

ORDINANCE NO. 2026-____

SEMINOLE COUNTY, FLORIDA

2 AN ORDINANCE OF THE BOARD OF COUNTY COMMISSIONERS OF
3 SEMINOLE COUNTY, FLORIDA, AMENDING THE LAND
4 DEVELOPMENT CODE OF SEMINOLE COUNTY IN THE FOLLOWING
5 MANNER: CHAPTER 2 (DEFINITIONS), SECTION 2.3, TO ADD AND
6 AMEND DEFINITIONS; CHAPTER 5 (ADMINISTRATION) TO AMEND
7 AND UPDATE SECTION 5.19 (ADMINISTRATIVE ADJUSTMENTS) AND
8 SECTION 5.20 (ENGINEERING MANUALS); CHAPTER 20
9 (DEVELOPMENT ORDERS/APPROVALS AND DENIALS OF
10 APPLICATION FOR DEVELOPMENT APPROVALS) TO ADD SECTION
11 20.13 (ENFORCEMENT); CHAPTER 30 (ZONING REGULATIONS) PART
12 2 (ESTABLISHMENT OF DISTRICTS) TO AMEND SECTION 30.2.6
13 (APPLICATION OF ZONING CLASSIFICATION REGULATIONS),
14 PART 3 (ADMINISTRATION) TO AMEND SECTION 30.3.1 (PLANNING
15 AND ZONING COMMISSION), TO ADD 30.3.1.6 (CONVENTIONAL
16 REZONING), TO AMEND SECTION 30.3.3 (BOARD OF ADJUSTMENT),
17 TO AMEND AND RENAME SECTION 30.3.10 (NONCONFORMITIES),
18 TO ADD SECTION 30.3.13 (NONCONFORMANCE DUE TO
19 GOVERNMENT TAKING OR VOLUNTARY DEDICATION), PART 4
20 (ZONING DISTRICT STANDARDS) TO DELETE, AMEND AND
21 REORGANIZE SECTION 30.4.8 (R-3 AND R-3A MULTIPLE-FAMILY
22 DWELLING DISTRICTS), TO AMEND SECTION 30.4.9, (R-4 MULTIPLE-
23 FAMILY DWELLING DISTRICT) AND SECTION 30.4.14 (OP OFFICE
24 DISTRICT), PART 5 (PERMITTED USES BY ZONING DISTRICT) TO
25 UPDATE SECTION 30.5.1 (GENERAL REQUIREMENTS) AND AMEND
26 TABLES IN SECTION 30.5.2 (PERMITTED USE TABLE AND
27 FOOTNOTES) AND SECTION 30.5.3 (USE CONSOLIDATION), PART 6
28 (ADDITIONAL USE STANDARDS) TO AMEND SECTION 30.6.1
29 (ACCESSORY BUILDING AND USES), SECTION 30.6.6 (ALCOHOLIC
30 BEVERAGE ESTABLISHMENTS) AND SECTION 30.6.7
31 (COMMUNICATION ANTENNAS/TOWERS), TO RENAME AND
32 AMEND SECTION 30.6.10 (COMMUNITY RESIDENTIAL HOMES,
33 ASSISTED LIVING FACILITIES, AND CERTIFIED RECOVERY
34 RESIDENCES), TO DELETE SECTION 30.6.12 (RESERVED), TO AMEND
35 SECTION 30.6.16 (VACATION RENTALS), TO ADD SECTION 30.6.20
36 (LIVE-WORK UNITS), PART 7 (DEVELOPMENT STANDARDS) TO
37 AMEND SECTION 30.7.2 (GENERAL STANDARDS) AND THE TABLE IN
38 SECTION 30.7.3 (DIMENSIONAL STANDARDS TABLE), PART 8
39 (SPECIAL ZONING DISTRICTS) TO AMEND SECTION 30.8.3 (MM
40 MISSING MIDDLE DISTRICT AND ALTERNATIVE STANDARDS) AND
41 TABLE 8.3-A, TO AMEND AND REORGANIZE SECTION 30.8.5 (PD
42 PLANNED DEVELOPMENT) AND RECODIFY SECTION 30.8.7 (UC
43 UNIVERSITY COMMUNITY DISTRICT), PART 9 (SUPPLEMENTAL
44 REGULATIONS) TO AMEND SECTION 30.9.5 (BOAT DOCK
REQUIREMENTS), TO RENUMBER SECTION 30.9.6 (DOGS IN PUBLIC

