



SEMINOLE COUNTY, FLORIDA

Development Review Committee

Meeting Agenda

Wednesday, July 17, 2024

9:00 AM

Room 3024 and hybrid TEAMS
option

This meeting will be held In-Person and remotely on Teams. The public may email eplandesk@seminolecountyfl.gov to request a Teams link to attend in “listen only” mode. Items listed as “Comments Only” will not be discussed at the meeting

The meeting is scheduled to begin promptly at 9:00AM. Each item will be scheduled for a duration of 20 minutes unless otherwise indicated. Schedule may be re-arranged in the event of earlier availability. Please arrive 15 minutes prior to your scheduled meeting in case of earlier availability.

9:00AM (TEAMS) TRI STATE TOWING - PD REZONE

[2024-0916](#)

Project Number: 23-20500010

Project Description: Proposed PD Rezone from A-1 to PD for a tow yard on 0.92 acres located on the west side of W SR 426, north of Connection Pt

Project Manager: Annie Sillaway (407) 665-7936
(asillaway@seminolecountyfl.gov)

Parcel ID: 29-21-31-300-0030-0000

BCC District: 1-Dallari

Applicant: Brian Taylor (407) 788-6161

Consultant: Kim Fischer (407) 405-7819

Attachments: [APPLICATION](#)
[COMMENTS](#)

PRE- APPLICATIONS

9:20AM (IN PERSON) EXCELENCIA FARM - PRE-APPLICATION[2024-0963](#)**Project Number:** 24-80000090**Project Description:** Proposed Site Plan for a berry farm on 7.43 acres in the A-5 Zoning District located on the north side of Lake Geneva Road, east of 1st Street**Project Manager:** Kaitlyn Apgar (407) 665-7377
(kapgar@seminolecountyfl.gov)**Parcel ID:** 15-20-32-300-0230-0000**BCC District:** 2-Zembower**Applicant:** Jose Rivera (407) 416-8430**Consultant:** N/A**Attachments:** [APPLICATION](#)
[COMMENTS](#)**COMMENTS ONLY (NO MEETING SCHEDULED)****TARGET - PRE-APPLICATION**[2024-0964](#)**Project Number:** 24-80000081**Project Description:** Proposed Site Plan for 10 EV charging stations on 10.41 acres in the PD Zoning District located on the north side of Lake Mary Blvd, west of Greenwood Blvd**Project Manager:** Annie Sillaway (407) 665-7936
(asillaway@seminolecountyfl.gov)**Parcel ID:** 18-20-30-511-0000-0020**BCC District:** 4-Lockhart**Applicant:** Mitra Emtiazi (603) 560-6366**Consultant:** Mitra Emtiazi (603) 560-6366**Attachments:** [APPLICATION](#)
[COMMENTS](#)



SEMINOLE COUNTY, FLORIDA

Agenda Memorandum

COUNTY SERVICES
BUILDING
1101 EAST FIRST STREET
SANFORD, FLORIDA
32771-1468

File Number: 2024-0916

Title:

9:00AM (TEAMS) TRI STATE TOWING - PD REZONE

Project Number: 23-20500010

Project Description: Proposed PD Rezone from A-1 to PD for a tow yard on 0.92 acres located on the west side of W SR 426, north of Connection Pt

Project Manager: Annie Sillaway (407) 665-7936 (asillaway@seminolecountyfl.gov)

Parcel ID: 29-21-31-300-0030-0000

BCC District: 1-Dallari

Applicant: Brian Taylor (407) 788-6161

Consultant: Kim Fischer (407) 405-7819



SEMINOLE COUNTY
PLANNING & DEVELOPMENT DIVISION
 1101 EAST FIRST STREET, ROOM 2028
 SANFORD, FLORIDA 32771
 TELEPHONE: (407) 665-7371
 PLANDESK@SEMINOLECOUNTYFL.GOV

PROJ. #: 23-20500010Z #: 2023-010

LUA #: _____

REZONE/FUTURE LAND USE AMENDMENT

ALL INFORMATION MUST BE PROVIDED FOR APPLICATION TO BE CONSIDERED COMPLETE

APPLICATION TYPES/FEEES

<input type="checkbox"/> LARGE SCALE FUTURE LAND USE AMENDMENT (>50 ACRES)	\$400/ACRE* (\$10,000 MAX. FEE)
<input type="checkbox"/> LARGE SCALE FLU AMENDMENT <u>AND</u> REZONE (>50 ACRES)	\$400/ACRE* (\$10,000 MAX. FEE) + 50% OF REZONE FEE (AS CALCULATED BELOW)
CONCURRENT REVIEW FEE CALCULATION: LSFLUA FEE (\$400/ACRE) _____ + 50% OF REZONE FEE _____ = _____ LSFLUA AND REZONE FEE	
<input type="checkbox"/> SMALL SCALE FUTURE LAND USE AMENDMENT (≤50 ACRES)	\$3,500
<input type="checkbox"/> SMALL SCALE FLU AMENDMENT AND REZONE (≤50 ACRES)	\$3,500 + 50% OF REZONE FEE (AS CALCULATED BELOW)
CONCURRENT REVIEW FEE CALCULATION: SSFLUA FEE \$3,500 + 50% OF REZONE FEE _____ = _____ SSFLUA AND REZONE FEE	
<input type="checkbox"/> REZONE (NON-PD)**	\$2,500 + \$75/ACRE* (\$6,500 MAX. FEE)
<input checked="" type="checkbox"/> REZONE (PD)**	
<input checked="" type="checkbox"/> REZONE AND MASTER DEVELOPMENT PLAN	\$4,000 + \$75/ACRE* (\$10,000 MAX. FEE)
<input type="checkbox"/> FINAL DEVELOPMENT PLAN	\$1,000
<input type="checkbox"/> FINAL DEVELOPMENT PLAN AS AN ENGINEERED SITE PLAN	AS CALCULATED BELOW
(INCLUDES 2 RESUBMITTALS. ADDITIONAL RESUBMITTALS ARE SUBJECT TO ADDITIONAL FEES.) (\$8,500 MAX. FEE)	
(TOTAL SF OF NEW IMPERVIOUS SURFACE AREA (ISA) SUBJECT FOR REVIEW/1,000)* X \$25.00 + \$2,500.00 = FEE DUE (TOTAL SF OF NEW ISA _____ / 1,000 = _____)* x \$25 + \$2,500 = FEE DUE: _____	
EXAMPLE: 40,578 SQ FT OF NEW ISA FOR REVIEW = 40,578/1,000 = 40.58 X \$25 = \$1,014.50 + \$2,500 = \$3,514.50 *ROUNDED TO 2 DECIMAL POINTS	
<input type="checkbox"/> PD MAJOR AMENDMENT	\$4,000 + \$75/ACRE*^ (\$10,000 MAX. FEE)
<input type="checkbox"/> PD MINOR AMENDMENT	\$1,000
<input type="checkbox"/> DEVELOPMENT OF REGIONAL IMPACT (DRI)	
<input type="checkbox"/> DETERMINATION OF SUBSTANTIAL DEVIATION (OR OTHER CHANGE)	\$3,500.00

* ALL PER ACRE FEES ARE ROUNDED UP TO THE NEAREST FULL ACRE

** 50% OF REZONE FEE IF REZONE IS CONCURRENT WITH A LAND USE AMENDMENT

^ ACREAGE IS CALCULATED FOR THE AFFECTED AREA ONLY

PROJECT

PROJECT NAME:	Tri State Towing		
PARCEL ID #(S):	29-21-31-300-0030-0000		
LOCATION:	SR 426		
EXISTING USE(S):	Vacant	PROPOSED USE(S):	Tow Yard
TOTAL ACREAGE:	0.92	BCC DISTRICT:	1
WATER PROVIDER:	Sem Co	SEWER PROVIDER:	Septic
CURRENT ZONING:	A-1	PROPOSED ZONING:	PD
CURRENT FUTURE LAND USE:	Ind	PROPOSED FUTURE LAND USE:	Ind

APPLICANTEPLAN PRIVILEGES: VIEW ONLY ☐ UPLOAD ☐ NONE ☐

NAME:	Brian Taylor	COMPANY:	Tri State Towing
ADDRESS:			
CITY:		STATE:	ZIP:
PHONE:	407-788-6161	EMAIL:	BMtaylor76@gmail.com

CONSULTANTEPLAN PRIVILEGES: VIEW ONLY ☐ UPLOAD ☐ NONE ☐

NAME:	Kim Fischer	COMPANY:	Cycorp Engineering Inc
ADDRESS:	1614 White Dove Drive		
CITY:	Winter Springs	STATE:	FL ZIP: 32708
PHONE:	407-405-7819	EMAIL:	kim@cycorpengineers.com

OWNER(S)

(INCLUDE NOTARIZED OWNER'S AUTHORIZATION FORM)

NAME(S):	Stephen Ratcliff		
ADDRESS:	751 E Chapman Road		
CITY:	Oviedo	STATE:	FL ZIP: 32765
PHONE:		EMAIL:	

ATTACHMENT CHECKLIST

HARDCOPY SUBMITTAL

- ☐ APPLICATION
- ☐ APPLICATION FEE
- ☐ PROPERTY APPRAISER'S PROPERTY CARD PRINTOUT
- ☐ OWNERSHIP DISCLOSURE FORM (ADD'L DOCUMENTATION REQUIRED IF OWNER IS A TRUST OR CORPORATION)
- ☐ OWNER'S AUTHORIZATION FORM, IF APPLICABLE (ADD'L DOCUMENTATION REQUIRED IF OWNER IS A TRUST OR CORPORATION)
- ☐ CONCURRENCY APPLICATION OR DEFERRAL AFFIDAVIT AND FEE, IF APPLICABLE
- ☐ NARRATIVE OF AMENDMENT (PD MAJOR/MINOR AMENDMENT ONLY)
- ☐ ARBOR APPLICATION (PD FINAL DEVELOPMENT PLAN AS AN ENGINEERED SITE PLAN ONLY)

E-PLAN UPLOAD

- ☐ BOUNDARY SURVEY
- ☐ SCHOOL IMPACT ANALYSIS (CONTACT SCHOOL BOARD FOR APPLICATION)
-CONTACT RICHARD LEBLANC AT (407) 320-0560 OR LEBANRZ@SCPS.K12.FL.US
- ☐ LEGAL DESCRIPTION IN MS WORD FORMAT
- ☐ APPROVED TRAFFIC METHADODOLOGY LETTER FROM PUBLIC WORKS ENGINEERING DIVISION, IF APPLICABLE ATTACHMENT
- ☐ "A" AND ALL SUPPORTING DOCUMENTS (FUTURE LAND USE AMENDMENTS ONLY)
- ☐ TRAFFIC IMPACT ANALYSIS (PROJECTS GENERATING 50 OR MORE PEAK HOUR TRIPS)
- ☐ DRAFT DEVELOPER'S COMMITMENT AGREEMENT IN MS WORD FORMAT (PD FINAL DEVELOPMENT PLAN ONLY)
- ☐ DRAFT DEVELOPMENT ORDER IN MS WORD FORMAT (REZONE TO PD, OP, RP, RM-2, RM-3, R-3, R-3A, R-4 AND MYRTLE ST ONLY)
- ☐ MASTER DEVELOPMENT PLAN INCLUDING A PUBLIC FACILITIES AND SERVICES ANALYSIS SUMMARY SHOWN ON THE PLAN IN A TABLE WITH SUPPORTING DATA PROVIDED SEPARATELY (PD REZONE & MASTER DEVELOPMENT PLAN ONLY)

CONCURRENCY REVIEW MANAGEMENT SYSTEM (SELECT ONE)

☒ I elect to defer the Concurrency Review that is required by Chapter 163, Florida Statutes, per Seminole County's Comprehensive Plan for the above listed property until a point as late as Site Plan and/or Final Engineering submittals for this proposed development plan. I further specifically acknowledge that any proposed development on the subject property will be required to undergo Concurrency Review and meet all Concurrency requirements in the future. PD Final Development Plan may not defer.

☐ I hereby declare and assert that the aforementioned proposal and property described are covered by a valid previously issued Certificate of Vesting or a prior Concurrency determination (Test Notice issued within the past two years as identified below. (Please attach a copy of the Certificate of Vesting or Test Notice.)

TYPE OF CERTIFICATE

CERTIFICATE NUMBER

DATE ISSUED

VESTING:

TEST NOTICE:

☐ Concurrency Application and appropriate fee are attached. I wish to encumber capacity at an early point in the development process and understand that only upon approval of the Development Order and the full payment of applicable facility reservation fees is a Certificate of Concurrency issued and entered into the Concurrency Management monitoring system.

By my signature hereto, I do hereby certify that the information contained in this application is true and correct to the best of my knowledge, and understand that deliberate misrepresentation of such information may be grounds for denial or reversal of the application and/or revocation of any approval based upon this application.

I hereby authorize County staff to enter upon the subject property at any reasonable time for the purposes of investigating and reviewing this request. I also hereby agree to place a public notice sign (placard), if required, on the subject property at a location(s) to be determined by County staff.

I further acknowledge that Seminole County may not defend any challenge to my proposed Future Land Use Amendment/Rezoning and related development approvals, and that it may be my sole obligation to defend any and all actions and approvals, which authorize the use or development of the subject property. Submission of this form initiates a process and does not imply approval by Seminole County or any of its boards, commissions or staff.

I further acknowledge that I have read the information contained in this application pertaining to proposed amendments to the official Zoning map, official Future Land Use map and/or Comprehensive Plan and have had sufficient opportunity to inquire with regard to matters set forth therein and, accordingly, understand all applicable procedures and matters relating to this application.

I hereby represent that I have the lawful right and authority to file this application.



SIGNATURE OF AUTHORIZED APPLICANT

(PROOF OF PROPERTY OWNER'S AUTHORIZATION IS REQUIRED WITH SUBMITTAL IF SIGNED BY SOMEONE OTHER THAN THE PROPERTY OWNER)

5/11/2023

DATE

Revised August 2021

OWNER AUTHORIZATION FORM

An authorized applicant is defined as:

- The property owner of record; or
- An agent of said property owner (power of attorney to represent and bind the property owner must be submitted with the application); or
- Contract purchase (a copy of a fully executed sales contract must be submitted with the application containing a clause or clauses allowing an application to be filed).

I, Stephen Ratcliff, the owner of record for the following described property (Tax/Parcel ID Number) 29-21-31-300-0030-0000 hereby designates Kim Fischer to act as my authorized agent for the filing of the attached application(s) for:

<input checked="" type="checkbox"/> Arbor Permit	<input checked="" type="checkbox"/> Construction Revision	<input checked="" type="checkbox"/> Final Engineering	<input type="checkbox"/> Final Plat
<input checked="" type="checkbox"/> Future Land Use <i>SR</i>	<input type="checkbox"/> Lot Split/Reconfiguration	<input type="checkbox"/> Minor Plat	<input type="checkbox"/> Special Event
<input type="checkbox"/> Preliminary Sub. Plan	<input checked="" type="checkbox"/> Site Plan	<input type="checkbox"/> Special Exception	<input checked="" type="checkbox"/> Rezone
<input type="checkbox"/> Vacate	<input type="checkbox"/> Variance	<input type="checkbox"/> Temporary Use	<input type="checkbox"/> Other (please list):

OTHER: Any and all permits associated with development for Tri State Towing

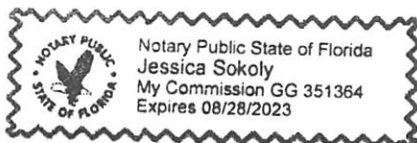
and make binding statements and commitments regarding the request(s). I certify that I have examined the attached application(s) and that all statements and diagrams submitted are true and accurate to the best of my knowledge. Further, I understand that this application, attachments, and fees become part of the Official Records of Seminole County, Florida and are not returnable.

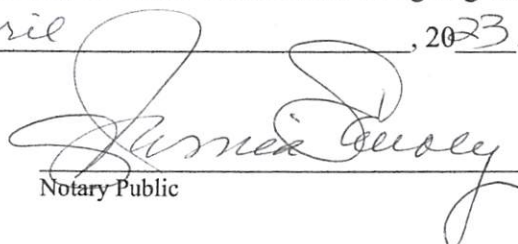
APRIL 26, 2023
Date


Property Owner's Signature
Stephen Ratcliff
Property Owner's Printed Name

STATE OF FLORIDA
COUNTY OF Esmeralda

SWORN TO AND SUBSCRIBED before me, an officer duly authorized in the State of Florida to take acknowledgements, appeared Stephen Ratcliff (property owner),
☒ by means of physical presence or ☐ online notarization; and ☒ who is personally known to me or ☐ who has produced _____ as identification, and who executed the foregoing instrument and sworn an oath on this 26th day of April, 2023.




Notary Public

**SEMINOLE COUNTY
APPLICATION & AFFIDAVIT**

Ownership Disclosure Form

The owner of the real property associated with this application is a/an (check one):

- ☒ Individual ☐ Corporation ☐ Land Trust
☐ Limited Liability Company ☐ Partnership ☐ Other (describe): _____

1. List all **natural persons** who have an ownership interest in the property, which is the subject matter of this petition, by name and address.

NAME	ADDRESS	PHONE NUMBER
Stephen Ratcliff	751 E Chapman Road	
Debra Pacha	Oviedo FL 32765	

(Use additional sheets for more space)

2. For each **corporation**, list the name, address, and title of each officer; the name and address of each director of the corporation; and the name and address of each shareholder who owns two percent (2%) or more of the stock of the corporation. Shareholders need not be disclosed if a corporation's stock are traded publicly on any national stock exchange.

NAME	TITLE OR OFFICE	ADDRESS	% OF INTEREST

(Use additional sheets for more space)

3. In the case of a **trust**, list the name and address of each trustee and the name and address of the beneficiaries of the trust and the percentage of interest of each beneficiary. If any trustee or beneficiary of a trust is a corporation, please provide the information required in paragraph 2 above:

Trust Name: _____

NAME	TRUSTEE OR BENEFICIARY	ADDRESS	% OF INTEREST

(Use additional sheets for more space)

4. For **partnerships**, including limited partnerships, list the name and address of each principal in the partnership, including general or limited partners. If any partner is a corporation, please provide the information required in paragraph 2 above.

NAME	ADDRESS	% OF INTEREST

(Use additional sheets for more space)

5. For each **limited liability company**, list the name, address, and title of each manager or managing member; and the name and address of each additional member with two percent (2%) or more membership interest. If any member with two percent (2%) or more membership interest, manager, or managing member is a corporation, trust or partnership, please provide the information required in paragraphs 2, 3 and/or 4 above.

