SEC E 93.14 FT S 06 DEG 10 MIN 56 SEC E 368.15 FT S 23 DEG 10 MIN 09 SEC E 93.16 FT N 78 DEG 55 MIN 17 SEC E 728.58 FT S 06 DEG 18 MIN 38 SEC E 53.92 FT TO BEG & FROM NE COR OF SEC RUN W 586.25 FT S 06 DEG 18 MIN 38 SEC E 373.67 FT S 74 DEG 49 MIN 12 SEC W 400.99 FT S 09 DEG 27 MIN 44 SEC E 91.24 FT S 87 DEG 34 MIN 15 SEC E 165.14 FT S 55 DEG 17 MIN 15 SEC E 839.40 FT S 10 DEG 30 MIN 58 SEC E 849.26 FT S 26 DEG 33 MIN 54 SEC W 201.25 FT S 60 DEG 18 MIN 33 SEC W 656.14 FT S 16 DEG 56 MIN 32 SEC W 198.66 FT S 42 DEG 16 MIN 53 S W 266.11 FT TO BEG RUN S 42 DEG 16 MIN 53 SEC W 747.62 FT S 07 DEG 35 MIN 41 SEC W 302.66 FT S 77 DEG 35 MIN 39 SEC E 131.63 FT SLY SELY & SWLY ALONG CURVE 1100.99 FT N 10 DEG 10 MIN 32 SEC W 943.36 FT S 160.19 FT W 251 FT S 54.41 FT S 87 DEG 11 MIN 31 SEC W 86.81 FT N 57 DEG 36 MIN 42 SEC W 108.34 FT N 03 DEG 23 MIN 15 SEC E 50 FT N 10 DEG 38 MIN 40 W 40 FT N 22 DEG 53 MIN 57 SEC W 94.22 FT N 10 DEG 38 MIN 40 SEC W 50 FT NWLY ALONG CURVE 211.11 FT N 25 DEG 37 MIN 46 SEC W 128.50 FT NWLY & NLY ALONG CURVE 857.79 FT N 03 DEG 11 MIN 54 SEC E 231.93 FT NELY & ELY ALONG CURVE 184.80 FT N 86 DEG 14 MIN 28 SEC E 46.75 FT ELY ALONG CURVE 134.06 FT S 06 DEG 01 MIN 14 SEC E 326.51 FT S 83 DEG 58 MIN 32 SEC W 64.71 FT S 06 DEG 01 MIN 14 SEC E 329.49 FT S 03 DEG 39 MIN 48 SEC E 668.20 FT N 78 DEG 55 MIN 46 SEC E 458.75 FT N 81 DEG 19 MIN 20 SEC E 260.47 FT S 38 DEG 04 MIN 52 SEC E 53.97 FT N 86 DEG 16 MIN 11 SEC E 198.80 FT N 02 DEG 02 MIN 42 SEC E 290.36 FT E 5 FT N 02 DDEG 02 MIN 42 SEC E 86.94 FT W 1 FT N 02 DEG 02 MIN 42 SEC E 158.91 FT W 4 FT N 06 DEG 06 MIN 48 SEC E 337.15 FT N 39 DEG 31 MIN 27 SEC W 44.44 FT N 50 DEG 10 MIN 03 SEC E 502.84 FT N 04 DEG 165 MIN 05 SEC E 30.40 FT N 50 DEG 10 MIN 03 SEC E 502.84 FT N 04 DEG 15 MIN 05 SEC E 30.40 FT N 52 DEG 50 MIN 51 SEC E 293.20 FT S 74 DEG 35 MIN 39 SEC E 72 86 FT N 15 DEG 24 MIN 36 SEC E 49.99 FT N 69 DEG 55 MIN 37 SEC W 182.18 FT TO POB RUN S 12 DEG 46 MIN 06 SEC W 25.64 FT N 74 DEG 31 MIN 13 SEC W 20.02 FT N 12 DEG 46 MIN 06 SEC E 27.26 FT S 69 DEG 55 MIN 37 SEC E 20.16 FT TO BEG & MUIRFIELD VILLAGE PB 41 PGS 55 TO 58 & THE HAMPTONS OF HEATHROW PB 33 PG 79 & BRAMPTON COVE PB 38 PG 81 & BRECKENRIDGE HEIGHTS PB 42 PG 27 & DEVON GREEN PHS 1 - 4 & LEXINGTON GREEN & LEXINGTON GREEN REPLAT 1& STRATFORD GARDENS & BEG N 74 DEG 30 MIN 10 SEC E OF NE COR LOT 8 PB 74 PGS 68 & 69 RUN N 5 DEG 58 MIN 8 SEC W 373 FT S 87 DEG 58 MIN 1 SEC W 220.24 FT S 80 DEG 30 MIN 25 SEC W 507.63 FT N 23 DEG 4 MIN 51 SEC W 93.14 FT N 6 DEG 4 MIN 56 SEC W 366.1 FT N 21 DEG 2 MIN 39 SEC W 93.18 FT N 48 DEG 8 MIN 2 SEC W 788.3 FT W 79.99 FT N 122.52 FT W 285.83 FT S 47 DEG 31 MIN 26 SEC W 235.12 FT S 23 DEG 10 MIN 48 SEC W 187.4 FT S 125 FT S 12 DEG 28 MIN 57 SEC E 457.4 FT S 77 DEG 7 MIN 31 SEC W 232.42 FT N 59 DEG 10 MIN 1 SEC W 144.43 FT W 384.42 FT N 82 DEG 42 MIN 46 SEC W 61.77 FT SWLY ON CURVE TO NE COR TRACT A PB 38 PG 81 THEN S 21 DEG 3 MIN 15 SEC E 301.22 FT S 55 DEG 11 MIN 4 SEC W 43.91 FT S 11 DEG 33 MIN 15 SEC E 117.42 FT S 40 DEG 17 MIN 44 SEC E 45.19 FT S 16 DEG 28 MIN 1 SEC E 20.07 FT S 22 DEG 4 MIN 54 SEC W 45.87 FT S 27 DEG 22 MIN 21 SEC E 44.36 FT S 36 DEG 10 MIN 1 SEC E 25.81 FT S 64 DEG 38 SEC E 44 FT S 37 DEG 31 MIN 39 SEC E 83.36 FT S 57 DEG 17 MIN 57 SEC E 78.03 FT N 62 DEG 22 MIN 34 SEC E 72.83 FT S 57 DEG 17 MIN 57 SEC E 154.76 FT S 20 DEG 23 MIN 20 SEC W 56.18 FT S 64 DEG 19 MIN 15 SEC E 89.72 FT N 22 DEG 17 MIN 47 SEC E 22.50 FT SLY ON CURVE 48.68 FT S 77 DEG 8 MIN 21 SEC E 53 FT SLY ON CURVE 113.68 FT S 53 DEG 51 MIN 29 SEC E 103.62 FT N 47 DEG 30 MIN E 350.28 FT NELY ON CURVE 330.01 FT N 70 DEG 3 MIN 6 SEC W 30.14 FT N 24 DEG 24 MIN 9 SEC W 511.64 FT N 31 DEG 7 MIN 6 SEC E 621.48 FT S 30 DEG 35 MIN 29 SEC E 662.26 FT N 76 DEG 57 MIN 49 SEC 3 484.92 FT N 72 DEG 20 MIN 12 SEC E 83.74 FT N 74 DEG 30 MIN 10 SEC E 401.14 FT TO BEG & FROM NELY COR OF HEATHROW BLVD PB 30 PG 81 RUN S 03 DEG 11 MIN 54 SEC W 125 FT SLY ALONG CURVE 39.27 FT ELY ALONG CURVE 148.87 FT N 86 DEG 14 MIN 28 SEC E 46.75 FT ELY ALONG CURVE 175.54 FT S 83 DEG 36 MIN 02 SEC E 393.45 FT TO POB RUN N 83.44 FT N 05 DEG 40 MIN 47 SEC E 99.29 FT N 173.25 FT N 26 DEG 02 MIN 30 SEC W 78.59 FT NLY & NELY ALONG CURVE 195.65 FT N 55 DEG 46 MIN 24 SEC E 17.7 FT ELY ALONG CURVE 79.97 FT N 86 DEG 19 MIN 17 SEC E 211.24 FT ELY ALONG CURVE 42.69 FT S 74 DEG 51 MIN 45 SEC E 21.61 FT SELY ALONG CURVE 94.12 FT S 37 DEG 40 MIN 18 SEC E 121.31 FT S 31 DEG 36 MIN 56 SEC W 225.05 FT S 58 DEG 23 MIN 04 SEC E 7.8 FT S 31 DEG 36 MIN 56 SEC W 283.74 FT SWLY & WLY ALONG CURVE 172.48 FT N 83 DEG 36 MIN 04 SEC W 132.81 FT TO BEG)