46 **FOOD ESTABLISHMENTS), TO AMEND AND RENUMBER SECTION**
48 **30.9.7 (ALTERNATIVE DENSITY OPTION FOR AFFORDABLE**
50 **HOUSING) AND ADD DENSITY STANDARDS TABLE, REMOVING**
52 **TABLE 1 AND TABLE 2, PART 10 (OVERLAY DISTRICTS) TO UPDATE**
54 **THE SCENIC CORRIDOR MAP IN SECTION 30.10.2 (SCENIC**
56 **CORRIDOR OVERLAY ZONING DISTRICTS), TO AMEND SECTION**
58 **30.10.3 (LAKE MARY BOULEVARD GATEWAY CORRIDOR OVERLAY**
60 **STANDARDS CLASSIFICATION), SECTION 30.10.8 (AIRPORTS),**
62 **SECTION 30.10.11 (CREATION OF STATE ROAD 46 GATEWAY**
64 **CORRIDOR OVERLAY STANDARDS ZONING**
66 **CLASSIFICATION/DESCRIPTION OF CORRIDOR AND PROPERTY**
68 **AFFECTED/APPLICABILITY), AND SECTION 30.10.12 (OXFORD**
70 **PLACE OVERLAY DISTRICT), TO ADD SECTION 30.10.14 (OVERLAY**
72 **AREAS OF THE URBAN CENTERS AND CORRIDORS OVERLAY) AND**
74 **CORE AREA OVERLAY MAP, PART 11 (PARKING AND LOADING**
76 **REGULATIONS) TO AMEND SECTION 30.11.4 (PARKING REDUCTION**
78 **AND EXCEPTIONS), TO DELETE SECTION 30.11.5 (ELECTRIC**
80 **VEHICLE READINESS), AND AMEND SECTION 30.11.7**
82 **(MISCELLANEOUS DESIGN STANDARDS); PART 13 (SIGN**
84 **REGULATIONS) TO AMEND AND RENUMBER SECTION 30.13.3 (SIGN**
86 **STANDARDS) AND SECTION 30.13.5 (PROHIBITED SIGNS), TO AMEND**
88 **SECTION 30.13.6 (NONCONFORMING SIGNS), AND TO RENAME AND**
90 **AMEND SECTION 30.13.16 (RP SIGNAGE REGULATIONS), PART 14**
(LANDSCAPING, SCREENING, BUFFERING, AND OPEN SPACE) TO
RENAME SECTION 30.14.1 (GENERAL PURPOSE AND WATER-
EFFICIENT LANDSCAPING CRITERIA), TO AMEND, RENUMBER,
AND REORGANIZE SECTION 30.14.2 (OPEN SPACE), TO RENAME,
RENUMBER, AMEND AND REORGANIZE SECTIONS 30.14.3
THROUGH 30.14.12 REGARDING BUFFERING REQUIREMENTS AND
STANDARDS, TO AMEND SECTION 30.14.15 (SCREENING), AND TO
AMEND SECTION 30.14.19 (FENCES); CHAPTER 35 (SUBDIVISION
REGULATIONS), PART 2 (PROCEDURES FOR SECURING APPROVAL
OF PLATS) TO AMEND SECTION 35.14 (REVIEW OF FINAL PLAT), TO
UPDATE SECTION 35.16 (HOME CONSTRUCTION PRIOR TO PLAT
RECORDING), PART 4 (REQUIRED SUBMITTALS), TO AMEND
SECTION 35.42 (REQUIRED SUBMITTALS FOR DEVELOPMENT
PLAN) AND SECTION 35.43 (REQUIRED SUBMITTALS FOR
PRELIMINARY PLAN), TO AMEND AND RENUMBER SECTION 35.44
(REQUIRED SUBMITTALS FOR FINAL PLAT), PART 6 (DESIGN
STANDARDS) TO UPDATE SECTION 35.61 (GENERAL) AND SECTION
35.72 (RURAL SUBDIVISION STANDARDS), TO ADD SECTION 35.73
(ALTERNATIVE DESIGN STANDARDS), AND TO RENUMBER
SECTIONS 35.74-35.80 (RESERVED), PART 13 (RECORDING OF FINAL
PLAT) TO UPDATE SECTION 35.151 (RECORDING FINAL PLAT), TO
AMEND AND RENAME SECTION 35.152 (NO RECORDATION IF NOT
APPROVED BY THE DEVELOPMENT SERVICES DIRECTOR OR