Name of LLC: _____

NAME	TITLE	ADDRESS	% OF INTEREST

(Use additional sheets for more space)

6. In the circumstances of a **contract for purchase**, list the name and address of each contract purchaser. If the purchaser is a corporation, trust, partnership, or LLC, provide the information required for those entities in paragraphs 2, 3, 4 and/or 5 above.

Name of Purchaser: _____

NAME	ADDRESS	% OF INTEREST

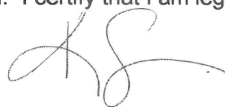
(Use additional sheets for more space)

Date of Contract: _____

Specify any contingency clause related to the outcome for consideration of the application: _____

7. As to any type of owner referred to above, a change of ownership occurring subsequent to this application, shall be disclosed in writing to the Planning and Development Director prior to the date of the public hearing on the application.
8. I affirm that the above representations are true and are based upon my personal knowledge and belief after all reasonable inquiry. I understand that any failure to make mandated disclosures is grounds for the subject Rezone, Future Land Use Amendment, Special Exception, or Variance involved with this Application to become void. I certify that I am legally authorized to execute this Application and Affidavit and to bind the Applicant to the disclosures herein:

5/11/2023
Date


Owner, Agent, Applicant Signature

**STATE OF FLORIDA
COUNTY OF SEMINOLE**

Sworn to and subscribed before me by means of ☒ physical presence or ☐ online notarization, this 11th day of May, 2023, by Kim Fischer, who is ☒ personally known to me, or ☐ has produced _____ as identification.


Signature of Notary Public



NICOLE MARTIN
Commission # HH 249622
Expires August 5, 2026

Print, Type or Stamp Name of Notary Public

Property Record Card

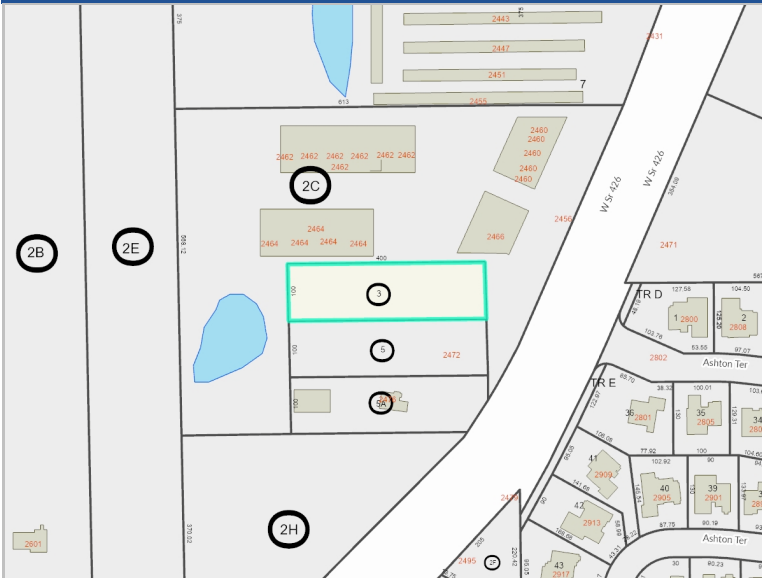


Parcel 29-21-31-300-0030-0000

Property Address STRD 426 OVIEDO, FL 32765

Parcel Location

Site View



Sorry, No Image
Available at this Time

Parcel Information

Value Summary

		2023 Working Values	2022 Certified Values
Parcel	29-21-31-300-0030-0000		
Owner(s)	RATCLIFF, STEPHEN J - Tenants in Common :50 PACHA, DEBRA - Tenants in Common :50		
Property Address	STRD 426 OVIEDO, FL 32765	Valuation Method Cost/Market	Cost/Market
Mailing	751 E CHAPMAN RD OVIEDO, FL 32765-9017	Number of Buildings	0 0
Subdivision Name		Depreciated Bldg Value	
Tax District	01-COUNTY-TX DIST 1	Depreciated EXFT Value	
DOR Use Code	00-VACANT RESIDENTIAL	Land Value (Market)	\$100,980 \$78,030
Exemptions	None	Land Value Ag	
AG Classification	No	Just/Market Value	\$100,980 \$78,030
		Portability Adj	
		Save Our Homes Adj	\$0 \$0
		Amendment 1 Adj	\$17,671 \$2,295
		P&G Adj	\$0 \$0
		Assessed Value	\$83,309 \$75,735

2022 Certified Tax Summary

2022 Tax Amount without Exemptions	\$1,046.23	2022 Tax Savings with Exemptions	\$18.24
2022 Tax Bill Amount	\$1,027.99		

* Does NOT INCLUDE Non Ad Valorem Assessments

Legal Description

SEC 29 TWP 21S RGE 31E
N 100 FT OF S 695 FT OF W
400 FT OF E 425 FT OF NW
1/4

Taxes			
Taxing Authority	Assessment Value	Exempt Values	Taxable Value
ROAD DISTRICT	\$83,309	\$0	\$83,309
SJWM(Saint Johns Water Management)	\$83,309	\$0	\$83,309
FIRE	\$83,309	\$0	\$83,309
COUNTY GENERAL FUND	\$83,309	\$0	\$83,309
Schools	\$100,980	\$0	\$100,980

Sales						
Description	Date	Book	Page	Amount	Qualified	Vac/Imp
QUIT CLAIM DEED	12/01/2002	04657	1058	\$100	No	Vacant
WARRANTY DEED	11/01/2002	04657	1059	\$90,000	Yes	Vacant
PROBATE RECORDS	07/01/2002	04463	1464	\$100	No	Vacant
WARRANTY DEED	05/01/1981	01343	1009	\$4,000	No	Vacant

Land					
Method	Frontage	Depth	Units	Units Price	Land Value
ACREAGE			0.918	\$110,000.00	\$100,980

Building Information					
Permits					
Permit #	Description	Agency	Amount	CO Date	Permit Date

Extra Features				
Description	Year Built	Units	Value	New Cost

Zoning			
Zoning	Zoning Description	Future Land Use	Future Land Use Description
A-1	Industrial	IND	Agricultural-1Ac

Utility Information								
Fire Station	Power	Phone(Analog)	Water Provider	Sewer Provider	Garbage Pickup	Recycle	Yard Waste	Hauler
29.00	DUKE	AT&T	SEMINOLE COUNTY UTILITIES	SEMINOLE COUNTY UTILITIES	NA	NA	NA	NA

Political Representation				
Commissioner	US Congress	State House	State Senate	Voting Precinct
Dist 1 - Bob Dallari	Dist 7 - Cory Mills	Dist 30 - Susan Plasencia	Dist 9 - Jason Brodeur	69

School Information		
Elementary School District	Middle School District	High School District
Evans	Tuskawilla	Lake Howell



**Seminole County Government
Development Services Department
Planning and Development Division
Credit Card Payment Receipt**

If you have questions about your application or payment, please email us eplandesk@seminolecountyfl.gov or call us at: (407) 665-7371.

Receipt Details

Date: 5/15/2023 9:13:17 AM
Project: 23-20500010
Credit Card Number: 55*****4740
Authorization Number: 09513Q
Transaction Number: 150523O3A-01F29F70-F53D-4CAF-A320-7771F80C2025
Total Fees Paid: 4149.60

Fees Paid

Description	Amount
CC CONVENIENCE FEE -- PZ	74.60
REZ & MASTER DEVEL PLAN 14	4075.00
Total Amount	4149.60

SEMINOLE COUNTY GOVERNMENT
1101 EAST FIRST STREET, 2ND FLOOR, WEST WING
SANFORD, FLORIDA 32771

Comment Document – Initial Resubmittal

PROJECT NAME:	TRI STATE TOWING - PD REZONE & MDP	PROJ #: 23-20500010
APPLICATION FOR:	PZ - PD	
APPLICATION DATE:	6/7/24	
RELATED NAMES:	Z2023-010	
PROJECT MANAGER:	ANNE SILLAWAY (407) 665-7936	
PARCEL ID NO.:	29-21-31-300-0030-0000	
PROJECT DESCRIPTION	PROPOSED PD REZONE FROM A-1 FOR A TOW YARD	
NO OF ACRES	0.80	
BCC DISTRICT	1-BOB DALLARI	
LOCATION	ON THE WEST SIDE OF W SR 426, NORTH OF CONNECTION PT	
FUTURE LAND USE-	IND	
APPLICANT:	CONSULTANT:	
BRIAN TAYLOR TRI STATE TOWING (407) 788-6161 BMTAYLOR76@GMAIL.COM	KIM FISCHER CYCORP ENGINEERING INC 1614 WHITE DOVE DR WINTER SPRINGS FL 32708 (407) 405-7819 KIM@CYCORPENGINEERS.COM	

County staff members have reviewed the subject development project and offer the following comments. The comments below are a compilation of comments and markups from the ePlan review system. These items need responses with further information, data, explanation or revision of plans and documents before project approval.

Please itemize any and all revisions made to the development plan in addition to those made in response to staff comments; include a statement in your response to comments that no additional revisions have been made to the site plan beyond those stated.

See comments within the comment document for any fees due, as fees may be due for different aspects of your development project. Fees showing in ePlan reflect Planning & Development review or revision fees only.

Agency / Department Comments

NO.	DEPARTMENT	COMMENT	STATUS
1.	Buffers and CPTED	The 0.1 opacity buffer now requires 1.0 plant units per 100 linear feet. Please revise the table and callout.	Unresolved
2.	Buffers and CPTED	PD CRITERIA: If a PD is proposed: Per Sec. 30.8.5.3 - Review criteria. of the Land Development Code: "In addition, PD zoning may be approved only when the Board determines that the proposed development cannot be reasonably implemented though existing provisions of this Code, and that a PD would result in greater benefits to the County than development under conventional zoning district regulations." Please indicate with the rezone application if alternative landscaping is proposed that will result in greater benefits to the County.	Unresolved
3.	Buffers and CPTED	Please clarify what screening measures will be used to shield the storage area from view of neighboring properties and the right of way.	Unresolved
4.	Buffers and CPTED	Please show the proposed fence in either a different color or change more legible linework. It is difficult to tell where the fence is proposed.	Unresolved
5.	Buffers and CPTED	Please clarify what type of fence is proposed. Staff recommends privacy fencing.	
6.	Environmental Services	On Sheet 1: MDP Plan, please update the water & sewer utility contact information to the following: SEMINOLE COUNTY UTILITIES 407-665-2024.	Unresolved
7.	Environmental Services	On Sheet 1: MDP Plan, please correct the alignment and pipe size of the existing force main. The existing force main should be shown running along the southeast side of SR 426 and the pipe size should be 16 in. See the "SR 426 Utility Relocation Plans 2000" file in the Resources folder on eplan for reference. Please note that the water main and force main pipe sizes are shown in millimeters so 400 mm is roughly equal to 16 in.	Unresolved
8.	Environmental Services	On Sheet 1: MDP Plan, please clarify if this project is proposed to be serviced by Seminole County sewer or if it is proposed to be serviced by septic. The plan view calls out a point of connection off of the existing Seminole County force main, but the site data calls out the sewer service as being septic. If this development is going to be serviced by Seminole County sewer, please correct the site date from septic to Seminole County. If this development is going to be serviced by septic, please exclude "point of connection" from the existing force main callout.	Unresolved
9.	Natural Resources	In the case of any development which requires site plan approval by the Planning and Zoning Commission, the Board of County Commissioners, or both; permits for removal, relocation or replacement of trees covered under this Chapter 60 shall be obtained by making application at	Info Only

		the time of site plan submittal. SCLDC 60.10(a)(2)	
10.	Planning and Development	Please place a note on the Master Development Plan stating the following: The cross access easement recorded in ORB 4657, PG 1049 and ORB 4135, PG 470 will be vacated prior to Engineered Site Plan approval.	Unresolved
11.	Planning and Development	Please place a note on the plan that states verbatim: "The outdoor storage area will be screened from view".	Unresolved
12.	Planning and Development	Per Sec. 30.8.5 (f)(1-2) - (1) Planned developments shall utilize the buffering standards of Part 14 to maintain compatibility with adjoining properties and uses. However, the Board of County Commissioners may vary these standards as appropriate to meet the unique needs of the proposed PD. (2) Increased setbacks from the PD perimeter may also be imposed to maintain compatibility with adjacent existing uses.	Info Only
13.	Planning and Development	Please provide a narrative addressing the following: (1) How the proposed development addresses the goals of the Comprehensive Plan. (2) Why the proposed development cannot be achieved under an existing conventional or special zoning district. (3) How the proposed development provides an innovative approach to land development. (4) A description of benefits to the County that cannot be achieved under the existing provisions of this Code.	Unresolved
14.	Planning and Development	In the Orange Blossom Business Center PD Documents there is a condition that requires the owner to provide cross access to the adjacent property owner to the south. Based on the MDP, the recorded cross access easement to the north is proposed to be vacated. The property owner to the north would be required to amend the Orange Blossom Business Center PD Documents.	Info Only
15.	Planning and Development	Staff will be using the same Development Order once the project goes to the public hearing.	Info Only
16.	Public Safety - Fire Marshal	Type and use of building may require fire sprinklers and fire alarm.	Info Only
17.	Public Safety - Fire Marshal	Adequate water supply with fire flow calculations for fire protection (hydrants) shall be provided per chapter 18.3 of NFPA 1 (2018).	Info Only
18.	Public Safety - Fire Marshal	This project will require 20 ft. fire department access in accordance with NFPA 1, Chapter 18.2.3.5.1.1 (2018 edition).	Info Only
19.	Public Safety - Fire Marshal	Include turning radius analysis with plans. * Turning radius analysis based on aerial truck Specifications. (Section 18.2.3.4.3. NFPA 1) Fire Truck Parameters: Pierce Arrow XT Chassis Aerial Platform 100Inside Cramp Angle: 40 Degrees Axle Track: 82.92 inches Wheel Offset: 5.30 inches Tread Width: 17.5 inches Chassis Overhang: 68.99 inches Additional Bumper Depth: 22 inches Front Overhang: 90.99 inches Wheelbase: 270 inches Overall	Info Only

		length: 581.75 inches Calculated Turning Radius: Inside Turn: 25 ft. 7 in. Curb to Curb: 41 ft. 8 in. Wall to Wall: 48 ft. 5 in. Overall length: 48 ft 6in.	
20.	Public Safety - Fire Marshal	Fire department access roads shall be designed and maintained to support the imposed loads of fire apparatus and shall be provided with an all-weather driving surface. NFPA 1, Chapter 18.2.3.4.2 (2018). Verify that stabilized road can hold 39 tons.	Info Only
21.	Public Safety - Fire Marshal	Dead end fire department access roads in excess of 150 ft in length shall be provided with approved provisions for the fire apparatus to turn around per section 18.2.3.5.4 of NFPA 1.	Info Only
22.	Public Works - Engineering	The access easement to SR 426 does not separation requirements of 330'. There is an existing (now) commercial access to the south about 240' to the south. These accesses should be brought to a common access. Please co-ordinate with that owner for a common access.	Unresolved
23.	Public Works - Engineering	There is required to be cross access between properties. The access easement to the south does not line up with the access easement proposed by the site to the south. This access easement is also not aligned well on the property. Please bring the easement to the front of the property or co-ordinate with that owner for the best common location.	Unresolved
24.	Public Works - Engineering	The plan shows vacating the access easement to the north. While staff understands the initial objections from that owner staff believes that a connection to the north should be left for better overall connection of this area. Please leave the access easement intact and ideally provide a connection.	Unresolved
25.	Public Works - Engineering	The drainage for the property seems to go to the west across private property. A drainage easement will be needed or hold up to the entire 25-year storm event onsite. This will have to be addressed at final engineering.	Info Only

Agency / Department Mark Up Comments

Comments within this section of the comdoc are from mark-ups on the individual plan sheets or documents in the ePlan system that correspond with the file identified in column "File Name".

26.	Planning and Development	If there is cross access being provided between the owners, why is there a new 30' proposed ingress/egress easement?	001 MDP master dev plan.pdf	Unresolved
27.	Planning and Development	If this easement is to be vacated the adjacent owner is required to amend his developer's commitment agreement since condition e stated that, "At the time of the Certificate of Occupancy for the first building, the applicant shall dedicate to the county cross-access easements to the north and south of the subject property to	001 MDP master dev plan.pdf	Unresolved

		provide access with adjacent properties".		
28.	Planning and Development	The open space requirements based on the updated code is twenty -five (25) percent. Please revise accordingly.	001 MDP master dev plan.pdf	Unresolved
29.	Planning and Development	The proposed Land Use can be removed since the future land use is not being amended.	001 MDP master dev plan.pdf	Unresolved
30.	Planning and Development	The total site area in the F.A.R. calculation is incorrect. Based on the existing property area of 1.83 acres, the total square feet of the site is 79,714.80.	001 MDP master dev plan.pdf	Unresolved
31.	Planning and Development	Please revise the parking calculation based on the updated code: Manufacturing Concerns and Warehouses - Square feet: 1 space / 2 employees, Plus 1 space / company vehicle	001 MDP master dev plan.pdf	Unresolved
32.	Planning and Development	Please revise the office parking requirements to be consistent with the updated code. Office - First 10,000 sq. ft. - 4 spaces / 1,000 sq. ft.	001 MDP master dev plan.pdf	Unresolved
33.	Planning and Development	The total area acres is not adding up to 1.83. It is adding up to 1.84. Please revise accordingly.	001 MDP master dev plan.pdf	Unresolved
34.	Planning and Development	Please place a note on the plan that states verbatim: "The buildings and the outdoor storage area will be screened".	001 MDP master dev plan.pdf	Unresolved
35.	Planning and Development	There is a legend for proposed open space. Please show the areas of where the proposed open space is on site.	001 MDP master dev plan.pdf	Unresolved

Agency / Department eForm Comments and Project Status

This section shows the reviewers of this project from the various County agencies. It may also include additional comments for review and response.

DEPARTMENT	STATUS	REVIEWER
Planning and Development	Corrections Required	Annie Sillaway
Public Works - Impact Analysis	No Review Required	William Wharton
Buffers and CPTED	Corrections Required	Maya Athanas
Environmental Services	Corrections Required	James Van Alstine
Environmental - Impact Analysis	No Review Required	Becky Noggle
Comprehensive Planning	Approved	Maya Athanas
Natural Resources	Approved	Sarah Harttung
Public Safety - Fire Marshal	Approved	Matthew Maywald
Public Works - Engineering	Corrections Required	Jim Potter
Building Division	Review Complete Recommend Approval	Tony Coleman

The next submittal, as required below, will be your:

☒ Initial Review – Started new workflow under old project number since this item was continued to a date uncertain.