&
SEC 12 TWP 20S RNG 29E
BEG N 74 DEG 30 MIN 10 SEC E OF NE COR LOT 8 PB 74 PGS 68 & 69 RUN N 5 DEG 58 MIN 8 SEC W 373 FT S 87 DEG 58 MIN 1 SEC W 220.24 FT S 80 DEG 30 MIN 25 SEC W 507.63 FT N 23 DEG 4 MIN 51 SEC W 93.14 FT N 6 DEG 4 MIN 56 SEC W 366.1 FT N 21 DEG 2 MIN 39 SEC W 93.18 FT N 48 DEG 8 MIN 2 SEC W 788.3 FT W 79.99 FT N 122.52 FT W 285.83 FT S 47 DEG 31 MIN 26 SEC W 235.12 FT S 23 DEG 10 MIN 48 SEC W 187.4 FT S 125 FT S 12 DEG 28 MIN 57 SEC E 457.4 FT S 77 DEG 7 MIN 31 SEC W 232.42 FT N 59 DEG 10 MIN 1 SEC W 144.43 FT W 384.42 FT N 82 DEG 42 MIN 46 SEC W 61.77 FT SWLY ON CURVE TO NE COR TRACT A PB 38 PG 81 THEN S 21 DEG 3 MIN 15 SEC E 301.22 FT S 55 DEG 11 MIN 4 SEC W 43.91 FT S 11 DEG 33 MIN 15 SEC E 117.42 FT S 40 DEG 17 MIN 44 SEC E 45.19 FT S 16 DEG 28 MIN 1 SEC E 20.07 FT S 22 DEG 4 MIN 54 SEC W 45.87 FT S 27 DEG 22 MIN 21 SEC E 44.36 FT S 36 DEG 10 MIN 1 SEC E 25.81 FT S 64 DEG 38 SEC E 44 FT S 37 DEG 31 MIN 39 SEC E 83.36 FT S 57 DEG 17 MIN 57 SEC E 78.03 FT N 62 DEG 22 MIN 34 SEC E 72.83 FT S 57 DEG 17 MIN 57 SEC E 154.76 FT S 20 DEG 23 MIN 20 SEC W 56.18 FT S 64 DEG 19 MIN 15 SEC E 89.72 FT N 22 DEG 17 MIN 47 SEC E 22.50 FT SLY ON CURVE 48.68 FT S 77 DEG 8 MIN 21 SEC E 53 FT SLY ON CURVE 113.68 FT S 53 DEG 51 MIN 29 SEC E 103.62 FT N 47 DEG 30 MIN 10 SEC E 401.14 FT TO BEG