92 **DESIGNEE), PART 18 (ENFORCEMENT PROVISIONS) TO UPDATE**
94 **SECTION 35.201 (GENERAL) AND SECTION 35.202 (REQUIRED**
96 **IMPROVEMENTS); CHAPTER 70 (DREDGE AND FILLING) TO AMEND**
98 **AND UPDATE SECTION 70.6 (PERMIT APPLICATION; PROCEDURES)**
100 **AND SECTION 70.10 (GENERAL REGULATIONS); CHAPTER 90**
102 **(UNIFORM BUILDING NUMBERING SYSTEM), TO AMEND AND**
104 **UPDATE SECTION 90.4 (ADMINISTRATION OF THE UNIFORM**
ADDRESSING SYSTEM), SECTION 90.5 (BUILDING AND UNIT
NUMBERING), AND SECTION 90.10 (SUBDIVISION, PLAZA AND
BUILDING NAMES); PROVIDING FOR CONFLICTS; PROVIDING FOR
CODIFICATION IN THE LAND DEVELOPMENT CODE OF SEMINOLE
COUNTY; PROVIDING FOR SEVERABILITY; AND PROVIDING FOR
AN EFFECTIVE DATE.

WHEREAS, Chapter 163, Part II, of Florida Statutes, entitled Local Government
106 Comprehensive Planning and Land Development Regulations Act (“Act”), empowers and requires
the Board of County Commissioners of Seminole County (“the Board”) to plan for the County’s
108 future development and growth and to adopt and amend its Land Development Code, or elements
of portions thereof, to guide this growth and development; and

110 **WHEREAS**, the Seminole County Local Planning Agency held a public hearing, with all
required public notice on May 6, 2026, for the purpose of providing recommendations to the Board
112 of County Commissioners on this Ordinance to amend the Land Development Code, and
recommend that the Board adopt this Ordinance; and

114 **WHEREAS**, the Board has a goal of continually updating the Land Development Code to
promote consistency with the latest state and federal laws and streamlining and updating the
116 regulations contained therein to ensure the County is implementing best practices for land
development in Florida; and

118 **WHEREAS**, the Board desires to maintain the quality of life for Seminole County
residents by providing for housing needs, safeguarding environmental resources, protecting
120 existing neighborhoods and natural amenities; and

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* * *

Architecturally compatible: The aesthetic similarity between structures, in terms of design

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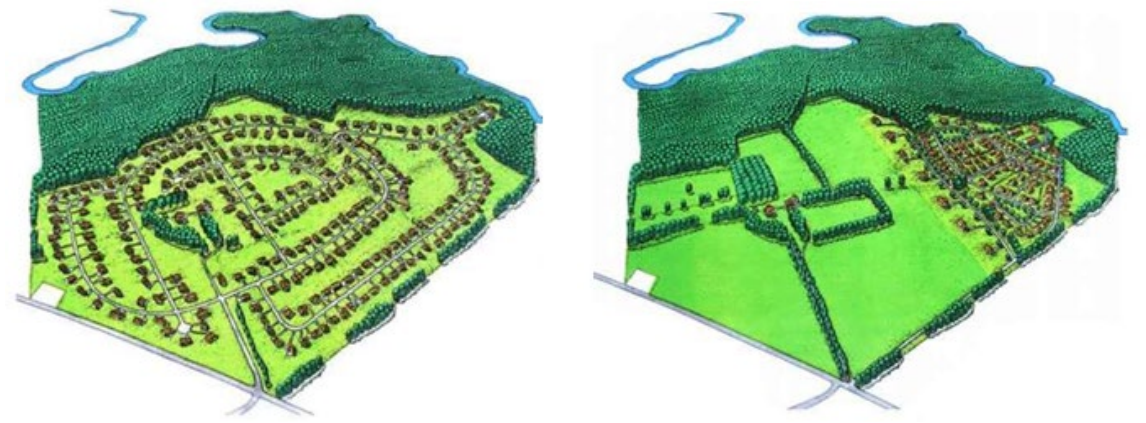
elements such as, color, façade appearance, roofing material, or decorative features.