DATE	RESUBMITTAL FEE DUE	ROUTE TO THESE STAFF MEMBERS FOR FURTHER REVIEW:
7/11/24	No Fee – New workflow	Annie, James, Maya, Jim
<p>The initial application fee allows for the initial submittal review plus two resubmittal reviews. For the fourth review and each subsequent review, the resubmittal fees are as follows:</p> <p>Major Review (3+ reviewers remaining) – 50% of original application fee</p> <p>Minor Review (1-2 reviewers remaining) – 25% of original application fee</p> <p>Summary of Fees: http://www.seminolecountyfl.gov/departments-services/development-services/planning-development/fee-information/fee-summary.stml</p> <p>NOTE: Other fees may be due. See comments for any additional fees due for your development project. (example: Addressing fee)</p>		

Upon completion of your plan review process, Planning & Development staff must authorize and stamp plans for construction use. **UPON RECEIPT OF THE APPROVAL LETTER**, the site contractor must then contact Seminole County Planning & Development Inspections to schedule a pre-construction conference and pay the site inspection fee prior to the start of any site work. Once this meeting has occurred and Planning and Development has been notified by Public Works Development Inspections that a site permit was issued, your approved drawings and/or documents will be released to you through the ePlan System. For questions regarding this process, please consult the Electronic Plan Review Applicant User Guide

Sincerely,
**SEMINOLE COUNTY GOVERNMENT
DEVELOPMENT SERVICES
PLANNING & DEVELOPMENT STAFF**



SEMINOLE COUNTY, FLORIDA

Agenda Memorandum

COUNTY SERVICES
BUILDING
1101 EAST FIRST STREET
SANFORD, FLORIDA
32771-1468

File Number: 2024-0963

Title:

9:20AM (IN PERSON) EXCELENCIA FARM - PRE-APPLICATION

Project Number: 24-80000090

Project Description: Proposed Site Plan for a berry farm on 7.43 acres in the A-5 Zoning District located on the north side of Lake Geneva Road, east of 1st Street

Project Manager: Kaitlyn Apgar (407) 665-7377 (kapgar@seminolecountyfl.gov)

Parcel ID: 15-20-32-300-0230-0000

BCC District: 2-Zembower

Applicant: Jose Rivera (407) 416-8430

Consultant: N/A



SEMINOLE COUNTY
PLANNING & DEVELOPMENT DIVISION
1101 EAST FIRST STREET, ROOM 2028
SANFORD, FLORIDA 32771
(407) 665-7371 EPLANDESK@SEMINOLECOUNTYFL.GOV

PROJ. # 24-80000090
Received: 6/27/24

PRE-APPLICATION

INCOMPLETE APPLICATIONS WILL NOT BE ACCEPTED

APPLICATION FEE

☐ PRE-APPLICATION \$50.00

PROJECT

PROJECT NAME: Excelencia Farm

PARCEL ID #(S): 15-20-32-300-0230-0000

TOTAL ACREAGE: 7.43 ac

BCC DISTRICT: 2

ZONING: A-5

FUTURE LAND USE: R5

APPLICANT

NAME: Jose Rivera

COMPANY: Excelencia, LLC

ADDRESS: 450 LAKE GENEVA RD

CITY: GENEVA

STATE: FL

ZIP: 32732

PHONE: 407-416-8430

EMAIL: jrcreations08@gmail.com

CONSULTANT

NAME:

COMPANY:

ADDRESS:

CITY:

STATE:

ZIP:

PHONE:

EMAIL:

PROPOSED DEVELOPMENT (CHECK ALL THAT APPLY)

☐ SUBDIVISION ☐ LAND USE AMENDMENT ☐ REZONE ☒ SITE PLAN ☐ SPECIAL EXCEPTION

Description of proposed development: A mixed use apiary and berry agricultural operation with related uses

STAFF USE ONLY

COMMENTS DUE: 7/5/2024

COM DOC DUE: 7/11/2024

DRC MEETING: 7/17/2024

☐ PROPERTY APPRAISER SHEET ☐ PRIOR REVIEWS:

ZONING: A5

FLU: R5

LOCATION: North Side of Lake Geneva Rd, East of 1st Street

W/S: N/A

BCC: 2 - Zembower

Agenda: 7/12/2024

PRE-APPLICATION NARRATIVE

Excelencia Farm is a planned organic multi-use agricultural operation owned and operated by Excelencia, LLC. The primary agricultural production is an apiary but contains attendant fruit producing plants and trees for symbiotic production. As part of the agricultural operation, Excelencia Farm intends to provide onsite consumer access, and all development of the farm project is focused on integrating a positive consumer experience. The customer focus for the farm is suburban consumers interested in the experience of the farm as an organic, bee-friendly, and communal operation. The site plan and design is centered around integrating a successful commercial operation into the property in an aesthetically pleasing and sustainable manner, while highlighting the creation of a bee friendly habitat that mutually benefits the agricultural producer and the increase of pollinators into the environment.

As part of the intention to generate additional revenue from on-site consumer interaction, which will be aided by the integrated and sustainable-friendly development of the property as opposed to clearcutting and traditional agricultural layouts, all designs and modifications have been made with the planned inclusion of public consumer access.

The parcel, 15-20-32-300-0230-0000, has received an agricultural exemption from the Seminole County Property Appraiser's Office. The majority of the structures needed to be erected or modified are directly related to the agricultural operation. As this property is zoned A-5, under the Seminole County Code Chapter 30, Section 30.102, those have not been submitted for building permits. Attached hereto is a site plan of existing conditions, including the blueberry field and apiary. The reason for the pre-application submission is for site plan review, to provide clarity for staff reviewing the building permits that do have to be pulled for the farm project.

Currently, the intent is to create pergolas in the barn area near the blueberry field. These pergolas would be for covered storage attendant to the blueberry operation. As these do not require electricity or plumbing, there is no intention to file building permits for these agricultural structures.

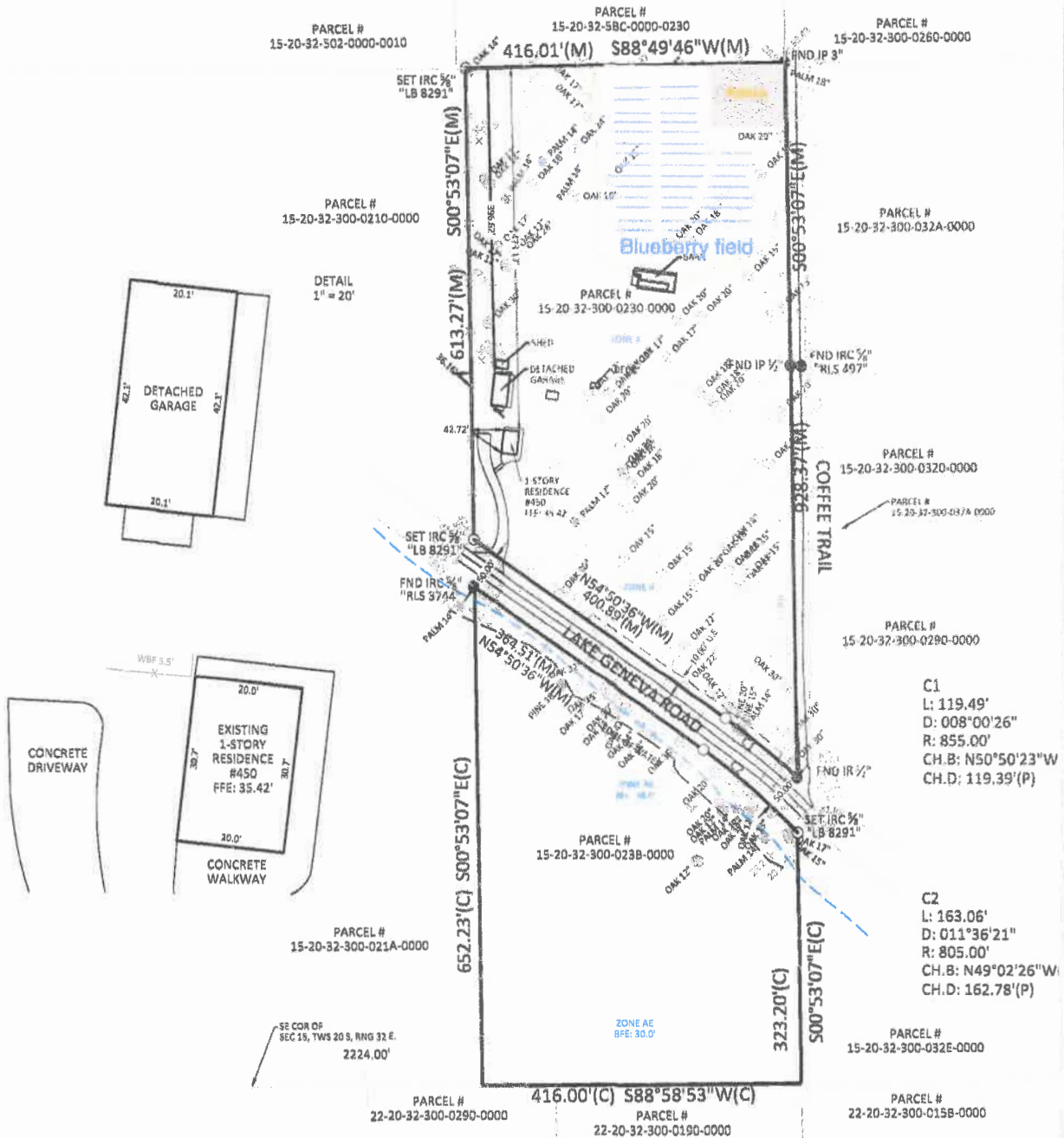
At this time, there is work underway for a platform and for fountains. These projects are not *per se* agricultural, and have therefore been submitted for building permits. Currently, those permits are on hold pending this site plan review. The intention behind the platform and fountains is customer involvement. The platform is directly related to the agricultural operations, as it is designed to provide customers who want to watch or view the blueberry and other operations, or simply relax while family and friends are involved in more active farm activities, as well as to provide a staging area for farm related events. The remainder is designed to provide a more pleasant aesthetic to encourage on-site customer traffic and improve the experience of visiting the farm.

As part of the site plan conversation, we intend to discuss the driveway to the farm. Currently, Seminole County will only permit one means of ingress and egress. However, under the Code a second driveway would seem appropriate in light of the agricultural exemption and operation as a commercial agricultural operation.

**BOUNDARY & TOPOGRAPHIC SURVEY****LEGAL DESCRIPTION**

PARCEL A: THAT PART OF THE EAST 416.00 FEET OF THE SOUTHEAST ¼ OF THE SOUTHWEST ¼ OF SECTION 15, TOWNSHIP 20 SOUTH, RANGE 32 EAST, SEMINOLE COUNTY FLORIDA, LYING NORTH OF THE RIGHT OF WAY OF LAKE GENEVA ROAD.

PARCEL B: THAT PART OF THE EAST 416.00 FEET OF THE SOUTHEAST ¼ OF THE SOUTHWEST ¼ OF SECTION 15, TOWNSHIP 20 SOUTH, RANGE 32 EAST, SEMINOLE COUNTY FLORIDA, LYING SOUTH OF THE RIGHT OF WAY OF LAKE GENEVA ROAD.



C1
L: 119.49'
D: 008°00'26"
R: 855.00'
CH.B: N50°50'23"W
CH.D: 119.39'(P)

C2
L: 163.06'
D: 011°36'21"
R: 805.00'
CH.B: N49°02'26"W
CH.D: 162.78'(P)

VERTICAL DATUM

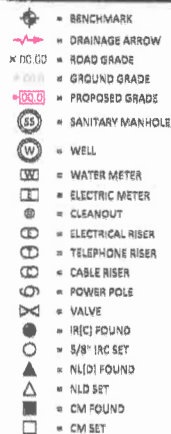
NORTH AMERICAN VERTICAL DATUM OF 1988 BASED ON THE FLORIDA PERMANENT REFERENCE NETWORK (FPRN) CONTINUOUSLY OPERATING REFERENCE STATIONS (CORS) SNPD, DLND, & TTVL.

HORIZONTAL DATUM

NORTH AMERICAN DATUM OF 1983, 2011 ADJUSTMENT, ZONE 0901, FLORIDA EAST. THE BASIS OF BEARING FOR THIS SURVEY IS THE EASTERLY LINE OF PARCEL, BEING N00°42'18"W, AS MEASURED.

LEGEND & SYMBOLS

PSM = PROFESSIONAL SURVEYOR & MAPPER
LB = LICENSED BUSINESS
LS = LICENSED SURVEYOR
FND = FOUND
SET = SET "LB 8291"
IR(C) = IRON ROD (8" CAP)
NL(D) = NAIL (8" DISK)
CM = CONCRETE MONUMENT
TYP = TYPICAL
PFE = FINISHED FLOOR ELEVATION
BFE = BASE FLOOD ELEVATION
BSL = BUILDING SETBACK LINE
BM = BENCHMARK
PP = POWER POLE
CONC = CONCRETE
SW = SIDEWALK
EP = EDGE OF PAVEMENT
CMP = CORRUGATED METAL PIPE
INV = INVERT
R/W = RIGHT-OF-WAY
A/C = AIR CONDITIONER
D.E. = DRAINAGE EASEMENT
U.E. = UTILITY EASEMENT
WBF = WOOD BOARD FENCE
CLF = CHAIN LINK FENCE
WVF = WHITE VINYL FENCE
BWF = BARBED WIRE FENCE
(P) = PLAT [M] = MEASURED [C] = CALCULATED
12"x18" CMP
UTILITIES
SEPTIC / SEWER



FIELD DATE: 05/12/2023

FIELD CREW: BH

LOT SIZE: 526,202 SQ. FT., 12.08 AC

LOT ADDRESS:
450 LAKE GENEVA RD,
GENEVA, FLORIDA 32765.

REV DATE COMMENT

REV DATE COMMENT

REV DATE COMMENT

REV DATE COMMENT

REV DATE COMMENT

REV DATE COMMENT

REV DATE COMMENT

REV DATE COMMENT

REV DATE COMMENT

REV DATE COMMENT

REV DATE COMMENT

REV DATE COMMENT

REV DATE COMMENT

REV DATE COMMENT

REV DATE COMMENT

PRINT DATE: 05/17/2023

DRAFTER: EH

CERTIFICATIONS:
EXCELENCIA, LLC
SEACOAST NATIONAL BANK, ISAOA ATIMA
FIDELITY NATIONAL TITLE OF FLA, INC
FIDELITY NATIONAL TITLE INSURANCE
COMPANY

FEMA FIRM INFORMATION:

BASED UPON MY REVIEW OF THE "FLOOD INSURANCE RATE MAP" OF SEMINOLE COUNTY UNINCORPORATED AREAS, FLORIDA, COMMUNITY PANEL No. 12117020208 WITH AN EFFECTIVE DATE OF 09/30/2007, THIS PROPERTY LIES WITHIN FLOOD ZONE "X" & ZONE "AE" WITH A BASE FLOOD ELEVATION OF 30.0 FT. DEFINED IN FEMA STANDARDS.

SURVEYOR'S NOTES

ADDITIONS, MODIFICATIONS, OR DELETIONS TO THIS SURVEY IS PROHIBITED WITHOUT WRITTEN CONSENT BY THE SIGNING SURVEYOR.

PROPERTY LINES SHOULD NOT BE RE-ESTABLISHED BY NOTED FENCE OR BUILDING TIES.

NO UNDERGROUND INSTALLATIONS OR IMPROVEMENTS WERE LOCATED, INCLUDING BUT NOT LIMITED TO BURIED UTILITIES, FOUNDATIONS, AND FOOTERS.

NO INSTRUMENTS OF RECORD REFLECTING OWNERSHIP OR ENCUMBRANCES WERE PROVIDED, EXCEPT AS NOTED. NOR DID THE SURVEYOR ABSTRACT THESE LANDS.

I HEREBY CERTIFY THAT THIS SURVEY IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND THAT THIS SURVEY MEETS THE STANDARDS OF PRACTICE AS REQUIRED IN CHAPTER 5J-17, FLORIDA ADMINISTRATIVE CODE, PURSUANT TO SECTION 472.027 OF THE FLORIDA STATUTES. THIS SURVEY IS NOT VALID WITHOUT EITHER THE SIGNED AND ORIGINAL RAISED SEAL OF THE SURVEYOR OR DIGITAL SIGNATURE IF VIEWING A PDF COPY OF THE SURVEY. THE DIGITAL COPY OF THE SIGNATURE IS NOT VALID WHEN PRINTED.