Taxes

Taxing Authority	Assessment Value	Exempt Values	Taxable Value
ROAD DISTRICT	\$4,952,351	\$0	\$4,952,351
SJWM(Saint Johns Water Management)	\$4,952,351	\$0	\$4,952,351
FIRE	\$4,952,351	\$0	\$4,952,351
COUNTY GENERAL FUND	\$4,952,351	\$0	\$4,952,351
Schools	\$4,952,351	\$0	\$4,952,351

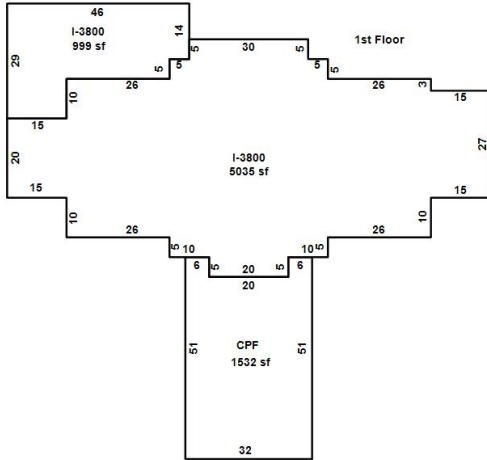
SPECIAL WARRANTY DEED 06/01/1996 03087 1875 \$2,930,200 No Vacant