* * *

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Cluster subdivision: A form of development that permits a reduction in lot area and bulk requirements, provided there is no increase in the number of lots permitted under a conventional subdivision or increase in the overall density of development, and the remaining land area is devoted to open space, active recreation, preservation of environmentally sensitive areas, stands of trees, open fields, or agriculture. Cluster subdivision design must be an improvement over conventional subdivision design practice by including an improved streetscape, homes oriented to create a sense of community, and a reduction in road pavement and utility line length. A cluster subdivision must provide intervening common useable open space, passive or active parks, or conservation land between modules or clusters of homes. The example below shows a traditional subdivision on the left, and a cluster subdivision on the right (Randall Arendt, *Conservation Design for Subdivisions*, 1996).

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162 ~~**Community residential homes.** As defined in section 419.001(1)(a), Florida Statutes
(2001), as this statute may be amended from time to time.~~

* * *

164 ~~**Dwelling unit, accessory:** An ancillary or secondary living unit that has a separate kitchen,
bathroom, and sleeping area existing either within the same structure, or the same lot, as the
166 primary dwelling unit (Florida Statutes Section 163.31771). A dwelling unit, subordinate in size
to the principal dwelling unit, which is attached to a principal unit or located on the same lot, and
168 having an independent means of entry. Except as provided in Section 5.19(b), an accessory
dwelling unit shall not exceed thirty five (35) percent of the gross floor area of the principal
170 dwelling unit, or 1,000 square feet, whichever is less. There shall be a maximum of one (1)
accessory dwelling unit per single family lot or parcel.~~

172 * * *



~~**Florida Water Star:** A certification program for homes and commercial buildings that use
174 less water in landscapes, irrigation systems and indoors.~~

* * *

176 ~~**Live-work unit:** See Missing Middle Standards. A dwelling unit which includes a
nonresidential use that is operated by the occupant and is consistent with the definition in the
178 Florida Building Code for the same.~~

~~**Living Area:** The total sum of square footage within a dwelling unit utilized for living,
180 sleeping, eating, cooking, bathing, washing and sanitation purposes.~~

* * *

182 ~~**Lot, double-frontage:** A lot having two (2) or more of its nonadjoining property lines
abutting upon a street or streets, or ingress-egress easement. Lots having frontage on a natural~~

184 ~~water body, but not a canal or stormwater retention pond, shall be considered to be double frontage~~
~~lots.~~ A lot adjacent to an alley shall not be a double-frontage lot.

186 * * *

Multi-family: Residential development including apartment dwellings, ~~dormitories,~~ and
188 rooming apartments.

* * *

190 **Nominal roof overhang:** The part of the roof or wall that extends beyond a lower wall. For
purposes of applying to property setbacks, the distance of a roof overhang into a property setback
192 shall not exceed ~~eighteen (18)~~ twenty-four (24) inches.

* * *

194 **Signs:** Any surface, fabric, device, or display which bears letters, pictorial or sculptured
matter, including forms shaped to resemble any human, animal, or product designed to convey
196 information visually and which is exposed to public view. For purposes of this Code, the term
"sign" shall include all structural members. A sign shall be construed to be a display surface or
198 device containing organized and related elements composed to form a single unit. In cases where
matter is displayed in random or unconnected manner without organized relationship of the
200 components, each component shall be considered to be a single sign. Included within the definition
of sign are the following types of signs:

202 **(a) Awning Sign:** a sign consisting of information painted on, sewn on, imprinted on,
or attached to the surface of an awning.