Digitally
signed by Faun
Hoffmeier
Date:
2023.05.17
09:38:32 -04'00'

FAUN M. HOFFMEIER, PSM LS 6552
H & H SURVEY CONSULTANTS LB 8291
AN EXACTA LAND SURVEYING COMPANY

Property Record Card



Parcel: 15-20-32-300-0230-0000
Property Address: 450 LAKE GENEVA RD GENEVA, FL 32732
Values: 2024 Market \$617,767 Assessed \$529,267
Owners: EXCELENCIA LLC

Parcel Location



Site View



Parcel Information

Parcel	15-20-32-300-0230-0000
Property Address	450 LAKE GENEVA RD GENEVA, FL 32732
Mailing Address	9071 BEVINGTON LN ORLANDO, FL 32827-8948
Subdivision	
Tax District	G1:Agricultural
DOR Use Code	6701:Misc Ag Poultry, Bees, Fish, Rabbits - Parcel Has An Admin Hx Cut-Out
Exemptions	None
AG Classification	Yes

Value Summary

	2024 Working Values	2023 Certified Values
Valuation Method	Cost/Market	Cost/Market
Number of Buildings	3	3
Depreciated Building Value	\$171,967	\$107,432
Depreciated Other Features	\$0	\$0
Land Value (Market)	\$445,800	\$325,160
Land Value Agriculture	\$357,300	\$0
Market Value	\$617,767	\$432,592
Portability Adjustment	\$0	\$0
Save Our Homes Adjustment/Maximum Portability	\$0	\$258,131
P&G Adjustment	\$0	\$0
Non-Hx 10% Cap (AMD 1)	\$0	\$0
Assessed Value	\$529,267	\$174,461

2023 Certified Tax Summary

Tax Amount w/o Exemptions	\$5,756.93
Tax Bill Amount	\$1,790.78
Tax Savings with Exemptions	\$3,966.15

Owner(s)

Name - Ownership Type

EXCELENCIA LLC

Note: Does NOT INCLUDE Non Ad Valorem Assessments

Legal Description

SEC 15 TWP 20S RGE 32E
E 416 FT OF SE 1/4 OF SW
1/4 N OF RD

Taxes

Taxing Authority	Assessed	Exempt Amount	Taxable
COUNTY GENERAL FUND	\$529,267	\$0	\$529,267
Schools	\$529,267	\$0	\$529,267
SJWM(Saint Johns Water Management)	\$529,267	\$0	\$529,267

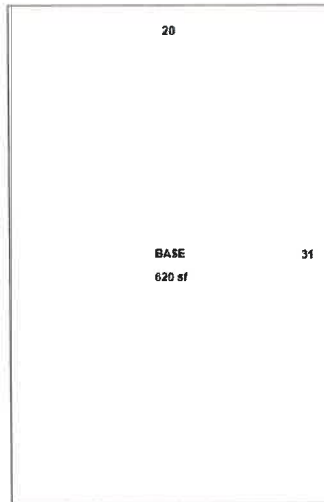
Sales

Deed Type	Date	Sale Amount	Book / Page	Sale Type	Qualified?
WARRANTY DEED	2/17/2023	\$715,000	10392/1521	Improved	Yes
WARRANTY DEED	11/1/2011	\$185,000	07676/0342	Improved	Yes
QUIT CLAIM DEED	6/1/2009	\$100	07202/0544	Improved	No

Land

Units	Rate	Assessed	Market
1.50 Acres	\$60,000/Acre Market, \$1,000/Acre AG	\$1,500	\$90,000
5.93 Acres	\$60,000/Acre	\$355,800	\$355,800

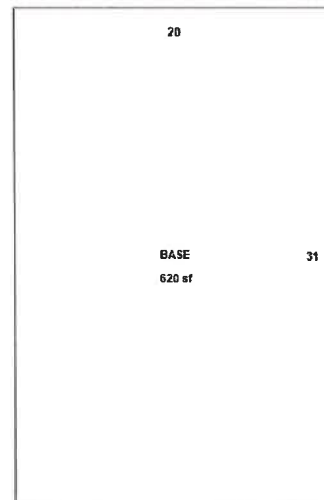
Building Information	
#	1
Use	SINGLE FAMILY
Year Built*	1960/2012
Bed	1
Bath	1.0
Fixtures	3
Base Area (ft ²)	620
Total Area (ft ²)	620
Constuction	CONC BLOCK
Replacement Cost	\$92,138
Assessed	\$88,222



Building 1

* Year Built = Actual / Effective

Building Information	
#	2
Use	BARN/SHEDS
Year Built*	2012
Bed	
Bath	
Fixtures	0
Base Area (ft ²)	380
Total Area (ft ²)	840
Constuction	SIDING GRADE 3
Replacement Cost	\$62,822
Assessed	\$60,152



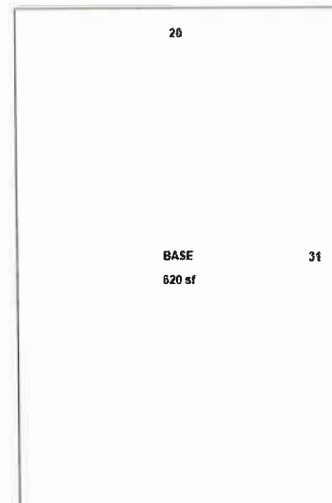
Building 2

* Year Built = Actual / Effective

Appendages	
Description	Area (ft ²)
INTERIOR FINISH GOOD	460

Building Information	
#	3
Use	BARN/SHEDS
Year Built*	2014
Bed	
Bath	
Fixtures	0
Base Area (ft ²)	879
Total Area (ft ²)	879
Constuction	SIDING GRADE 2
Replacement Cost	\$24,770
Assessed	\$23,593

* Year Built = Actual / Effective



Building 3

Permits				
Permit #	Description	Value	CO Date	Permit Date
13868	450 LAKE GENEVA RD: FENCE/WALL RESIDENTIAL-wire fence with columns at entry	\$20,000		1/24/2024
03364	450 LAKE GENEVA RD: REROOF RESIDENTIAL-	\$5,000		3/9/2020
00474	DEMO EXISTING STRUCTURE	\$1,000		1/17/2014
04937	HORSE BARN	\$13,200		6/13/2013
01264	CHANGE FROM GARAGE TO GUEST HOUSE	\$20,000	11/14/2012	2/24/2012
02622	STORAGE SHED	\$5,000		3/1/2001
00497	OPEN FIELD FENCE	\$800		1/1/1997

Extra Features					
Description	Year Built	Units	Cost	Assessed	

Zoning	
Zoning	A-5
Description	Rural-5Ac
Future Land Use	R5
Description	Rural-5

School Districts	
Elementary	Geneva
Middle	Chiles
High	Oviedo

Political Representation	
Commissioner	District 2 - Jay Zembower
US Congress	District 7 - Cory Mills
State House	District 36 - Rachel Plakon
State Senate	District 10 - Jason Brodeur
Voting Precinct	Precinct 19

Utilities	
Fire Station #	Station: 42 Zone: 422
Power Company	FPL
Phone (Analog)	AT&T
Water	
Sewage	
Garbage Pickup	MON/THU
Recycle	MON
Yard Waste	WED
Hauler #	WASTE PRO

Seminole County Planning and Zoning Credit Card Payment Receipt

Seminole County Government Planning and Zoning

1101 East 1st Street

Sanford, FL 32771

Date: 6/27/2024 11:23:47 AM

Project Number: 24-80000090

Address:

Credit Card Number: 40*****6962

Authorization: 04643G

Transaction ID: 270624C19-F7343187-77F1-40A2-9181-D09F311329F7

Fees Selected: 50.00

Convenience Fee: 2.50

Total Fees Paid: 52.50

Selected Fee Summary

Description	Amount
PRE APPLICATION	50.00

SEMINOLE COUNTY GOVERNMENT
1101 EAST FIRST STREET, 2ND FLOOR, WEST WING
SANFORD, FLORIDA 32771

The DRC Agenda can be found [HERE](#).

PROJECT NAME:	EXCELENCIA FARM - PRE-APPLICATION	PROJ #: 24-80000090
APPLICATION FOR:	DR - PRE-APPLICATION DRC	
APPLICATION DATE:	6/27/24	
RELATED NAMES:	EP JOSE RIVERA	
PROJECT MANAGER:	KAITLYN APGAR (407) 665-7377	
PARCEL ID NO.:	15-20-32-300-0230-0000	
PROJECT DESCRIPTION	PROPOSED SITE PLAN FOR A BERRY FARM ON 7.43 ACRES IN THE A-5 ZONING DISTRICT LOCATED ON THE NORTH SIDE OF LAKE GENEVA ROAD, EAST OF 1ST STREET	
NO OF ACRES	7.43	
BCC DISTRICT	Jay Zembower	
CURRENT ZONING	A-5	
LOCATION	NORTH SIDE OF LAKE GENEVA ROAD, EAST OF 1ST STREET	
FUTURE LAND USE-	R5	
SEWER UTILITY	NA	
WATER UTILITY	NA	
APPLICANT:	CONSULTANT:	
JOSE RIVERA 450 LAKE GENEVA ROAD GENEVA FL 32732 (407) 416-8430 Jrcreations08@gmail.com	N/A	

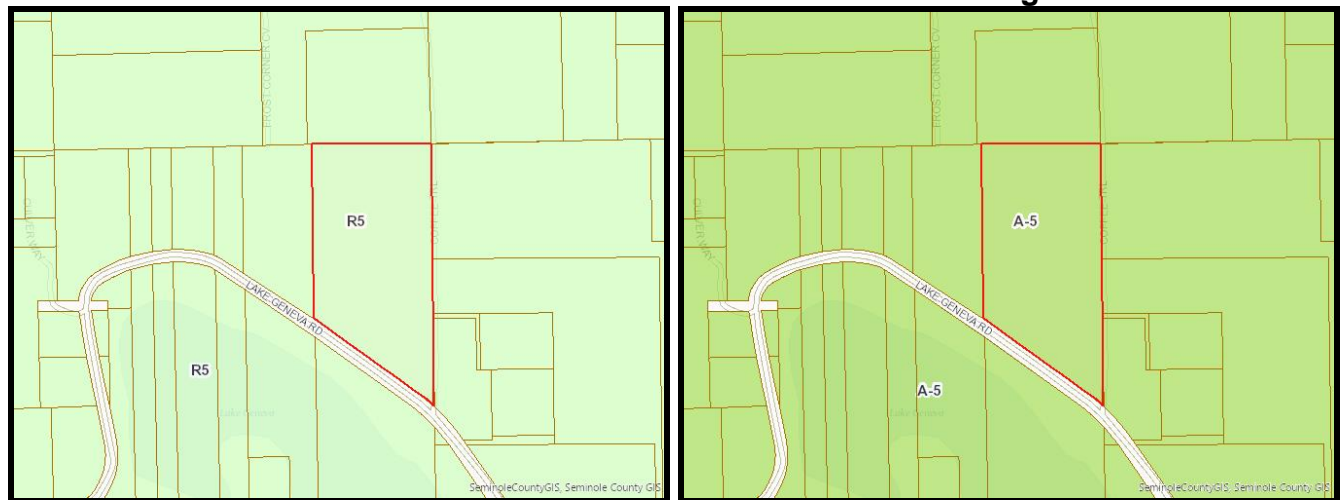
Please be advised, these comments are intended to assist you in finding information that will enable you to prepare for your plan review. They are not intended to replace or exempt you from the applicable Codes and Ordinances as they pertain to your project. These comments are informational only and do not grant any approvals. Also be advised, from time to time Codes and Ordinances are amended and the comments provided only reflect the regulations in effect at the time of review.

The development project review will be completed utilizing Electronic Plan Review (ePlan). For questions regarding this process, please consult the Electronic Plan Review Applicant User Guide that can be found [HERE](#).

PROJECT MANAGER COMMENTS

- The subject site has a Rural-5 Future Land Use designation and an A-5 (Agriculture) zoning classification.
- Agritourism activity means any agricultural related activity consistent with a bona fide farm, livestock operation, or ranch or in a working forest which allows members of the general public, for recreational, entertainment, or educational purposes, to view or enjoy activities, including farming, ranching, historical, cultural, civic, ceremonial, training and exhibition, or harvest-your-own activities and attractions. **An agritourism activity does not include the construction of new or additional structures or facilities intended primarily to house, shelter, transport, or otherwise accommodate members of the general public. All other structures will be subject to Seminole County code provisions.**

PROJECT AREA ZONING AND AERIAL MAPS



Aerial



AGENCY/DEPARTMENT COMMENTS

REVIEWED BY	TYPE	STATUS
Buffers and CPTED	Buffer information can be found here: https://www.municode.com/library/fl/seminole_county/codes/land_development_code?nodeId=SECOLADECO_CH30ZORE_PT67LASCBU	Info Only
Buffers and CPTED	Please refer to the SCLDC sections 30.14.5 and 30.14.3.1 on opacity and plant groups.	Info Only
Building Division	Any building construction and/or modification will require Building permits and engineered plans to meet the current 8th ed (2023) Florida Building Codes.	Info Only
Building Division	Type of use and size of building may require fire sprinklers and fire alarms.	Info Only
Building Division	A hard surface accessible route from the required accessible parking spaces to the accessible entrance to the structure shall be required.	Info Only
Building Division	NOTE - Structures must be used solely for the agricultural business to qualify for exemption from FBC and must be approved by the Building Official. The structures must also have no utility service to qualify for exemption (such as the pergolas proposed).	Info Only
Comprehensive Planning	The Rural-5 Future Land Use Designation allows rural residential development at densities equal to or less than one dwelling unit per five net buildable acres, agricultural and attendant uses. Permitted uses are: a. The Rural-5 Future Land Use Designation permits the following uses: MAINTAIN RURAL PLACES FLU-58 b. Rural residential development at a density equal to or less than one dwelling unit per five net buildable acres or one free standing mobile/manufactured home and accessory uses per five net buildable acres; c. Publicly and privately owned parks and rural recreation facilities; d. Civic assembly, country clubs (over 10 acres in size) and home occupations; e. Agricultural operations and attendant structures, greenhouses, nurseries and silviculture; f. Public elementary schools; and g. Special exceptions such as adult congregate living facilities, group homes, borrow pits, cemeteries, kennels, sewage and water treatment plants, landfills, and other public structures.	Info Only
Environmental Services	This development is located outside of the urban service boundary, so potable water wells will service it if needed. To apply for a private potable well permit (to construct, repair, modify, or abandon), follow link: https://floridadep.gov/water/source-drinking-water/content/water-well-construction-rules-forms-and-reference-documents , have the property owner or a water well contractor download and complete application form: 62-532.900(1) and submit it to St. Johns River Water Management District (SJRWMD) along with the appropriate application fee. Please contact SJRWMD for any other questions/concerns that you may have.	Info Only
Environmental Services	This development is located outside of the urban service boundary, so an onsite sewage treatment and disposal systems (OSTDS) aka septic systems will service it if needed. To apply for an OSTDS permit, follow link: https://www.flrules.org/gateway/reference.asp?No=Ref-14359 , download and complete an application form (DEP4015, page 1) and submit it, along with a site plan (DEP4015, page 2), a building floor plan, and the required application fee to your local Florida Department of Health location. Please contact the Florida Department of Health for more information on septic system sizing, standards, and any other questions/concerns that you may have.	Info Only
Environmental Services	This development is located outside of the urban service boundary, so irrigation will be provided by this development's potable water system or by an alternative irrigation source such as a non-potable irrigation well.	Info Only
Planning and Development	INFORMATIONAL: County staff has reviewed the subject project based on the information you have provided to us and have compiled the following	Info Only

	information for your use. Please be advised, these comments are intended to assist you in finding information that will enable you to prepare for your plan review. They are not intended to replace or exempt you from the applicable Codes and Ordinances as they pertain to your project. These comments are informational only and do not grant any approvals. Also be advised, from time to time Codes and Ordinances are amended and the comments provided only reflect the regulations in effect at the time of review. Seminole County Land Development Code: http://www.seminolecountyfl.gov/guide/codes.asp Seminole County Planning & Development: http://www.seminolecountyfl.gov/gm/	
Planning and Development	SETBACKS: The setbacks for the A-5 zoning district are: 50 feet Front Yard, 30 feet Rear yard, 10 feet Side Yard, 50 feet Side Street. Accessory Structure Setbacks are: 50 feet Front Yard, 10 feet Side Yard, and 10 feet Rear Yard. Barns & structures for livestock, structures for agricultural use shall have minimum 50 ft. front, side and rear setbacks and be distanced a minimum of 100 ft. from any residential structure on an adjacent lot or parcel.	Info Only
Planning and Development	Florida Statute definition of Agritourism: Agritourism activity means any agricultural related activity consistent with a bona fide farm, livestock operation, or ranch or in a working forest which allows members of the general public, for recreational, entertainment, or educational purposes, to view or enjoy activities, including farming, ranching, historical, cultural, civic, ceremonial, training and exhibition, or harvest-your-own activities and attractions. An agritourism activity does not include the construction of new or additional structures or facilities intended primarily to house, shelter, transport, or otherwise accommodate members of the general public. An activity is an agritourism activity regardless of whether the participant paid to participate in the activity.	Info Only
Planning and Development	The proposed project is within the Econ Protection Area. See SCLDC Chapter 30 Part 10 and Policy FLU 2.2.5 and 2.2.6 and CON Element Exhibit-2 for requirements for development within the Econ Protection Area.	Info Only
Planning and Development	SCENIC CORRIDOR: The proposed development must meet the Scenic Corridors standards (Chapter 30, Part 10) within East Rural Area Boundary. No structure, parking, or outdoor storage is allowable within 50 feet of the centerline of Lake Geneva Road. The following structures and uses shall be the only structures and uses permitted within the designated scenic corridor setbacks in accordance with provisions in Sec. 30.10.2.6: Agricultural buildings; Signs in accordance; Landscaping features and other permitted landscape materials; Fences, gates, mailboxes, and entranceways ; Access ways or access points; Bus stops, bus shelters, signage, and other such improvements related thereto; Signs, markings, traffic control devices, and such other improvements related to the safe and efficient movement of traffic. see Ch. Part 10, 30.10.2.6 Development standards for more info.	Info Only
Planning and Development	Per SCLDC Sec. 30.10.2.6 (e) (3) To the maximum extent feasible, driveways along a major or minor road shall curve or wind so as to restrict views of the structure located on the parcel from the public roadway.	Info Only
Planning and Development	Building permits will be required for the additional structures, as applicable. The Building Official makes determinations regarding agriculturally exempt structures.	Info Only
Planning and Development	The subject property is located in the East Rural Area (FLU Objective 3.2 and Element Exhibit-27) and within the Geneva Freshwater Lens (FLU Element Exhibit-21)	Info Only
Public Safety - Fire Marshal	Fire department access road shall have an unobstructed width of not less than 20 ft in accordance with the specifications of NFPA 1, Section 18.2.3.5.1.1	Info Only
Public Safety - Fire Marshal	Fire department access roads shall have an unobstructed vertical clearance of not less than 13 ft 6 inches per NFPA 1, 18.2.3.5.1.2. Please verify on the plans.	Info Only
Public Works-Engineering	Based on the FEMA FIRM Map the site is not located in the floodplain. The site is located in Zone X - Area of Minimal Flood Hazard.	Info Only