Land

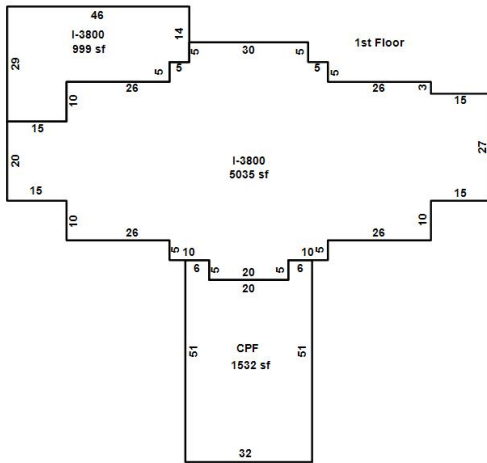
Method	Frontage	Depth	Units	Units Price	Land Value
ACREAGE			185.9	\$8,000.00	\$1,487,200

Building Information

#	Description	Year Built Actual/Effective	Stories	Total SF	Ext Wall	Adj Value	Repl Value	Appendages						
1	REINFORCED CONCRETE	1984/1995	2	12214.00	NO WALLS	\$1,368,216	\$1,806,226	<table border="1"> <thead> <tr> <th>Description</th> <th>Area</th> </tr> </thead> <tbody> <tr> <td>CARPORT FINISHED</td> <td>1532.00</td> </tr> <tr> <td>OPEN PORCH FINISHED</td> <td>1025.00</td> </tr> </tbody> </table>	Description	Area	CARPORT FINISHED	1532.00	OPEN PORCH FINISHED	1025.00
Description	Area													
CARPORT FINISHED	1532.00													
OPEN PORCH FINISHED	1025.00													

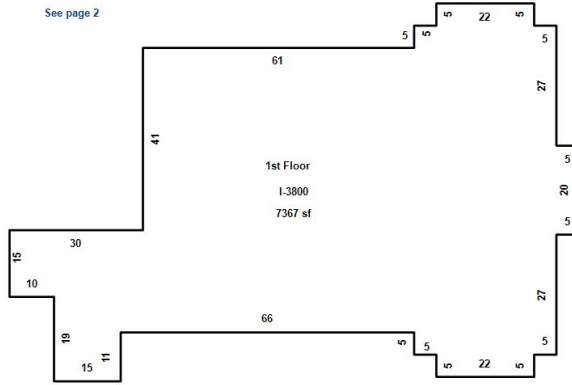


Building 1 - Page 1

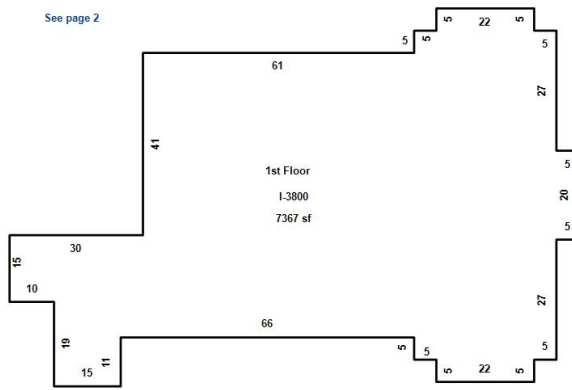


Building 1 - Page 2

#	Description	Year Built Actual/Effective	Stories	Total SF	Ext Wall	Adj Value	Repl Value	Appendages				
2	MASONRY PILASTER .	1997	2	14274.00	STONE RUBBLE OR LOCAL - MASONRY	\$1,481,627	\$2,072,205	<table border="1"> <thead> <tr> <th>Description</th> <th>Area</th> </tr> </thead> <tbody> <tr> <td></td> <td></td> </tr> </tbody> </table>	Description	Area		
Description	Area											



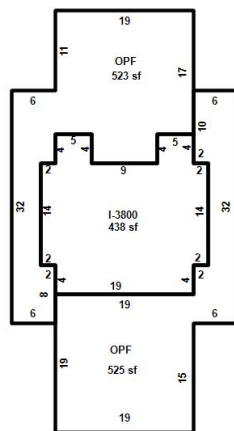
Building 2 - Page 1



Building 2 - Page 2

#	Description	Year Built Actual/Effective	Stories	Total SF	Ext Wall	Adj Value	Repl Value	Appendages
3	WOOD BEAM/COLUMN	1984	1	438.00	BRICK COMMON - MASONRY	\$56,733	\$99,532	