204 **(b) Blade Sign:** a sign affixed to a building which projects in such a manner that both
sides of the sign are visible.

206 (c) **Wall Sign:** A sign that is affixed to or directly supported by a building or structure,
designed to identify or advertise the occupant, business, service, or activity conducted within.

208 (d) **Canopy Sign:** a sign that is part of, or attached to, a canopy.

(e)(a) **Construction sign:** Any sign giving the name or names of principal contractors,
210 architects, engineers, and lending institutions responsible for construction on the site where the
sign is placed.

212 (f)(b) **Directory sign:** A sign on which the names and location of occupants, use of a
building, or parking and traffic direction is given and designed to be read primarily from on-site.

214 (g)(e) **Freestanding sign:** Any ~~mobile or portable~~ sign or sign structure ~~not~~ securely
attached to the ground ~~or to any other structure~~. This definition shall not include trailer signs.

216 (h)(d) **Ground and/or pole sign:** Any sign which is supported by structures or supports in
or upon the ground and independent of support from any building. Ground and/or pole signs are a
218 type of freestanding sign.



(i)(e) **Inflatable advertisement:** Any sign or object inflated or supported by wind, air, or
220 pneumatic non-combustible pressure.

(j)(f) **Motor vehicle sign:** A sign or advertising display mounted or painted on a motor
222 vehicle or truck trailer.

(k)(g) **Outdoor advertising sign:** Any sign advertising a business, organization, event,
224 person, place or thing, and is located on a separate parcel of land from the subject so advertised.
This definition includes billboards.

226 ~~(h) **Point-of-sale sign:** Any sign designed to be viewed from off the premises,~~
advertising or designating the use, occupancy of premises, or merchandise and products sold,

228 ~~manufactured or stored on the premises. Such signs shall be located on the premises to be~~
advised.

230 ~~(l)(f)~~ **Real estate sign:** Any sign which is used to offer, for sale, lease or, rent the property
upon which the sign is placed.

232 ~~(m)~~ **Shopping Center Sign:** A type of freestanding sign used to identify multiple
businesses located within a single development.

234 ~~(n)(f)~~ **Snipe sign:** Any sign of any material whatsoever that is attached in any way to a
utility pole, tree, or any object located or situated on public road rights-of-way.

236 ~~(o)(k)~~ **Subdivision sign:** Any sign which indicates the name of a subdivision, planned ~~unit~~
development or residential/agriculture project, and which is typically located onsite at an entrance
238 to the project or development. on the same property which is identified.

240 ~~(p)(4)~~ **Trailer sign:** Any sign mounted on a vehicle normally licensed by the State of
Florida as a trailer or such a sign engineered as a freestanding sign, transported to the site on a
trailer, and used for advertising or promotional purposes.

242 ~~(q)~~ **Wall Sign:** a sign erected on the wall of a building, or a sign which is affixed to or
painted on an exterior wall, subject to the maximum copy area requirements in Chapter 30 Part 13.

244 ~~(r)~~ **Wayfinding Sign:** A sign intended to provide directional information to help people
more easily and safely locate their intended destination.

246 ~~(s)~~ **Window Sign:** a sign graphic, or design which is painted, mounted, or otherwise
displayed within 3 feet of a window in a manner to present a message to or attract attention of the
248 public on adjoining streets, subject to the maximum area requirements in Chapter 30 Part 13.
Addresses, closed/open signs, hours of operation, credit card logos, real estate signs, and now
250 hiring signs shall not be considered window signs.

268 ~~DCA: Developer's Commitment Agreement.~~

*If administrative adjustment sought exceeds 10%, Development Review Committee
270 review shall be required and any adjustment greater than 10% but not exceeding 15% may be
awarded at the discretion of the Development Services Department Director.

272 ~~**Maximum adjustment without public hearing.~~

~~***In no case shall an accessory dwelling unit exceed 1,100 square feet.~~

274 (2) Developments receiving an administrative adjustment shall fully comply
with all other applicable provisions of this Code.