	There is no wetlands designated area on the site.	
Public Works-Engineering	Approximately 80% of the proposed project is located within the Big Econlockhatchee Drainage Basin. The site is partially or wholly located within the Econ Protection Area. Refer to SCLDC Chapter 30 Part 57 for requirements for development within the Econ Protection Area. The remaining 20% of the proposed project, primarily the northeast section, is located within the Lake Harney Drainage Basin.	Info Only
Public Works-Engineering	Based on the USDA Web Soil Survey, the site has predominantly Astatula Fine Sands, 0-5% Slopes (100%), Map Unit Symbol 4. Astatula Fine Sands are classified by the USDA as "Excessively Drained" soils. The USDA Web Soil Survey estimates the Depth to Water Table to be more than 80 inches and designates the Hydrologic Soil Group as A.	Info Only
Public Works-Engineering	Based on the Seminole County available one (1) foot contours data, the topography of the site appears to be sloping to the south and southwest. The highest point is on the east side of the property (Elevation 43.0 feet), while the lowest point is on the west and southwest side of the property (Elevation 32.0 feet). The northeast corner of the property (Lake Harney Drainage Basin) is relatively flat (Elevation 39.0 feet), slightly sloping to the north (Elevation 37.0 feet).	Info Only
Public Works-Engineering	<p>Based on the preliminary review, majority of the site appears to be draining towards Lake Geneva to the south and southwest and to the north in the northeast corner of the property, with no viable outfall and/or defined conveyance system. Per the Seminole County Public Works Engineering Manual - Section 2.4.1 (Design Storm - Minimum), a retention or detention facility for sites with no viable outfall and/or defined conveyance system or with a restricted outfall system requires the Stormwater Quantity Analysis to meet a 25-Year, 24-Hour storm event total retention.</p> <p>Stormwater Quality Analysis shall meet the St. Johns River Water Management District (SJRWMD) requirements.</p> <p>A detailed Drainage Plan will be required at permitting. A detailed Drainage Analysis will be required at Final Engineering.</p>	Info Only
Public Works-Engineering	A permit from the St. John's River Water Management District or Florida Department of Environmental Protection is generally required for projects with more than 5,000 sq. ft. of new impervious area, or 4,000 sq. ft. of new building for a total of 9,000 sq. ft. of new impervious surface. For more information see www.sjrwmd.com .	Info Only
Public Works-Engineering	A National Pollutant Discharge Elimination System (NPDES) Permit is required for all projects that disturb greater than one (1) acre. (http://cfpub.epa.gov/npdes/home.cfm?program_id=45)	Info Only
Public Works-Engineering	<p>The primary access to the subject property is through Lake Geneva Road that is functionally classified as Local Road and was last resurfaced in 2016. The roadway geometry and structure meet the current Seminole County standards. Lake Geneva Road is not currently programmed to be improved according to the Seminole County 5-year Capital Improvement Program.</p> <p>Spacing between driveways must conform to the Table below based on functional classification. Distance is measured from nearest edge of pavement to edge of pavement (Detail T-1). For functionally classified Local Roads the separation between two driveways must be minimum 200 feet. (SC Public Works Engineering Manual - Section 1.2.7.A)</p> <p>Street stubs in excess of 150 feet must be provided with a minimum stabilized</p>	Info Only

	<p>turnaround in accordance with the Florida Fire Prevention Code or as approved by the County Engineer (SC Public Works Engineering Manual - Section 1.2.3.A.4).</p> <p>Auxiliary lanes, median modifications and other design features may be required, including cross-access agreements (SC Public Works Engineering Manual - Section 1.2.3.A.5).</p> <p>A permanent access easement is granted for service and emergency vehicles and for maintenance of public and semi-public utilities (SC Public Works Engineering Manual - Section 1.2.3.A.6.b).</p> <p>A right-of-way use permit is required for any construction in, utility usage of or access to a County right-of-way. Such construction must meet all County standards and permitting procedures can be found at the Seminole County website. Permit fees are established by the Board of County Commissioners (SC Public Works Engineering Manual - Section 1.2.3.A.8.c).</p>	
Public Works-Engineering	At Final Engineering approval, a note to the plans that states "Any sidewalk less than 5 feet wide (6 feet along arterial or collector roads) or any broken sidewalk within Seminole County ROW abutting property frontage will be brought into compliance with the Seminole County regulations.	Info Only

AGENCY/DEPARTMENT EFORM COMMENTS AND PROJECT STATUS

This section shows the reviewers of this project from the various County agencies. It may also include additional comments for review and response.

Department	Reviewer	Email	Phone
Buffers and CPTED	Maya Athanas	mathanas@seminolecountyfl.gov	407-665-7388
Building Division	Jay Hamm	jhamm@seminolecountyfl.gov	407-665-7468
Comprehensive Planning	Maya Athanas	mathanas@seminolecountyfl.gov	407-665-7388
Environmental Services	James Van Alstine	jvanalstine@seminolecountyfl.gov	407-665-2014
Natural Resources	Sarah Harttung	sharttung@seminolecountyfl.gov	407-665-7391
Planning and Development	Kaitlyn Apgar	kapgar@seminolecountyfl.gov	407-665-7377
Public Safety - Fire Marshal	Matthew Maywald	mmaywald@seminolecountyfl.gov	407-665-5177
Public Works - Engineering	Vladimir Simonovski	vsimonovski@seminolecountyfl.gov	407-665-5762
Public Works - Impact Analysis	William Wharton	wwharton@seminolecountyfl.gov	407-665-5730

RESOURCE INFORMATION

Seminole County Land Development Code:

<http://www.seminolecountyfl.gov/departments-services/development-services/planning-development/codes-regulations/>

Seminole County Comprehensive Plan:

<http://www.seminolecountyfl.gov/departments-services/development-services/planning-development/codes-regulations/comprehensive-plan/index.shtml>

Development Services:

<http://www.seminolecountyfl.gov/departments-services/development-services/>

Wekiva Consistency form:

<http://www.seminolecountyfl.gov/core/fileparse.php/3207/urlt/WekivaConReview.pdf>

Seminole County Property Appraiser Maps:

<http://www.scpafl.org>

Seminole County Wetland Information:

<http://www.seminolecountyfl.gov/departments-services/development-services/planning-development/forms-applications-resources/wetl-dock-information.shtml>

FEMA LOMR (Letter of Map Revision):

www.fema.gov

Cities:

Altamonte Springs	(407) 571-8150	www.altamonte.org
Casselberry	(407) 262-7751	www.casselberry.org
Lake Mary	(407) 585-1369	www.lakemaryfl.com
Longwood	(407) 260-3462	www.longwoodfl.org
Oviedo	(407) 971-5775	www.cityofoviedo.net
Sanford	(407) 688-5140	www.sanfordfl.gov
Winter Springs	(407) 327-5963	www.winterspringsfl.org

Other Agencies:

Florida Dept of Transportation	FDOT		www.dot.state.fl.us
Florida Dept of Enviro Protection	FDEP	(407) 897-4100	www.dep.state.fl.us
St. Johns River Water Mgmt Dist	SJRWMD	(407) 659-4800	www.sjrwmd.com
Health Department	Septic	(407) 665-3621	

Other Resources:

Flood Prone Areas	www.seminolecountyfl.gov/gm/building/flood/index.aspx
Watershed Atlas	www.seminole.wateratlas.usf.edu
Seminole Co. Property Appraiser	www.scpafl.org



SEMINOLE COUNTY, FLORIDA

Agenda Memorandum

COUNTY SERVICES
BUILDING
1101 EAST FIRST STREET
SANFORD, FLORIDA
32771-1468

File Number: 2024-0964

Title:

TARGET - PRE-APPLICATION

Project Number: 24-80000081

Project Description: Proposed Site Plan for 10 EV charging stations on 10.41 acres in the PD Zoning District located on the north side of Lake Mary Blvd, west of Greenwood Blvd

Project Manager: Annie Sillaway (407) 665-7936 (asillaway@seminolecountyfl.gov)

Parcel ID: 18-20-30-511-0000-0020

BCC District: 4-Lockhart

Applicant: Mitra Emtiazi (603) 560-6366

Consultant: Mitra Emtiazi (603) 560-6366



SEMINOLE COUNTY
 PLANNING & DEVELOPMENT DIVISION
 1101 EAST FIRST STREET, ROOM 2028
 SANFORD, FLORIDA 32771
 (407) 665-7371 EPLANDESK@SEMINOLECOUNTYFL.GOV

PROJ. #: 24-80000081

PRE-APPLICATION

INCOMPLETE APPLICATIONS WILL NOT BE ACCEPTED

APPLICATION FEE

☒ PRE-APPLICATION \$50.00

PROJECT

PROJECT NAME: EA-Target T1918 Lake Mary

PARCEL ID #(S): 18-20-30-511-0000-0020

TOTAL ACREAGE: 10.4

BCC DISTRICT: 4: Lockhart

ZONING: PD- Planned Development

FUTURE LAND USE: COM

APPLICANT

NAME: Mitra Emtiazi

COMPANY: SAI Group on behalf of Electrify America

ADDRESS: 12 Industrial Way

CITY: Salem

STATE: NH

ZIP: 03079

PHONE: 603-560-6366

EMAIL: memtiazi@saigrp.com

CONSULTANT

NAME: Mitra Emtiazi

COMPANY: SAI Group on behalf of Electrify America

ADDRESS: 12 Industrial Way

CITY: Salem

STATE: NH

ZIP: 03079

PHONE: 603-560-6366

EMAIL: memtiazi@saigrp.com

PROPOSED DEVELOPMENT (CHECK ALL THAT APPLY)

☐ SUBDIVISION ☐ LAND USE AMENDMENT ☐ REZONE ☒ SITE PLAN ☐ SPECIAL EXCEPTION

Description of proposed development: installation of (10) level 3 electric vehicle chargers in an existing parking lot. Installation of (1) concrete pad for placement of (1) switchgear. (5) concrete pads for placement of (5) power cabinets and chargers.

STAFF USE ONLY

COMMENTS DUE: 7/5

COM DOC DUE: 7/11

DRC MEETING: 7/17

☐ PROPERTY APPRAISER SHEET ☐ PRIOR REVIEWS:

ZONING: PD

FLU: COM

LOCATION: on the north side of Lake Mary Blvd,
west of Greenwood Blvd

W/S: Seminole County

BCC: 4: Lockhart

Agenda: 7/12

PROJECT NARRATIVE

Project: EA-Target T1918 Lake Mary
Lake Mary, Florida

Location: 4155 West Lake Mary
Lake Mary, Florida

The project consists of the installation of an electric vehicle charging station and accessory utility equipment.

The site is situated on an existing and previously developed lot. The lot is an existing parking lot belonging to the Target Corporation. The subject lot is entirely within the PD-Planned Development zoning district. This project does not propose any changes to the land or building use. The Flood Insurance Rate Maps (effective 9/28/2007) indicates the project site is in a zone X (area of minimal flood hazard).

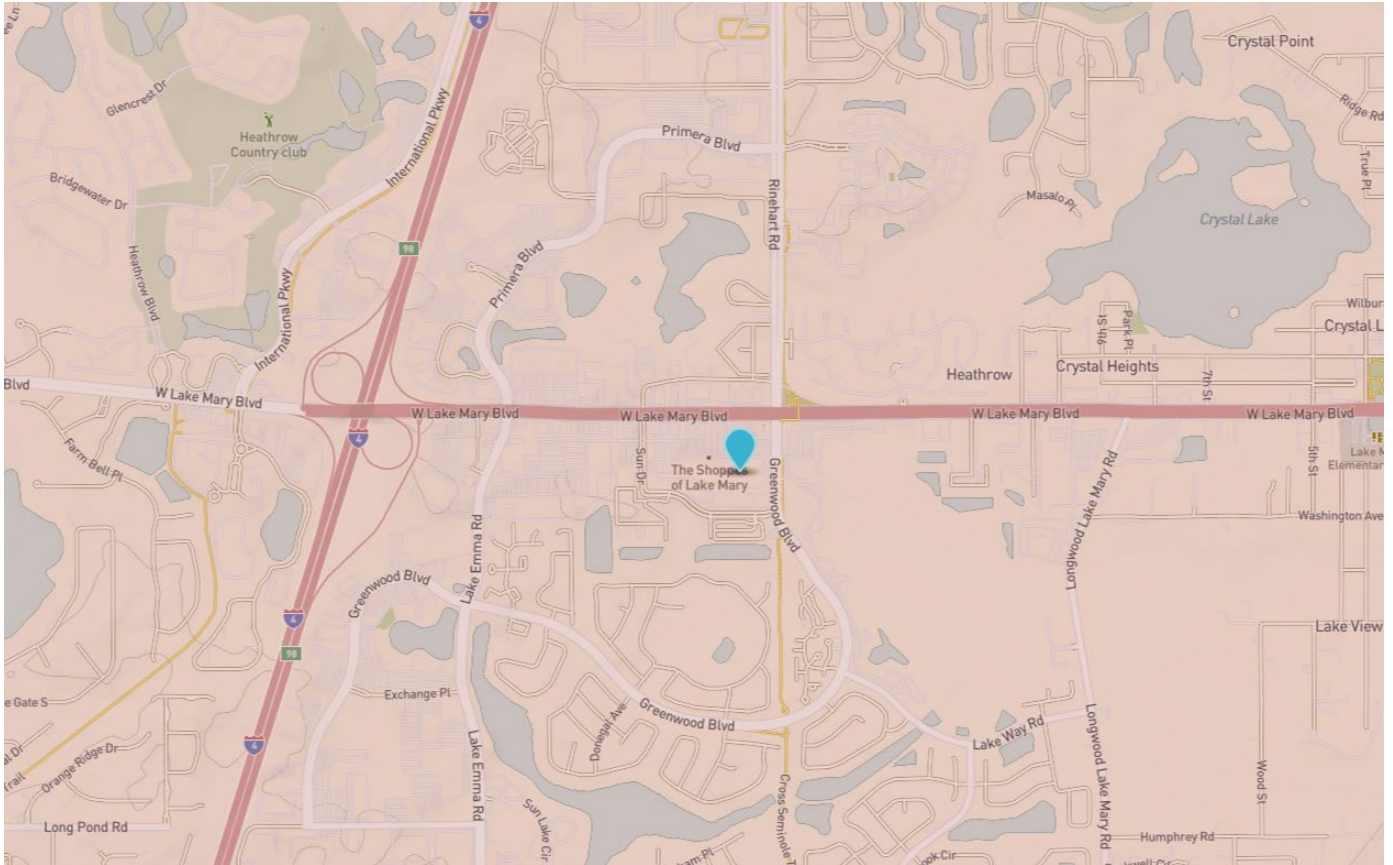
The proposed project consists of transitioning (14) existing parking stalls to (10) parking stalls with (10) back-to-back electric vehicle charging dispensers and (5) power cabinets on (5) concrete slab pads, a concrete equipment pad for an electrical switchgear cabinet, and a utility-provided transformer.

The site work includes excavation for the trenching of electrical conduits and hand holes, and for the installation of the concrete pads for the equipment. A concrete curb is proposed around the equipment pad. Protective bollards are proposed around electrical equipment, equipment pad and utility provided transformer.

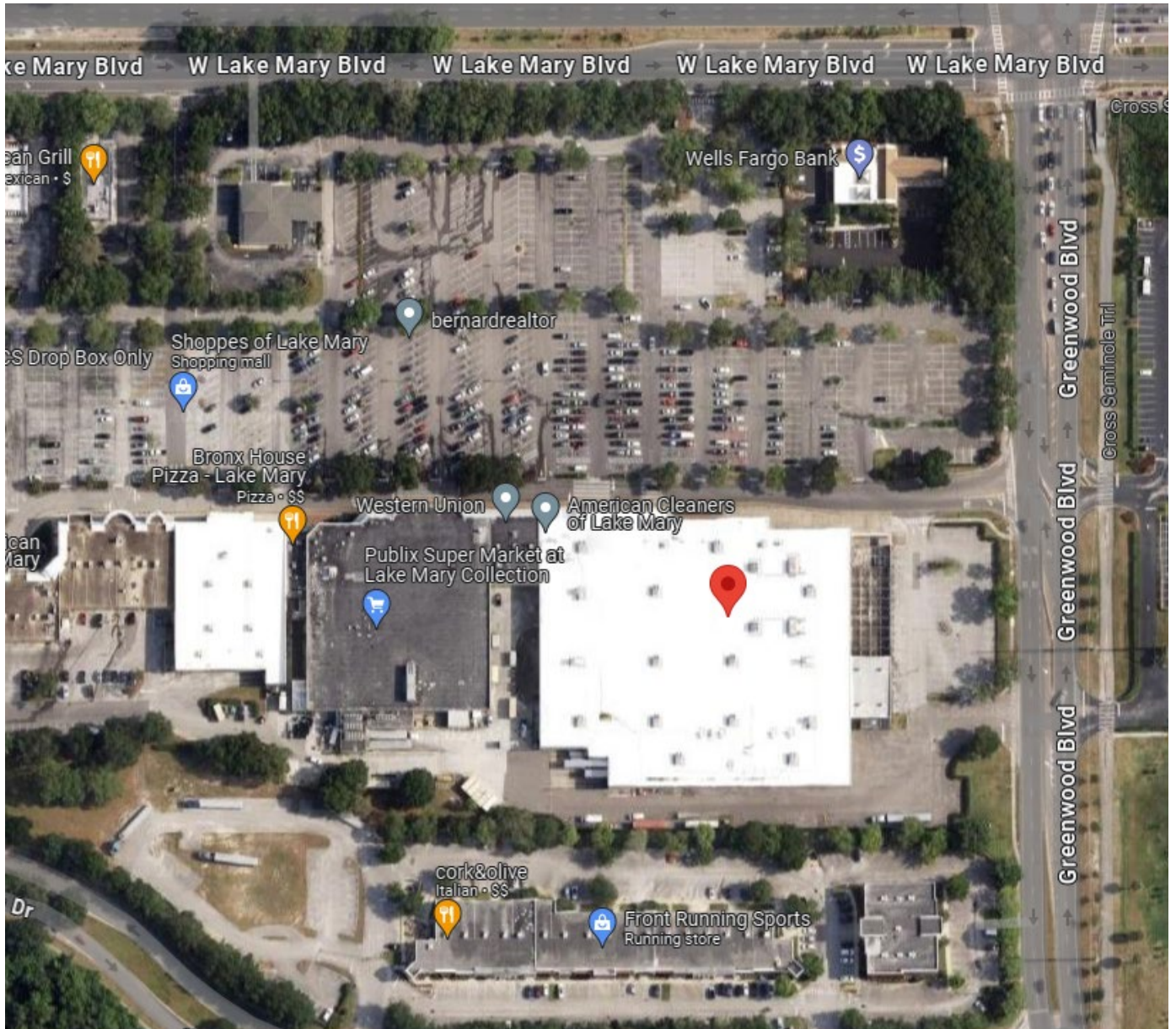
Utility power will be coordinated with Duke Energy and the proposed work will consist of installation of underground conduit via a directional bore from the primary power source to a utility owned transformer.

The charging stations are intended as an amenity to the existing parking lot that will allow The Target Corporations customers, as well as adjacent businesses, the convenience of charging their vehicles while shopping. The proposed charging stations are consistent with the general description of the Planned Development district, that it is for personal and business services and is complimentary to the general retail business of the city.