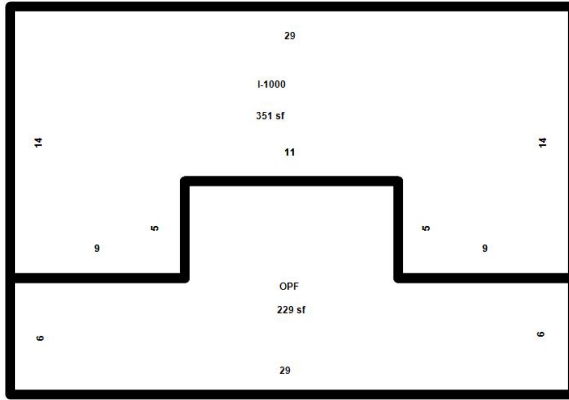
Description	Area
OPEN PORCH FINISHED	525.00
OPEN PORCH FINISHED	523.00



Building 3 - Page 1

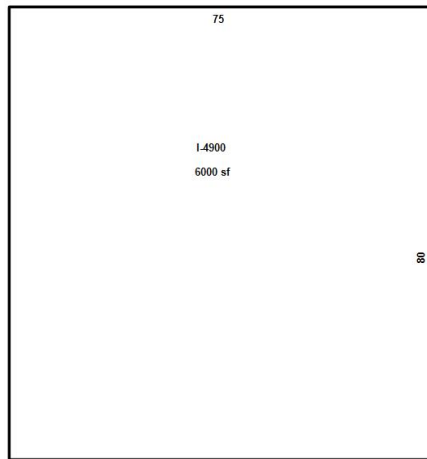
#	Description	Year Built Actual/Effective	Stories	Total SF	Ext Wall	Adj Value	Repl Value	Appendages
4	WOOD BEAM/COLUMN	1990	1	351.00	BRICK COMMON - MASONRY	\$36,250	\$56,201	

Description	Area
OPEN PORCH FINISHED	229.00



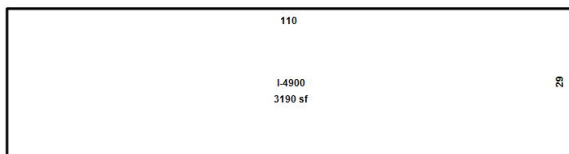
Building 4 - Page 1

#	Description	Year Built Actual/Effective	Stories	Total SF	Ext Wall	Adj Value	Repl Value	Appendages	
5	STEEL/PRE ENGINEERED.	2007	1	6000.00	METAL PREFINISHED - INSULATED	\$211,694	\$264,618	Description	Area



Building 5 - Page 1

#	Description	Year Built Actual/Effective	Stories	Total SF	Ext Wall	Adj Value	Repl Value	Appendages	
6	STEEL/PRE ENGINEERED.	2007	1	3190.00	NO WALLS	\$75,682	\$94,602	Description	Area



Building 6 - Page 1

#	Description	Year Built Actual/Effective	Stories	Total SF	Ext Wall	Adj Value	Repl Value	Appendages	
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7	MASONRY PILASTER .	1984	1	640.00	CONCRETE BLOCK - MASONRY	\$58,810	\$103,176
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Description	Area
CARPORT FINISHED	1980.00