276 (3) Any proposed adjustment greater than the amount permitted in Paragraph
(b)(1) above shall be addressed through the variance and/or waiver provisions of this Code as may
278 be applicable to the development.

(4) Multiple administrative adjustments may be considered for a single
280 development proposal, but each adjustment must be evaluated independently and meet all criteria
provided in Paragraph (d) below.

282 (5) Nonconforming or unpermitted use of neighboring lands, structures, or
buildings in the same district shall not be considered grounds for an administrative adjustment.

284 (c) Review Procedure. The ~~Economic & Community~~ Development Services Director,
or designee, shall evaluate the administrative adjustment application according to the review
286 criteria in Section 5.19(d), and shall approve, approve with conditions, or deny the application. At
his or her discretion, the Director may refer any application for an administrative adjustment to the
288 Board of Adjustment or the Board of County Commissioners, as may be appropriate. In such cases,
the applicant shall follow standard processes in this Code for obtaining a variance, waiver, change
290 in zoning, etc.

(d) Review Criteria. All administrative adjustments shall meet the following criteria:

292 (1) The administrative adjustment will be consistent with the purposes and
intent of the Land Development Code.

294 (2) The administrative adjustment shall not result in activities not permitted
within the applicable zoning district, development order, developer’s commitment agreement
296 and/or activities inconsistent with the Comprehensive Plan.

(3) Special conditions or circumstances exist.

298 (4) The adjustment will not materially and adversely affect adjacent land uses
and the physical character of uses in the immediate vicinity of the proposed development because
300 of inadequate buffering, screening, setbacks and other land use considerations.

(5) No standard or regulation established by the State of Florida shall be
302 violated as a result of an administrative adjustment.

(6) No required separation of uses, such as the distance between a school and
304 an alcoholic beverage establishment, shall be varied as a result of an administrative adjustment.

(e) Expiration and Lapse of Approval. Applicants shall have twelve (12)
306 months from the date of approval of an administrative adjustment to secure the permit required to
carry out the proposed improvements authorized by the administrative adjustment. If a necessary
308 permit has not been obtained within twelve (12) months of the date of approval, the approval shall
lapse and be of no further effect. An administrative adjustment shall also expire should the
310 necessary permit expire.

Sec. 5.20. Engineering Manuals.

312 (a) The Public Works Department is authorized and directed to establish and maintain
the Seminole County, Florida Public Works Engineering Manual, which contains the technical

314 requirements for transportation standards and surface water management standards. The initial
edition of this Manual must be approved by the Board of County Commissioners before it goes
316 into effect. The Public Works Director or his or her designee is authorized to update the technical
requirements of this Manual as necessary with the approval of the Board of County
318 Commissioners, by following the policies and procedures which the Board may adopt from time
to time.

320 (b) The Utilities ~~Environmental Services~~ Department is authorized and directed to
establish and maintain the Seminole County, Florida ~~Environmental Services~~ Utilities Engineering
322 Manual, which contains the technical requirements for the matters stated in the title of this Manual.
The initial edition of this Manual must be approved by the Board of County Commissioners before
324 it goes into effect. The Utilities ~~Environmental Services~~ Director or his or her designee is
authorized to update the technical requirements of this Manual as necessary with the approval of
326 the Board of County Commissioners, by following the policies and procedures which the Board
may adopt from time to time.

328 (c) The Fire ~~Public Safety~~ Department is authorized and directed to establish and
maintain the Seminole County, Florida Fire Department ~~Public Safety~~ Technical Manual, which
330 contains the technical requirements for public and fire safety matters. The initial edition of this
Manual must be approved by the Board of County Commissioners before it goes into effect. The
332 Fire Chief ~~Public Safety Director~~ or his or her designee is authorized to update the technical
requirements of this Manual as necessary with the approval of the Board of County
334 Commissioners, by following the policies and procedures which the Board may adopt from time
to time.