USGS Map



Aerial Map



Flood Map

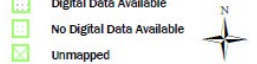
National Flood Hazard Layer FIRMette



Legend

SEE FIS REPORT FOR DETAILED LEGEND AND INDEX MAP FOR FIRM PANEL LAYOUT

SPECIAL FLOOD HAZARD AREAS	Without Base Flood Elevation (BFE) Zone A, V, AE
	With BFE or Depth Zone AE, AO, AH, VE, AR
	Regulatory Floodway
OTHER AREAS OF FLOOD HAZARD	0.2% Annual chance Flood Hazard, Areas of 1% annual chance flood with average depth less than one foot or with drainage areas of less than one square mile Zone X
	Future conditions 1% Annual Chance Flood Hazard Zone X
	Area with Reduced Flood Risk due to Levee. See Notes, Zone X
	Area with Flood Risk due to Levee Zone D
OTHER AREAS	NO SCREEN Area of Minimal Flood Hazard Zone X
	Effective LOMRs
	Area of Undetermined Flood Hazard Zone D
GENERAL STRUCTURES	Channel, culvert, or Storm Sewer
	Levee, Dike, or Floodwall
OTHER FEATURES	20.2 Cross Sections with 1% Annual Chance Water Surface Elevation
	17.5 Coastal Transect
	Base Flood Elevation Line (BFE)
	Limit of Study
	Jurisdiction Boundary
	Coastal Transect Baseline
MAP PANELS	Profile Baseline
	Hydrographic Feature
	Digital Data Available
	No Digital Data Available
	Unmapped



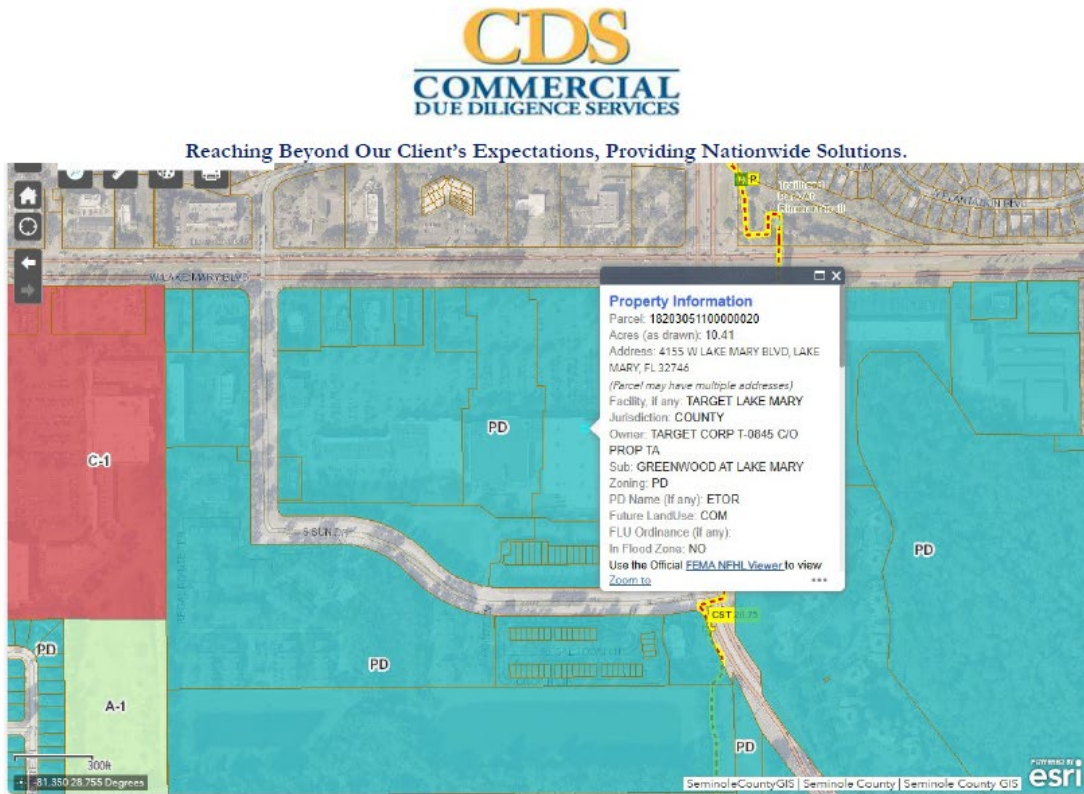
The pin displayed on the map is an approximate point selected by the user and does not represent an authoritative property location.

This map complies with FEMA's standards for the use of digital flood maps if it is not void as described below. The basemap shown complies with FEMA's basemap accuracy standards.

The flood hazard information is derived directly from the authoritative NFHL web services provided by FEMA. This map was exported on 5/24/2024 at 1:13 PM and does not reflect changes or amendments subsequent to this date and time. The NFHL and effective information may change or become superseded by new data over time.

This map image is void if the one or more of the following map elements do not appear: basemap imagery, flood zone labels, legend, scale bar, map creation date, community identifiers, FIRM panel number, and FIRM effective date. Map images for unmapped and unmodernized areas cannot be used for regulatory purposes.

Zoning Map



ZONING MAP

Jurisdiction: Seminole County

County: Seminole County

Address: 4155 W Lake Mary Blvd

Zoning Designation: PD, Planned Development: Abutting Zoning Designations
North - Outside Municipal Boundary; South - PD, Planned Development; East – PD
Planned Development; West - PD, Planned Development

NOTE:
1. SURVEY AND TOPOGRAPHICAL FEATURES SHOWN FOR REFERENCE ONLY. SEE INCLUDED SURVEY (BY OTHERS) PERFORMED FOR THIS PROJECT.

LAKE MARY BLVD

PROPOSED SOURCE
OF UTILITY POWER

PROPOSED SWITCHGEAR &
SUPPORT EQUIPMENT
WITHIN EQUIPMENT AREA

PROPOSED
TRANSFORMER

PROPOSED BTC GEN IV DISPENSERS

PORTION OF LOT 1
GREENWOOD AT
LAKE MARY
PB 45, PGS 67-68
PUBLIX SUPER MARKETS INC.
APN: 18-20-30-511-0000-0010

LOT 2 AND PORTION OF LOT 1
GREENWOOD AT LAKE MARY
PB 45, PGS 67-68
TARGET CORP. T-0845
APN: 18-20-30-511-0000-0020

**electrify
america**

ELECTRIFY AMERICA, LLC
2003 EDMUND HALLEY
DRIVE
SUITE 200
RESTON, VA 20191

SAI

12 INDUSTRIAL WAY
SALEM, NEW HAMPSHIRE 03079

LDC | Surveying
Engineering
Planning
Kent Woodville Olympia
20210 140nd Avenue NE
Woodville, WA 98072
T 425.806.1869 www.LDCcorp.com F 425.482.2893

JOB NAME
240366
TARGET T0845
4155 W LAKE MARY
BLVD
LAKE MARY, FL 32746

SHEET TITLE
OVERALL SITE
PLAN

REV	DATE	DESCRIPTION	BY
A	5-28-24	PRELIMINARY (CDSD)	KB

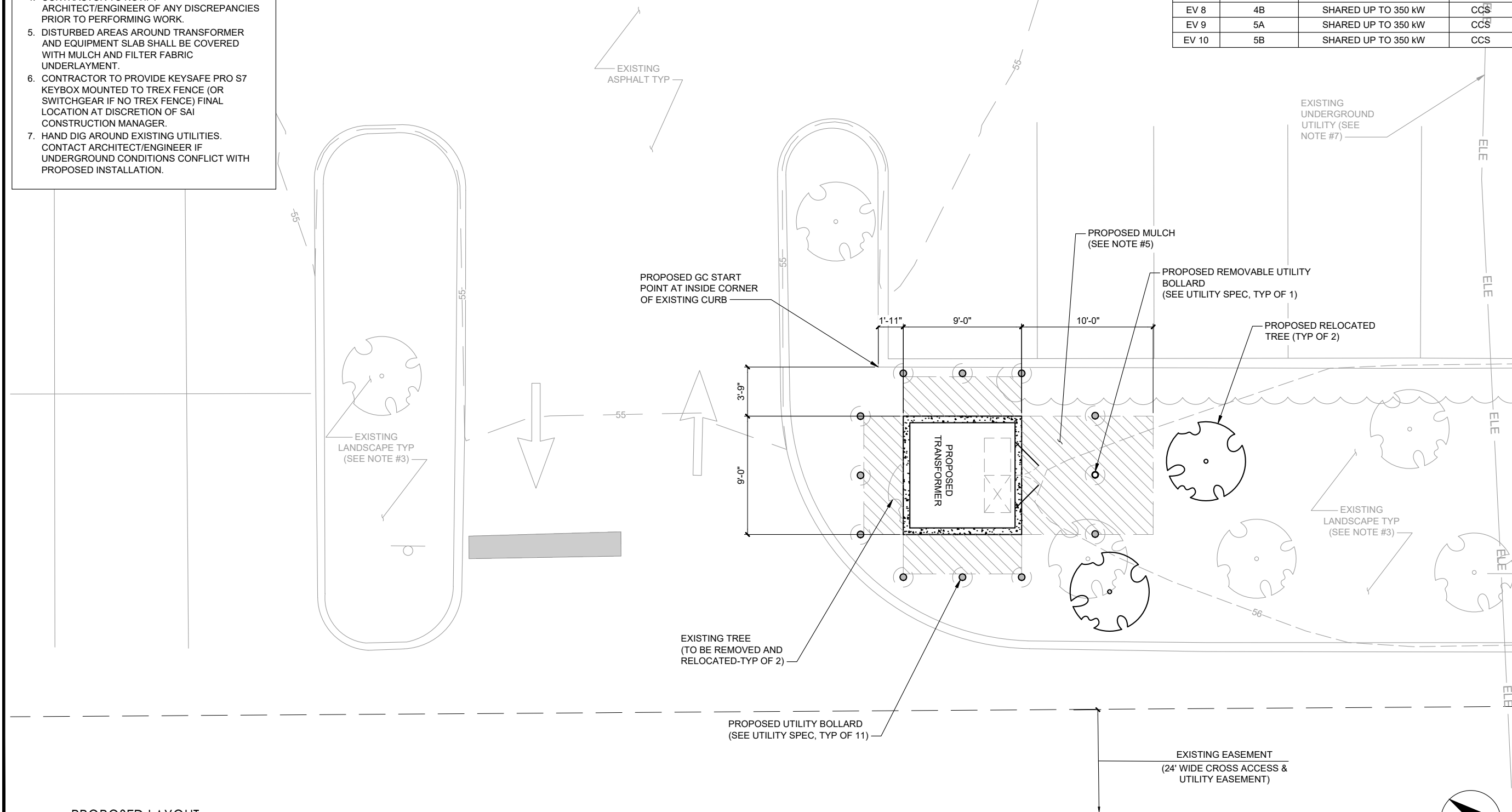
CHECKED BY: RBH

A-1


1. SURVEY AND TOPOGRAPHICAL FEATURES SHOWN FOR REFERENCE ONLY. SEE INCLUDED SURVEY (BY OTHERS) PERFORMED FOR THIS PROJECT.
2. CONTRACTOR SHALL PROTECT EXISTING INFRASTRUCTURE IN PLACE WITHIN THE AREA OF IMPROVEMENTS, AND RETURN SIDEWALKS, CURBING, ASPHALT, LANDSCAPING, PLANTERS, IRRIGATION SYSTEMS, AND ANY OTHER FACILITIES DISTURBED BY THE WORK TO THE SAME OR BETTER CONDITIONS PRIOR TO THE COMMENCEMENT OF WORK.
3. CONTRACTOR SHALL PROTECT EXISTING LANDSCAPING, TREES, GROUND COVER, ROOT SYSTEMS AND DECORATIVE ROCKERIES TO THE MAXIMUM EXTENT POSSIBLE.
4. CONTRACTOR TO NOTIFY ARCHITECT/ENGINEER OF ANY DISCREPANCIES PRIOR TO PERFORMING WORK.
5. DISTURBED AREAS AROUND TRANSFORMER AND EQUIPMENT SLAB SHALL BE COVERED WITH MULCH AND FILTER FABRIC UNDERLAYMENT.
6. CONTRACTOR TO PROVIDE KEYSAFE PRO S7 KEYBOX MOUNTED TO TREX FENCE (OR SWITCHGEAR IF NO TREX FENCE) FINAL LOCATION AT DISCRETION OF SAI CONSTRUCTION MANAGER.
7. HAND DIG AROUND EXISTING UTILITIES. CONTACT ARCHITECT/ENGINEER IF UNDERGROUND CONDITIONS CONFLICT WITH PROPOSED INSTALLATION.


The diagram illustrates three types of gutter profiles, each shown in cross-section relative to a four-line roof structure (top, bottom, and two intermediate lines):

- TYPE A, CATCH GUTTER:** A simple V-shaped profile that sits on the bottom roof line and reaches up to the top roof line.
- TYPE B, SPILL GUTTER:** A V-shaped profile that sits on the bottom roof line and reaches up to the second intermediate line.
- TYPE C, HEADER CURB:** A flat, horizontal profile that sits on the bottom roof line and reaches up to the top roof line.

[illegible]

CURB LEGEND:

 = TYPE A, CATCH GUTTER

 = TYPE B, SPILL GUTTER

 = TYPE C, HEADER CURB

electrify
america

ELECTRIFY AMERICA, LLC
2003 EDMUND HALLEY
DRIVE
SUITE 200
RESTON, VA 20191



12 INDUSTRIAL WAY
SALEM, NEW HAMPSHIRE 03079

LDC | Surveying
Engineering
Planning

Kent Woodinville Olympia
20210 142nd Avenue NE
Woodinville, WA 98072

T 425.806.1869 www.LDCcorp.com F 425.482.2899

JOB NAME
240366
TARGET T0845
4155 W LAKE MARY
BLVD
LAKE MARY, FL 3274

SHEET TITLE
PROPOSED LAYOUT

A	5-28-24	PRELIMINARY (CD50)	KF
REV	DATE	DESCRIPTION	BY


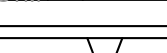
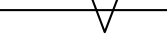
CHECKED BY: RBH

A-3.1

NOTES:

1. SURVEY AND TOPOGRAPHICAL FEATURES SHOWN FOR REFERENCE ONLY. SEE INCLUDED SURVEY (BY OTHERS) PERFORMED FOR THIS PROJECT.
2. CONTRACTOR SHALL PROTECT EXISTING INFRASTRUCTURE IN PLACE WITHIN THE AREA OF IMPROVEMENTS, AND RETURN SIDEWALKS, CURBING, ASPHALT, LANDSCAPING, PLANTERS, IRRIGATION SYSTEMS, AND ANY OTHER FACILITIES DISTURBED BY THE WORK TO THE SAME OR BETTER CONDITIONS PRIOR TO THE COMMENCEMENT OF WORK.
3. CONTRACTOR SHALL PROTECT EXISTING LANDSCAPING, TREES, GROUND COVER, ROOT SYSTEMS AND DECORATIVE ROCKERIES TO THE MAXIMUM EXTENT POSSIBLE.
4. CONTRACTOR TO NOTIFY ARCHITECT/ENGINEER OF ANY DISCREPANCIES PRIOR TO PERFORMING WORK.
5. DISTURBED AREAS AROUND TRANSFORMER AND EQUIPMENT SLAB SHALL BE COVERED WITH MULCH AND FILTER FABRIC UNDERLAYMENT.
6. CONTRACTOR TO PROVIDE KEYSAFE PRO S7 KEYBOX MOUNTED TO TREX FENCE (OR SWITCHGEAR IF NO TREX FENCE) FINAL LOCATION AT DISCRETION OF SAI CONSTRUCTION MANAGER.
7. HAND DIG AROUND EXISTING UTILITIES. CONTACT ARCHITECT/ENGINEER IF UNDERGROUND CONDITIONS CONFLICT WITH PROPOSED INSTALLATION.