20	99	20	32	20
	CPF		1.4900	
	1980 sf		640 sf	
	99			

Building 7 - Page 1

Permits

Permit #	Description	Agency	Amount	CO Date	Permit Date
01402	TERMITE REPAIR	County	\$2,000		2/1/1999
03269	FIRE PROTECTION; PAD PER PERMIT 1200 BRIDGEWATER DR; HEATHROW COUNTRY CLUB	County	\$23,377		5/1/1997
06063	SIDE GATE MIS ELEC HEATHROW PAD PER PERMIT 1251 BRIDGEWATER DR	County	\$700		9/1/1996
04395	SPRINKLER SYSTEM- COUNTRY CLUB	County	\$1,975		6/1/1996
00619	HEATHROW COUNTRY CLUB	County	\$103,000		1/1/2001
03559	SHADE AREA	County	\$11,000		4/1/2002
06479	INSTALL FIRE SUPPRESSION/MAIN	County	\$2,300		7/1/2001
05612	FIRE & SAFETY SUPPLY; PAD PER PERMIT 1200 BRIDGEWATER DR	County	\$600		8/1/1997
04269	INSTALL FIRE ALARM SYSTEM; PAD PER PERMIT 1100 MAINTENANCE PT	County	\$399		4/1/2002
02145	RANGE HOOD SUPPRESSION SYSTEM	County	\$0		3/1/2004
03008	60 AMP 30 LIFT STATION; PAD PER PERMIT 1100 MAINTENANCE PT	County	\$1,800		3/26/2007
03877	ELECTRICAL - MAINTENANCE BUILDING; PAD PER PERMIT 1100 MAINTENANCE PT	County	\$1,600		4/13/2007
03337	REPLACE PUMP SYSTEM FOR IRRIGATION; PAD PER PERMIT 1351 GLENCREST DR	County	\$2,050		4/2/2008
06434	REMOVE & REINSTALL EXISTING FIRE ALARM DEVICES	County	\$2,397		8/22/2012
07687	MECHANICAL	County	\$10,557		10/11/2012
06624	INSTALL FIRE SYSTEM IN GILES EXHAUST HOOD	County	\$1,800		8/29/2012
06336	FIRE SPRINKLER SYSTEM INSTALLATION - 1200 BRIDGEWATER DR	County	\$3,100		8/20/2012
03387	INTERIOR MODIFICATIONS TO EXISTING SPACE	County	\$450,000	10/31/2012	5/7/2012
08220	MECHANICAL	County	\$49,404		8/20/2014
00375	INSTALL FIRE ALARM SYSTEM	County	\$6,000		10/26/1984
09679	MECHANICAL	County	\$5,250		11/18/2013
05516	MECHANICAL	County	\$12,843		7/1/2013
05709	FIRE ALARM SYSTEM INSTALLATION	County	\$23,197		7/9/2013
06808	MECHANICAL	County	\$14,578		8/12/2013
04150	RE-BUILD MAINT BLDG DUE TO FIRE; PAD PER PERMIT 1100 MAINTENANCE PT BLDG 2 VALUE WAS OVD DUE TO FIRE. PROPERTY MANAGER NOTED NEW BLDG WILL BE EXACTLY THE SAME AS OLD BLDG.	County	\$280,000	8/22/2007	4/11/2006
05363	HEATHROW COUNTRY CLUB FIRE SPRINKLERS; PAD PER PERMIT 1200 BRIDGEWATER DR	County	\$18,325		8/1/1997
04196	(1) 40X60 WITH SIDES; PAD PER PERMIT 1200 BRIDGEWATER DR	County	\$760		6/1/1997
04895	REPAIR DAMAGED CONDUIT & WIRE; PAD PER PERMIT 1200 BRIDGEWATER DR	County	\$0		7/1/1997
05721	HOOKUP TO CAPTIVE AIR HOOD; PAD PER PERMIT 1200 BRIDGEWATER DR	County	\$700		8/1/1997
08718	REROOF W/SLATE -RANK 3?	County	\$175,371		7/27/2006
07833	STORAGE BLDG - GOLF & COUNTRY CLUB 1100 MAINTENANCE PT	County	\$8,000		12/1/1995
02228	HEATHROW COUNTRY CLUB RENOVATION; PAD PER PERMIT 1200 BRIDGEWATER DR	County	\$1,400,000	7/30/1998	4/1/1997
14499	DEMOLISH & REMOVE EXISTING REMAINS OF METAL BURN-OUT BUILDING	County	\$16,000	8/30/2005	7/28/2005
17153	PLUMBING - 1200 BRIDGEWATER DR	County	\$2,425		12/6/2017
13953	1200 BRIDGEWATER DR: SIDING/AWNINGS/AL ROOF/CANOPY COMMERCIAL-aluminum patio cover w/pier footers CC	County	\$35,266		9/5/2023
13954	1200 BRIDGEWATER DR: OTHER BUILDING COMMERCIAL-aluminum patio cover with pier footers	County	\$37,620		9/13/2023
13833	1200 BRIDGEWATER DR: SIDING/AWNINGS/AL ROOF/CANOPY COMMERCIAL-14"X28" aluminum patio cover	County	\$11,800		9/13/2023

Extra Features

Description	Year Built	Units	Value	New Cost
WALKS CONC COMM	02/01/1990	288	\$466	\$1,166
WALKS CONC COMM	02/01/1984	20,550	\$33,291	\$83,228
CONC UTILITY BLDG	02/01/1984	2,000	\$11,200	\$28,000
BLOCK WALL	02/01/1984	960	\$3,072	\$7,680
POLE LIGHT 4 ARM	02/01/1984	3	\$22,500	\$22,500
POLE LIGHT 2 ARM	02/01/1984	9	\$31,500	\$31,500
WATER FEATURE	02/01/1984	1	\$2,588	\$6,471
WALKS CONC COMM	02/01/1984	4,800	\$7,776	\$19,440
COMMERCIAL ASPHALT DR 2 IN	02/01/1984	48,150	\$39,290	\$98,226
BRICK DRIVEWAY	02/01/1984	9,202	\$22,526	\$56,316
6' CHAIN LINK FENCE	02/01/1984	475	\$1,930	\$4,826

Zoning

Zoning	Zoning Description	Future Land Use	Future Land Use Description
PD	Planned Development	PD	Planned Development

Utility Information

Fire Station	Power	Phone(Analog)	Water Provider	Sewer Provider	Garbage Pickup	Recycle	Yard Waste	Hauler
36.00	DUKE	AT&T	SEMINOLE COUNTY UTILITIES	SEMINOLE COUNTY UTILITIES	NA	NA	NA	NA

Political Representation

Commissioner	US Congress	State House	State Senate	Voting Precinct
Dist 5 - Andria Herr	Dist 7 - Cory Mills	Dist 36 - RACHEL PLAKON	Dist 10 - Jason Brodeur	11

School Information

Elementary School District	Middle School District	High School District
Heathrow	Markham Woods	Seminole

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**Seminole County Government
Development Services Department
Planning and Development Division
Credit Card Payment Receipt**

If you have questions about your application or payment, please email us eplandesk@seminolecountyfl.gov or call us at: (407) 665-7371.

Receipt Details

Date: 10/5/2023 8:12:24 AM
Project: 23-06000057
Credit Card Number: 51*****7487
Authorization Number: 06728B
Transaction Number: 051023C19-8C64857E-F1B2-4F4C-90EB-093AC71D5BD4
Total Fees Paid: 2676.73

Fees Paid

Description	Amount
CC CONVENIENCE FEE -- PZ	34.48
SITE PLAN	2642.25
Total Amount	2676.73

SEMINOLE COUNTY GOVERNMENT
 1101 EAST FIRST STREET, 2ND FLOOR, WEST WING
 SANFORD, FLORIDA 32771
Comment Document – Initial Submittal

The DRC meeting allows 20 minutes per project to discuss and clarify any comments of concern. Additional comments or deletion of comments may result from discussions at the DRC meeting. The DRC Agenda can be found [HERE](#).

PROJECT NAME:	HEATHROW COUNTRY CLUB DRIVING RANGE - SITE PLAN	PROJ #: 23-06000057
APPLICATION FOR:	DR - SITE PLAN	
APPLICATION DATE:	10/03/23	
RELATED NAMES:	EP JOHN LEPAK	
PROJECT MANAGER:	JOY GILES (407) 665-7399	
PARCEL ID NO.:	12-20-29-300-001L-0000	
PROJECT DESCRIPTION	PROPOSED SITE PLAN TO ADD AN OPEN-AIR CANOPY, LIGHTING, FANS ON 185.9 ACRES IN THE PD ZONING DISTRICT LOCATED ON THE EAST SIDE OF HEATHROW BLVD, NORTH OF W LAKE MARY BLVD	
NO OF ACRES	185.9	
BCC DISTRICT	Andria Herr	
CURRENT ZONING	PD	
LOCATION	ON THE EAST SIDE OF HEATHROW BLVD, NORTH OF W LAKE MARY BLVD	
FUTURE LAND USE-	PD	
SEWER UTILITY	SEMINOLE COUNTY UTILITIES	
WATER UTILITY	SEMINOLE COUNTY UTILITIES	
APPLICANT:	CONSULTANT:	
JOHN LEPAK TRINITY R & C INCE 1382 PALM AVE WINTER PARK FL 32789 (407) 427-3832 JLEPAK@TRINITYRANDC.COM	ANNE ROUN KPM FRANKLIN 6300 HAZELTINE DR STE 118 ORLANDO FL 32822 (407) 410-8624 AROUN@KPMFRANKLIN.COM	

County staff members have reviewed the subject development project and offer the following comments. The comments below are a compilation of comments and markups from the ePlan review system. These items need responses with further information, data, explanation or revision of plans and documents before project approval.

Please itemize any and all revisions made to the development plan in addition to those made in response to staff comments; include a statement in your response to comments that no additional revisions have been made to the site plan beyond those stated.