CURB LEGEND:

-  = TYPE A, CATCH GUTTER
-  = TYPE B, SPILL GUTTER
-  = TYPE C, HEADER CURB

PROJECT AREA STALL COUNT

EXISTING STALL COUNT	14
PROPOSED STALL COUNT	10
HOST APPROVED STALL COUNT	14

PROPOSED BTC GEN IV DISPENSER

STALL	DISPENSER #	kW	CABLE TYPE
EV 1	1A	SHARED UP TO 350 kW	CCS
EV 2	1B	SHARED UP TO 350 kW	CCS
EV 3	2A	SHARED UP TO 350 kW	CCS
EV 4	2B	SHARED UP TO 350 kW	CCS
EV 5	3A	SHARED UP TO 350 kW	CCS
EV 6	3B	SHARED UP TO 350 kW	CCS
EV 7	4A	SHARED UP TO 350 kW	CCS
EV 8	4B	SHARED UP TO 350 kW	CCS
EV 9	5A	SHARED UP TO 350 kW	CCS
EV 10	5B	SHARED UP TO 350 kW	CCS

**electrify
america**

ELECTRIFY AMERICA, LLC
2003 EDMUND HALLEY
DRIVE
SUITE 200
RESTON, VA 20191

SAI

12 INDUSTRIAL WAY
SALEM, NEW HAMPSHIRE 03079

LDC | Surveying
Engineering
Planning
Kent Woodville Olympia
20210 140nd Avenue NE
Woodville, WA 98072
T 425.806.1869 www.LDCcorp.com F 425.482.2893

JOB NAME

240366
TARGET T0845
4155 W LAKE MARY
BLVD
LAKE MARY, FL 32746

SHEET TITLE

PROPOSED LAYOUT

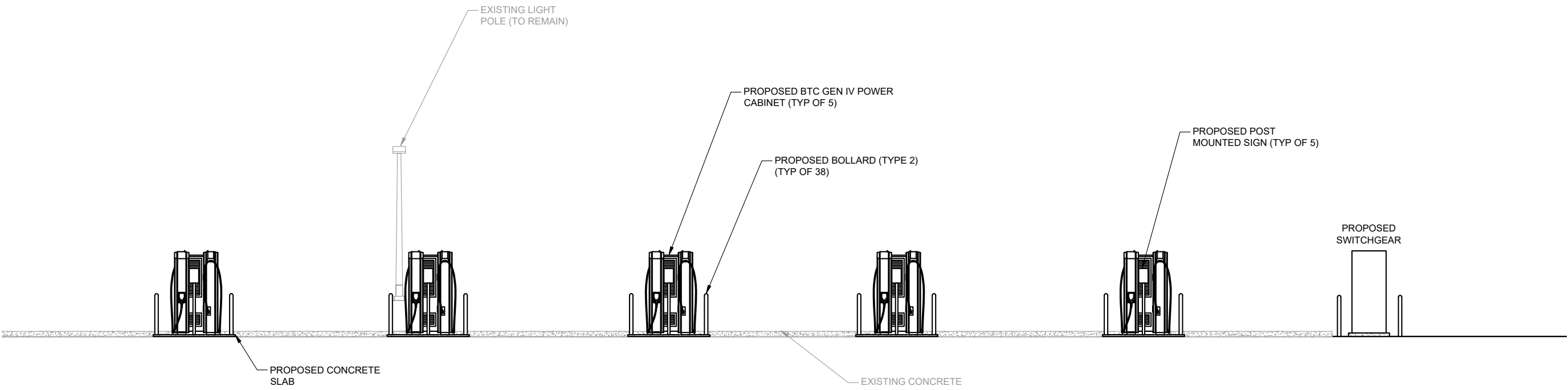
A	5-28-24	PRELIMINARY (CD50)	KB
REV	DATE	DESCRIPTION	BY

CHECKED BY:

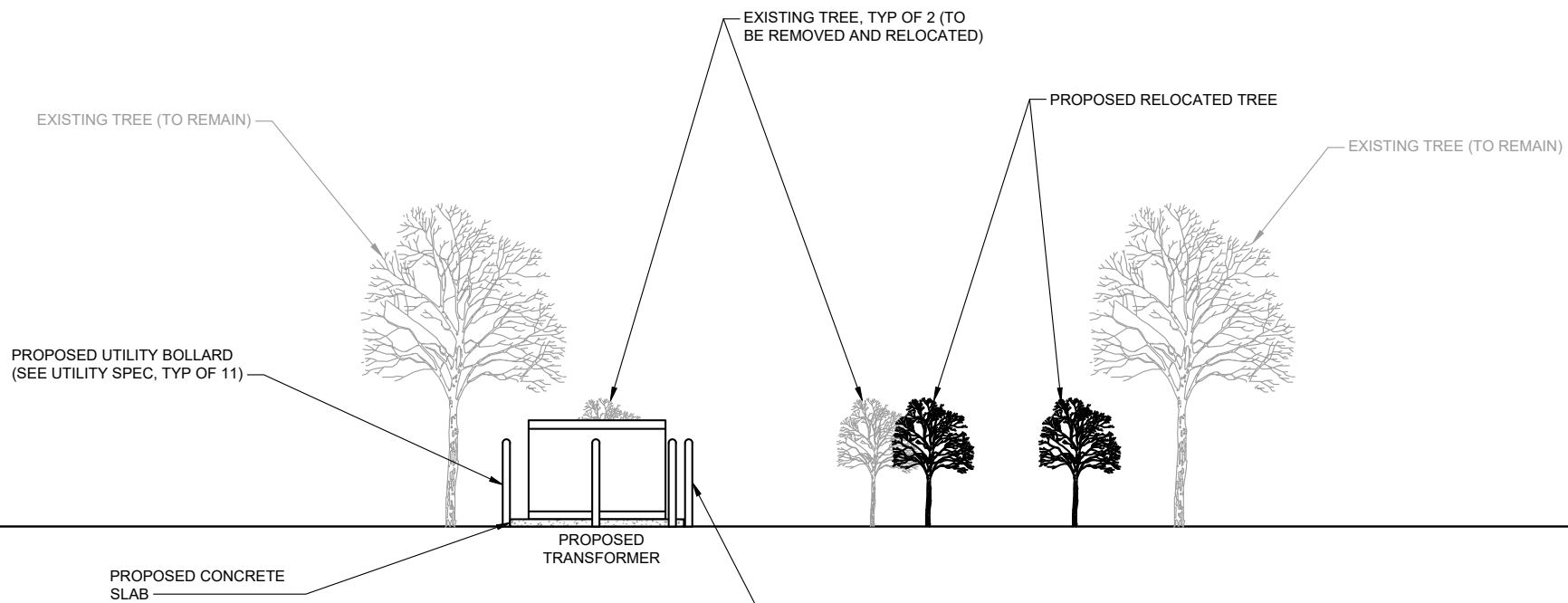
RBH

A-3.2

NOTE:
1. ELEVATION VIEW IS FOR REVIEW REFERENCE
AND NOT TO BE USED FOR CONSTRUCTION.
REFER TO LAYOUTS AND DETAIL SHEETS FOR
CONSTRUCTION.

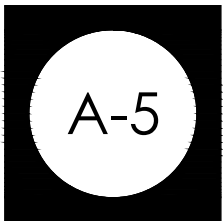


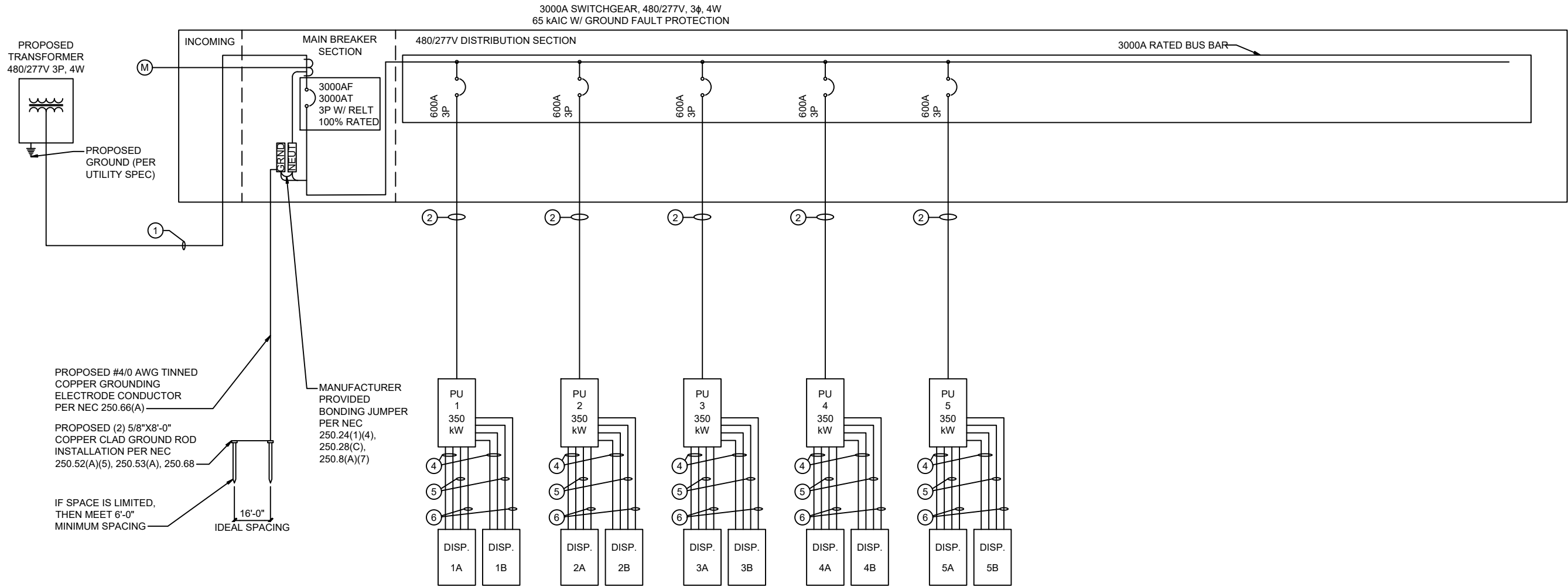
1
A-5
ELEVATION
22" x 34" SCALE: 3/16" = 1'-0" 11" x 17" SCALE: 3/32" = 1'-0"



1
A-5
ELEVATION
22" x 34" SCALE: 1/4" = 1'-0" 11" x 17" SCALE: 1/8" = 1'-0"

A	5-28-24	PRELIMINARY (CDSD)	KB
REV	DATE	DESCRIPTION	BY





NOTES:

1. POWER UNITS AND DISPENSERS MANUFACTURED BY BTC.
2. PROPOSED CTs/PTs SHALL BE LOCATED AS APPROVED BY THE UTILITY COMPANY.
3. MAIN BREAKER IS EQUIPPED WITH REDUCED ENERGY LET THROUGH (RELT) MAINTENANCE SWITCH WITH LOCAL STATUS INDICATION.
4. ALL FACTORY INSTALLED BREAKERS FURNISHED WITH PADLOCKING DEVICE.

LOAD SUMMARY			
	FLA	QTY	TOTAL FLA
350 KW POWER CABINET	465	5	2325
	TOTAL LOAD		2325A

CONDUIT & WIRING SCHEDULE			
NO	FROM	TO	CONFIGURATION
①	PROPOSED TRANSFORMER	PROPOSED SWITCHGEAR MAIN BREAKER	PROPOSED (3) 600 MCM AL THWN-2 600V 90°C (1) 600 MCM AL NEUT THWN-2 600V 90°C IN EACH OF (6) 4" CONDUITS (2) SPARE 4" CONDUITS
②	PROPOSED SWITCHGEAR 480/277V MAIN DISTRIBUTION SECTION	PROPOSED POWER UNIT	PROPOSED (3) 500 MCM AL THWN-2 600V 90°C (1) #1 AWG CU GND THWN-2 600V 90°C IN EACH OF (2) 4" CONDUITS
③	NOT USED		
④	PROPOSED POWER UNIT	PROPOSED DISPENSER (DC POWER)	PROPOSED (2) 350 MCM AL XHHW-2 1000V 90°C (1) #2 AWG CU GND THWN-2 600V 90°C IN EACH OF (2) 2-1/2" CONDUITS TO EACH DISPENSER
⑤	PROPOSED POWER UNIT	PROPOSED DISPENSER (AUX POWER)	PROPOSED (2) #10 AWG CU (1) #10 AWG CU GND (1) 3/4" CONDUIT TO EACH DISPENSER
⑥	PROPOSED POWER UNIT	PROPOSED DISPENSER (COMM)	PROPOSED (1) BUFFERED I/O MM FIBER (ST/ST CONN) (1) 2-CONDUCTOR #16 AWG TSP (1) CAT 6 (1) 1-1/2" CONDUIT TO EACH DISPENSER
⑦	NOT USED		
⑧	NOT USED		
⑨	NOT USED		
⑩	NOT USED		
⑪	NOT USED		
⑫	NOT USED		
⑬	NOT USED		
⑭	NOT USED		

A	5-28-24	PRELIMINARY (CD50)	KB
REV	DATE	DESCRIPTION	BY

SURVEY DRAWING

LAKE MARY BOULEVARD
PUBLIC RIGHT-OF-WAY

NOT TO SCALE
FOR REFERENCE
ONLY

LEGEND

- EEB = ELECTRIC BOX
 IICV = IRRIGATION CONTROL VALVE
 S = SIGN
 SI = STORM INLET
 F = UNDS. FIBER OPTIC LINE MARKER
 C = CLEAN OUT
 FVT = FIBER OPTIC VAULT
 T = TREE
 SCHEDULE B ITEM NO.
 SITE BENCHMARK (SEE NOTE NO. 6)
 ADJOINING PROPERTY APPROX. PROPERTY LINE
 EASEMENT LINE
 UNDERGROUND STORM
 UNDERGROUND FIBER OPTIC
 UNDERGROUND ELECTRIC
 UNKNOWN UNDERGROUND
 CONCRETE
 NO PARKING AREA
 P.S. = PAINT STRIPE
 S.B. = STOP BAR
 C.W. = CROSS WALK
 L.S. = LANDSCAPE AREA

SURVEYOR NOTES

- THIS IS A TOPOGRAPHIC MAP. THIS IS NOT A BOUNDARY SURVEY AND IS ONLY INTENDED TO DEPICT THOSE TOPOGRAPHIC FEATURES OR IMPROVEMENTS SHOWN. THE PROPERTY LINES SHOWN ARE APPROXIMATE RECORD LINES AND ARE SHOWN FOR GRAPHICAL REFERENCE ONLY.
- THE UNDERGROUND UTILITIES SHOWN HEREON ARE BASED ON MARKINGS CREATED BY G.P.R.S. (GROUND PENETRATING RADAR SYSTEMS, LLC, PHONE #888-914-4718) ON OCTOBER 20, 2023, AND OBSERVED ABOVE GROUND FEATURES AND/OR EXISTING DRAWINGS. THE SURVEYOR MAKES NO GUARANTEE THAT THE UNDERGROUND UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. THE SURVEYOR FURTHER DOES NOT WARRANT THAT THE UNDERGROUND UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED. ALL UNDERGROUND UTILITIES SHOULD BE FIELD VERIFIED BY THE CONTRACTOR PRIOR TO COMMENCING ANY ONSITE WORK.
- FEDERAL EMERGENCY MANAGEMENT AGENCY, FLOOD INSURANCE RATE MAP NUMBER 1217C 0085F (EFFECTIVE DATE SEPTEMBER 28, 2007) INDICATES THIS PARCEL OF LAND IS LOCATED IN ZONE "X" (AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE).
- THIS SURVEY DOES NOT CONSTITUTE A TITLE SEARCH BY FA COMMERCIAL DUE DILIGENCE SERVICES TO DETERMINE OWNERSHIP OR EASEMENTS OF RECORD. FOR ALL INFORMATION REGARDING EASEMENTS, RIGHTS OF WAY AND TITLE OF RECORD, CDS RELIED UPON A SEARCH REPORT, PREPARED BY FIRST AMERICAN TITLE INSURANCE COMPANY, COMMITMENT NUMBER: 1196076, COMMITMENT DATE: OCTOBER 06, 2023 AT 8:00 A.M.
- ELEVATIONS ARE BASED ON NAVD83 DATUM, DERIVED FROM THE LEICA SMARTNET GPS REFERENCE NETWORK.
- SITE BENCHMARK #1: CUT SQUARE ON CONCRETE CURB, ON MOST NORTH-WESTERLY POINT OF CURVATURE ON 1ST PARKING ISLAND WESTERLY OF DRIVEWAY ENTRANCE ALONG LAKE MARY BOULEVARD. ELEVATION: 55.82 FEET
SITE BENCHMARK #2: CUT SQUARE ON CONCRETE CURB, ON MOST SOUTHEASTERLY POINT OF CURVATURE ON 2ND PARKING ISLAND SOUTHERLY ALONG EASTERLY SIDE OF DRIVEWAY ENTRANCE ALONG LAKE MARY BOULEVARD. ELEVATION: 57.20 FEET
- FIELD WORK FOR THIS SURVEY WAS COMPLETED ON 10/23/2023.
- THE OWNER NAMES AND TAX PARCEL DATA SHOWN HEREON ARE BASED UPON THE PUBLIC WORKS RECORDS AVAILABLE AT THE ORIGINAL DATE OF THIS SURVEY. CURRENT OWNERSHIP AND TAX PARCEL DATA SHOULD BE VERIFIED FOR ACCURACY.
- PER THE CLIENT'S REQUEST, TITLE SEARCHES ONLY REFLECT A 30 YEAR HISTORY. EASEMENTS AND ENCUMBRANCES PRECEDING THE TITLE SEARCH HISTORY MAY EXIST AND ARE NOT REFLECTED ON THIS SURVEY.
- PER THE ZONING INFORMATION REPORT PREPARED BY FA-CDS (888) 322 7371 - CDS.SOLUTIONS@FIRSTAM.COM; ORDER NO.: 23-10-0114, DATED: 10/17/2023; THIS SITE IS ZONED: PD, PLANNED DEVELOPMENT
REQUIREMENTS ARE PER AN APPROVED DEVELOPMENT PLAN / DEVELOPMENT ORDER
- THIS SURVEY WAS DONE IN COMPLIANCE WITH CURRENT FLORIDA STANDARDS OF PRACTICE FOR LAND SURVEYING WITH A RATIO OF PRECISION OF THE UNADJUSTED SURVEY OF 1:13,100.

SURVEYOR CERTIFICATION

THIS DRAWING WAS PREPARED UNDER MY DIRECT SUPERVISION TO THE STANDARD OF CARE OF SURVEYORS PRACTICING IN THE STATE OF FLORIDA AND THAT THE INFORMATION SHOWN HEREON IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE, INFORMATION AND BELIEF.
DATE OF PLAT OR MAP: 11/01/2023

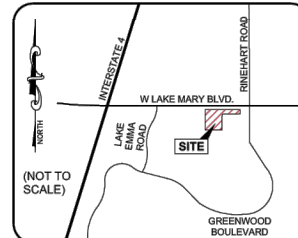
THE SEAL APPEARING ON THIS DOCUMENT WAS AUTHORIZED BY J. WESLEY ABERCROMBIE, P.S.M. 7506 ON NOVEMBER 1, 2023.

J. Wesley Abercrombie
License Number 7506
STATE OF FLORIDA
Professional Surveyor and Mapper
11-7-2023

FA COMMERCIAL DUE DILIGENCE SERVICES CO.
3550 W. ROBINSON STREET, 3RD FLOOR
NORMAN, OK 73072
J. WESLEY ABERCROMBIE
PROFESSIONAL SURVEYOR AND MAPPER #7506
CERTIFICATE OF AUTHORIZATION NO. LB#7761

THE SURVEY MAP OR COPIES THEREOF ARE NOT VALID WITHOUT THE ORIGINAL SIGNATURE AND SEAL OF A FLORIDA LICENSED SURVEYOR AND MAPPER

VICINITY MAP



**LOT 2 AND PORTION OF LOT 1
GREENWOOD AT LAKE MARY**
PB 45, PGS 67-68
TARGET CORP. T-0845
APN: 18-20-30-511-0000-0020

SCHEDULE "B" ITEMS

NOTES CORRESPONDING TO SCHEDULE "B" SECTION TWO EXCEPTIONS:

TYPE OF INSTRUMENT	O.R. BOOK	PAGE/INSTRUMENT	NOTES
1 GREENWOOD AT LAKE MARY	45	67	DOES AFFECT SURVEY AREA, 15' WIDE LANDSCAPE BUFFER AND UTILITY EASEMENT, AND 24' WIDE CROSS ACCESS AND UTILITY EASEMENT PLOTTED HEREON.
2 GRANT OF EASEMENT	2883	497	DOES NOT AFFECT SURVEY AREA, NOTHING PLOTTED ON SURVEY.
3 GRANT AND DECLARATION OF EASEMENT FOR UNDERGROUND DRAINAGE EASEMENT	2884	219	DOES NOT AFFECT SURVEY AREA, NOTHING PLOTTED ON SURVEY.
4	3370	215	DOES NOT AFFECT SURVEY AREA, NOTHING PLOTTED ON SURVEY.
5 DISTRIBUTION EASEMENT	3514	1673	DOES AFFECT SURVEY, FALLS 5' ON EACH SIDE OF EXISTING FLORIDA POWER CORPORATION FACILITIES. LOCATIONS NOT SPECIFIED IN DOCUMENT, NOTHING PLOTTED ON SURVEY.
6 NONEXCLUSIVE DISTRIBUTION EASEMENT	4080	1968	DOES NOT AFFECT SURVEY AREA, NOTHING PLOTTED ON SURVEY.

TITLE DESCRIPTION

THE TOPOGRAPHIC SURVEY SHOWN HEREON LIES WITHIN THE PROPERTY SHOWN AS LOT 2 AND A PORTION OF LOT 1 ON THE OFFICIAL PLAT OF GREENWOOD AT LAKE MARY, RECORDED IN PLAT BOOK 45, PAGES 67-68 IN THE OFFICIAL RECORDS OF SEMINOLE COUNTY, FLORIDA.

THIS SURVEY AND LEGAL DESCRIPTION ARE NOT THE SAME AS THAT DESCRIBED IN FIRST TITLE INSURANCE COMPANY COMMITMENT NUMBER: 1196076, DATED: OCTOBER 06, 2023 AT 8:00 A.M.



**Seminole County Government
Development Services Department
Planning and Development Division
Credit Card Payment Receipt**

If you have questions about your application or payment, please email us eplandesk@seminolecountyfl.gov or call us at: (407) 665-7371.

Receipt Details

Date: 6/6/2024 3:44:33 PM
Project: 24-80000080
Credit Card Number: 48*****9031
Authorization Number: 037961
Transaction Number: 060624O2C-0E1AF7EB-BBDF-498B-B172-0C10D838AC92
Total Fees Paid: 52.50

Fees Paid

Description	Amount
CC CONVENIENCE FEE -- PZ	2.50
PRE APPLICATION	50.00
Total Amount	52.50

SEMINOLE COUNTY GOVERNMENT
 1101 EAST FIRST STREET, 2ND FLOOR, WEST WING
 SANFORD, FLORIDA 32771

PROJECT NAME:	TARGET - PRE-APPLICATION	PROJ #: 24-80000081
APPLICATION FOR:	DR - PRE-APPLICATION DRC	
APPLICATION DATE:	6/06/24	
RELATED NAMES:	EP MITRA EMTIAZI	
PROJECT MANAGER:	ANNE SILLAWAY (407) 665-7936	
PARCEL ID NO.:	18-20-30-511-0000-0020	
PROJECT DESCRIPTION	PROPOSED SITE PLAN FOR 10 EV CHARGING STATIONS ON 10.41 ACRES IN THE PD ZONING DISTRICT LOCATED ON THE NORTH SIDE OF LAKE MARY BLVD, WEST OF GREENWOOD BLVD	
NO OF ACRES	10.41	
BCC DISTRICT	4-AMY LOCKHART	
CURRENT ZONING	PD	
LOCATION	ON THE NORTH SIDE OF LAKE MARY BLVD, WEST OF GREENWOOD BLVD	
FUTURE LAND USE-	COM	
APPLICANT:	CONSULTANT:	
MITRA EMTIAZI SAI GROUP 12 INDUSTRIAL WAY SALEM NH 03079 (603) 560-6366 MENTIAZI@SAIGRP.COM	MITRA EMTIAZI SAI GROUP 12 INDUSTRIAL WAY SALEM NH 03079 (603) 560-6366 MENTIAZI@SAIGRP.COM	

Please be advised, these comments are intended to assist you in finding information that will enable you to prepare for your plan review. They are not intended to replace or exempt you from the applicable Codes and Ordinances as they pertain to your project. These comments are informational only and do not grant any approvals. Also be advised, from time to time Codes and Ordinances are amended and the comments provided only reflect the regulations in effect at the time of review.

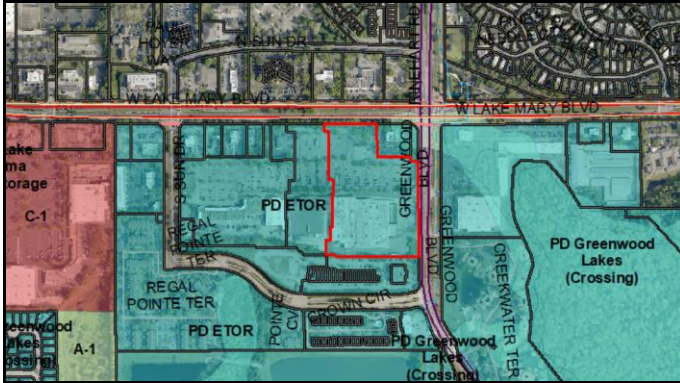
The development project review will be completed utilizing Electronic Plan Review (ePlan). For questions regarding this process, please consult the Electronic Plan Review Applicant User Guide that can be found [HERE](#).

PROJECT MANAGER COMMENTS

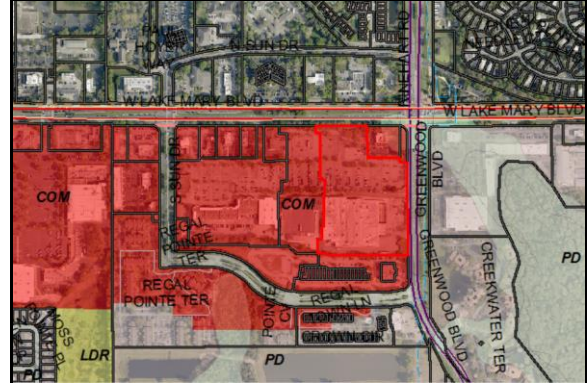
- The subject site has a Commercial Future Land Use with PD (Planned Development) zoning.
- The next step for the Applicant is to apply for a Small Site Plan.

PROJECT AREA ZONING AND AERIAL MAPS

Zoning



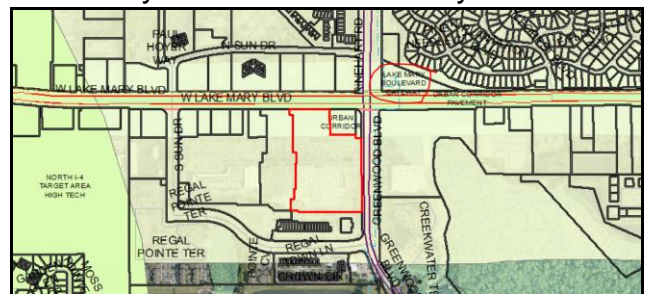
Future Land Use



Aerial



Lake Mary Blvd Corridor Overlay



AGENCY/DEPARTMENT COMMENTS

NO.	REVIEWED BY	TYPE	STATUS
1.	Buffers and CPTED	Per Sec. 30.14.15. Screening: Mechanical equipment, refuse areas, and utilities visible from residential properties or public rights-of-way must be screened in accordance with this section.	Info Only
2.	Building Division	Any building construction and/or modification will require Building permits and engineered plans to meet the current 8th ed (2023) Florida Building Codes.	Info Only
3.	Environmental Services	We have no issues with the proposed EV chargers development.	Info Only
4.	Environmental Services	Please provide us any existing private utility easements/agreements that this development (parcel 18-20-30-511-0000-0020 / Target) has with parcel 18-20-30-511-0000-0010 / Publix and parcel 18-20-30-511-0000-001A / Lake Mary Station allowing the connection and sharing of common sewer infrastructure. Reviewing the record drawings, it appears as though the sewer flows from Publix's and Lake Mary Station's properties, through Target's property, all within a common sewer line. See "Sheet 5 from Lake Mary Collection 1994" in the Resources folder on eplan for reference. If no private utility easements/agreements (such as who owns what/who maintains what/etc.) are currently in place, we would recommend that one be executed so as to guarantee that existing conditions for utility service can stay as is. There's also the option of having this sewer line be publicly maintained for the common use of all parties involved. If the sewer line is to be publicly maintained, then a public utility easement will need to be provided. The public utility easement will need to be a minimum of 15 ft wide along the center of the sewer line. See "Proposed Utility Easement Target Lake Mary" in the Resources folder on eplan for a rough sketch of what we would be looking for.	Info Only
5.	Natural Resources	Specimen tree: Live oak, magnolia, bald cypress and longleaf pine trees twenty-four (24) inches DBH or greater. SCLDC Chapter 2	Info Only
6.	Natural Resources	Please provide a sealed or certified tree survey prepared by a professional surveyor, completed within the past 2 years. Show the location, DBH, common name, and, if applicable, indicate specimen tree status of all protected and preserved trees. SCLDC 60.10(b)(1)	Info Only
7.	Natural Resources	Dead or declining trees, as determined by a certified arborist, are exempt from arbor regulations. SCLDC 60.4(f)	Info Only

8.	Natural Resources	Barriers for the designated protected trees must be in place prior to any land clearing occurring near protected trees designated to remain. The property owner shall guarantee survival of retained or replacement trees for one (1) year from the issuance of a certificate of completion, or until the issuance of a certificate of occupancy on single-family residential lots. SCLDC 60.8(b)	Info Only
9.	Natural Resources	Protective barriers shall be placed at points not closer than six (6) feet from the base of the tree or at the radius of distance of one (1) foot radius for every one (1) inch of diameter of tree or stand of trees, whichever is greater to a maximum of twenty four (24) feet from the center of the tree. If circumstances exist that require encroachment of the drip-line, the Development Services Director, or designee may use discretion in allowing the barriers to be placed closer to the tree trunk. No attachments or wires other than those of a protective or nondamaging nature shall be attached to any tree. SCLDC 60.8(c)	Info Only
10.	Natural Resources	Protective barriers shall consist of three (3) foot tall temporary fencing with posts spaced six (6) feet apart and linked together with brightly colored net fence fabric. SCLDC 60.8(d)	Info Only
11.	Natural Resources	Replacement of non-specimen trees shall be based on a one-to-one ratio of the cumulative DBH of the trees to be removed to the cumulative caliper of the trees to be installed. Specimen trees shall be replaced on a two-to-one ratio of the cumulative caliper of the trees to be installed to the cumulative DBH of the trees removed. SCLDC 60.9(d)(1)	Info Only
12.	Natural Resources	Canopy trees used for replacement shall be a minimum of ten (10) feet in height and have a caliper no less than three (3) inches. SCLDC 60.9(d)(3)	Info Only
13.	Natural Resources	Understory trees shall not make up more than twenty-five (25) percent of the total number of trees planted to meet the required replacement for the site. Understory trees used for replacement shall be a minimum of four (4) feet in height and have a caliper no less than one and a half inches. SCLDC 60.9(d)(4)	Info Only
14.	Natural Resources	Palm trees listed in the recommended stock may be used as replacement trees with the following ratio: one (1) inch of palm caliper = 0.33 inches of canopy or understory tree. Palm trees may not account for more than twenty (20) percent of the required replacement trees. SCLDC 60.9(d)(5)	Info Only
15.	Natural Resources	In the case of any development which requires site plan approval by the Planning and Zoning Commission, the Board of County Commissioners, or	Info Only

		both; permits for removal, relocation or replacement of trees covered under this Chapter 60 shall be obtained by making application at the time of site plan submittal. SCLDC 60.10(a)(2)	
16.	Natural Resources	Each application for a permit to remove, relocate or replace trees covered under this Chapter 60 must be accompanied by a written statement indicating the reasons for removal, relocation or replacement of trees. SCLDC 60.10(d)	Info Only
17.	Natural Resources	The review may include, but need not be limited to, a field check of the site and referral of the application for recommendations to other appropriate administrative departments or agencies. SCLDC 60.10(d)	Info Only
18.	Natural Resources	Trees less than six (6) inches DBH and palm trees are exempt from arbor regulations. SCLDC 60.4(h)	Info Only
19.	Planning and Development	County staff has reviewed the subject project based on the information you have provided to us and have compiled the following information for your use. Please be advised, these comments are intended to assist you in finding information that will enable you to prepare for your plan review. They are not intended to replace or exempt you from the applicable Codes and Ordinances as they pertain to your project. These comments are informational only and do not grant any approvals. Also be advised, from time to time Codes and Ordinances are amended and the comments provided only reflect the regulations in effect at the time of review. Seminole County Land Development Code: http://www.seminolecountyfl.gov/guide/codes.asp Seminole County Planning & Development: http://www.seminolecountyfl.gov/gm/	Info Only
20.	Planning and Development	The subject property is within the ETOR Planned Development Zoning district and shall be developed in accordance with the approved PD Development Order and Developer's Commitment Agreement.	Info Only
21.	Planning and Development	The setbacks for the ETOR Planned Development (PD) are: Twenty-five (25) feet facing Lake Mary Blvd and Greenway Blvd Front Yard, Ten (10) foot Rear yard, Zero (0) Side Yard.	Info Only
22.	Planning and Development	The proposed site is subject to Site Plan Review Process: SCLDC Chapter 40. Information can be found at: https://library.municode.com/fl/seminole_county/code_s/land_development_code?nodeId=SECOLADECO_CH40SIPLAP	Info Only
23.	Planning and Development	The subject property is within the Lake Mary Blvd. Gateway Corridor and must comply with the	Info Only

		Seminole County Land Development Code Sec. 30.10.3.	
24.	Planning and Development	At the time of Site Plan review the Plan must demonstrate compliance with the Seminole County Land Development Code for the number of parking spaces required and the parking stall size.	Info Only
25.	Planning and Development	Based on Table 11.3-The minimum parking requirements for General Business/ Retail/Office (including shopping center) are First 10,000 sq. ft. 4 spaces / 1,000 sq. ft., Above 10,000 sq. ft. 3 spaces / 1,000 sq. ft.	Info Only
26.	Planning and Development	The Applicant will be required at the time of Site Plan review to comply with Sec. 30.11.5.8 of the Seminole County Land Development Code.	Info Only
27.	Public Safety - Fire Marshal	Fire department access road shall have an unobstructed width of not less than 20 ft in accordance with the specifications of NFPA 1, Section 18.2.3.5.1.1	Info Only
28.	Public Safety - Fire Marshal	Aside from the site plan, a separate building permit and review shall be required for the actual installation of the EV chargers.	Info Only
29.	Public Works - Engineering	Based on the FEMA FIRM Map the site is not located in the floodplain. The site is located in Zone X - Area of Minimal Flood Hazard. There is no wetlands designated area on the site.	Info Only
30.	Public Works - Engineering	The existing Planned Development has a Master Stormwater Management System. It appears that the proposed parking modification/redevelopment does not consist of additional impervious area. If a new impervious area is proposed with the submittal of the Engineering Plans, the applicant will need to demonstrate that the existing Stormwater Management System has sufficient capacity to accommodate the newly proposed impervious area. If the permitted system does not have sufficient capacity, the new generated runoff from the site will need to be adequately treated per the Seminole County and SJRWMD standards, which will require detailed Drainage Plans and Drainage Analysis.	Info Only
31.	Public Works - Engineering	Any modification to the existing paved surface must be in compliance with the latest Americans with Disabilities Act (ADA) Standards.	Info Only

AGENCY/DEPARTMENT EFORM COMMENTS AND PROJECT STATUS

This section shows the reviewers of this project from the various County agencies. It may also include additional comments for review and response.

DEPARTMENT	STATUS	REVIEWER
Planning and Development	Review Complete	Annie Sillaway 407-665-7936 asillaway@seminolecountyfl.gov
Public Works - Impact Analysis	No Review Required	William Wharton 407-665-5730 wwharton@seminolecountyfl.gov
Public Works - Engineering	Review Complete	Vladimir Simonovski 407-665-5762 vsimonovski@seminolecountyfl.gov
Public Safety - Fire Marshal	Review Complete	Matthew Maywald 407-665-5177 mmaywald@seminolecountyfl.gov
Environmental - Impact Analysis	No Review Required	Becky Noggle 407-665-2143 bnoggle@seminolecountyfl.gov
Environmental Services	Review Complete	James Van Alstine 407-665-2014 jvanalstine@seminolecountyfl.gov
Natural Resources	Review Complete	Sarah Harttung 407-665-7391 sharttung@seminolecountyfl.gov
Comprehensive Planning	No Review Required	Maya Athanas 407-665-7388 mathanas@seminolecountyfl.gov
Buffers and CPTED	Review Complete	Maya Athanas
Building Division	Review Complete	Tony Coleman 407-665-7581 acoleman@seminolecountyfl.gov

RESOURCE INFORMATION

Seminole County Land Development Code:

<http://www.seminolecountyfl.gov/departments-services/development-services/planning-development/codes-regulations/>

Seminole County Comprehensive Plan:

<http://www.seminolecountyfl.gov/departments-services/development-services/planning-development/codes-regulations/comprehensive-plan/index.stml>

Development Services:

<http://www.seminolecountyfl.gov/departments-services/development-services/>

Wekiva Consistency form:

<http://www.seminolecountyfl.gov/core/fileparse.php/3207/urlt/WekivaConReview.pdf>

Seminole County Property Appraiser Maps:

<http://www.scpafl.org>

Seminole County Wetland Information:

<http://www.seminolecountyfl.gov/departments-services/development-services/planning-development/forms-applications-resources/wetl-dock-information.stml>

FEMA LOMR (Letter of Map Revision):

www.fema.gov

Cities:		
Altamonte Springs		(407) 571-8150 www.altamonte.org
Casselberry		(407) 262-7751 www.casselberry.org
Lake Mary		(407) 585-1369 www.lakemaryfl.com
Longwood		(407) 260-3462 www.longwoodfl.org
Oviedo		(407) 971-5775 www.cityofoviedo.net
Sanford		(407) 688-5140 www.sanfordfl.gov
Winter Springs		(407) 327-5963 www.winterspringsfl.org
Other Agencies:		
Florida Dept of Transportation	FDOT	www.dot.state.fl.us
Florida Dept of Enviro Protection	FDEP	(407) 897-4100 www.dep.state.fl.us
St. Johns River Water Mgmt Dist	SJRWMD	(407) 659-4800 www.sjrwmd.com
Health Department	Septic	(407) 665-3621
Other Resources:		
Flood Prone Areas		www.seminolecountyfl.gov/gm/building/flood/index.aspx
Watershed Atlas		www.seminole.wateratlas.usf.edu
Seminole Co. Property Appraiser		www.scpafl.org