AGENCY/DEPARTMENT COMMENTS

	REVIEWER	COMMENT	STATUS
1	Building Division	Vertical construction will require a separate Building permit and will be reviewed for, and shall be designed and built in accordance with the current edition of the Florida Building Code, Chapters 3, 4, 5, 6, 7 and 9, for 1) USE, 2) Height and area limitations, 3) Construction types and horizontal separation distances, 4) Building element protection and 5) Sprinkler and Alarm requirements and all other code requirements.	Informational
2	Planning and Development	On the Geometry Site Plan sheet please add a Site Data table with the following information: Parcel Number Future Land Use - Planned Development Zoning - PD (Planned Development) Use of Property - Description of Proposed Structure - Is this a pavilion over grass or does it have an impervious floor? Proposed New Impervious -? Size and Height of Proposed Structure -	Not Met
3	Planning and Development	On the Cover Sheet please add the following information: Parcel number and legal description. Add "Site Plan" to the title. List name and contact information for the property owner, Engineer, Consultant, Applicant & Firm. List the utility providers.	Not Met
4	Planning and Development	On Geometry Site Sheet please darken the lines for the existing driveway and drive aisles, parking area, existing structures, ect.	Not Met

AGENCY/DEPARTMENT EFORM COMMENTS AND PROJECT STATUS

This section shows the reviewers of this project from the various County agencies. It may also include additional comments for review and response.

DEPARTMENT	STATUS	REVIEWER
Buffers and CPTED	No Review Required	Maya Athanas
Planning and Development	Corrections Required	Joy Giles jqiles@seminolecountyfl.gov
Environmental Services	Review Complete Recommend Approval	James Van Alstine
Public Safety - Addressing	Approved	Amy Curtis
Public Works - Impact Analysis	No Review Required	Jose Gomez
Public Safety - Fire Marshal	Approved	Matthew Maywald
Environmental - Impact Analysis	No Review Required	Becky Noggle

Natural Resources	No Review Required	Sarah Harttung
Public Works - Engineering	Approved	Jose Gomez
Building Division	Approved	Tony Coleman

The next submittal, as required below, will be your:

1st RESUBMITTAL

DATE	RESUBMITTAL FEE DUE	ROUTE TO THESE STAFF MEMBERS FOR FURTHER REVIEW:
11/01/2023	The application fee allows for the initial submittal plus two resubmittals. <i>Note: No resubmittal fee for small site plan</i>	Joy Giles,

The initial application fee allows for the initial submittal review plus two resubmittal reviews. For the fourth review and each subsequent review, the resubmittal fees are as follows:

Major Review (3+ reviewers remaining) – 50% of original application fee

Minor Review (1-2 reviewers remaining) – 25% of original application fee

Summary of Fees: <http://www.seminolecountyfl.gov/departments-services/development-services/planning-development/fee-information/fee-summary.stml>

NOTE: Other fees may be due. See comments for any additional fees due for your development project. (example: Addressing fee)

Upon completion of your plan review process, Planning and Development staff must authorize and stamp plans for construction use. Once you receive an approval letter from Seminole County, the site contractor must contact Seminole County Planning and Development Inspections to schedule a pre-construction conference prior to the start of any site work. Upon issuance of the site permit, your approved drawings and/or documents will be released to you through the ePlan System. For questions regarding this process, please consult the Electronic Plan Review Applicant User Guide <http://www.seminolecountyfl.gov/core/fileparse.php/3321/urlt/ePlanApplicantUserGuide.pdf>

Cities:

- Altamonte Springs (407) 571-8000 www.altamonte.org
- Casselberry (407) 262-7700 www.casselberry.org
- Lake Mary (407) 585-1449 www.lakemaryfl.com
- Longwood (407) 260-3440 www.longwoodfl.org
- Oviedo (407) 971-5555 www.cityofoviedo.net
- Sanford (407) 688-5000 www.sanfordfl.gov
- Winter Springs (407) 327-1800 www.winterspringsfl.org

Other Agencies:

- Florida Dept of Transportation **FDOT** www.dot.state.fl.us

Florida Dept of Enviro Protection	FDEP	(407) 897-4100	www.dep.state.fl.us
St. Johns River Water Mgmt Dist	SJRWMD	(407) 659-4800	www.sjrwm.com
Health Department	Septic	(407) 665-3621	

Other Resources:

Flood Prone Areas	www.seminolecountyfl.gov/gm/building/flood/index.aspx
Watershed Atlas	www.seminole.wateratlas.usf.edu
Seminole Co. Property Appraiser	www.scpafl.org