336 * * *

338 **Section 6.** Chapter 20 (Development Orders/Approvals and Denials of Application for
Development Approvals) of the Land Development Code of Seminole County is hereby amended
to read as follows:

340 **Chapter 20 – DEVELOPMENT ORDERS/APPROVALS AND DENIALS OF**
APPLICATION FOR DEVELOPMENT APPROVALS

342 * * *

Sec. 20.13. Enforcement

344 Violation of a development order, or any condition contained therein, will be
enforced through the County’s code enforcement process in Chapter 53, Seminole County Code.

346 * * *

Section 7. Chapter 30 (Zoning Regulations) of the Land Development Code of Seminole
348 County is hereby amended to read as follows:



Chapter 30 – ZONING REGULATIONS

350 * * *

PART 2. ESTABLISHMENT OF DISTRICTS

352 * * *

Sec. 30.2.6. Application of zoning classification regulations.

354 * * *

356 30.2.6.6 Un-combining platted lots in the urban area. When platted lots that are vested have
been combined, they may only be un-combined to the original platted configuration if the
individual lots meet the subject zoning district requirements for lot size and width, unless all the
358 following criteria are met:

- 360 a. The properties are vested in accordance with the Comprehensive Plan Policy FLU
3.3 and Section 15.3 of the Land Development Code; and
- b. The subject parcel is in the urban area; and
- 362 c. ~~Fifty (50)~~ Ten (10) percent or more of the lots in the same platted subdivision have
the same character and are the size as originally platted; and
- 364 d. All existing structures on the subject property meet the setback requirements for
the subject zoning classification; and
- 366 e. The subject property is not limited in its development potential due to wetlands and
floodplains; and
- 368 f. The subject property has adequate access to a public right of way and roadway that
meets the County standard per Seminole County Public Works Manual Section 1.11.1; and
- 370 g. The subject property has adequate drainage per Seminole County Public Works
Manual Chapter 2.
- 372 h. Utility services are available, or the property is eligible for permits to install potable
water wells and onsite sewage treatment and disposal systems, per the following conditions:
- 374 1. Utility services are available from Seminole County in accordance with
Section 270.1 of the Seminole County Code of Ordinances or Section 381.0065(2)(a), Florida
376 Statutes, as applicable, or
- 378 2. Utility services are available from a city or other entity regulated by the
Public Services Commission, or
- 380 3. If the un-combined lots are unable to connect to any of the previously
mentioned regulated potable water distribution systems, the property must be eligible for a permit
for potable water wells with the St. Johns River Water Management District (SJRWMD) in

382 accordance with applicable SJRWMD provisions and eligible for onsite sewage treatment and
disposal systems (OSTDS) with the local Florida Department of Health location in accordance
384 with Section 381.0065(4), Florida Statutes, as applicable.

If the Planning Manager determines the subject property meets the criteria of Section
386 30.2.6.6(a)—(h), the property can be un-combined to the original platted configuration and no
variance would be required for minimum lot width and/or minimum lot size.

388 * * *

PART 3. ADMINISTRATION

390 **Sec. 30.3.1. Planning and Zoning Commission**

30.3.1.1 The Board of County Commissioners of Seminole County shall appoint a
392 commission of seven (7) qualified electors of Seminole County to be known as the Planning and
Zoning Commission. Said members shall be appointed for four (4) year terms and not more than
394 a minority of the terms of such members shall expire in any one (1) year.

30.3.1.2 The Board of County Commissioners may, from time to time, amend or
396 supplement the County's land development regulations and zoning classifications. Proposed
changes may be recommended by the Planning and Zoning Commission. Additionally, any owner
398 of affected property may make application for a change in the property's zoning classification on
a form prescribed by the ~~current planning office~~; Planning and Development Division; provided,
400 however, that the applicant shall assume all of the costs of any public hearings and all other costs
incidental to the holding of a public hearing and the application.

402 30.3.1.3 The Planning and Zoning Commission, regardless of the source of the proposal
for change, shall hold a public hearing or hearings thereon, with due public notice, to consider the

404 proposed change and submit in writing its recommendations on the proposed change to the Board
of County Commissioners for official action.

406 30.3.1.4 The Planning and Zoning Commission shall also constitute the County's land
planning agency in accordance with Chapter 7 and have the duties and responsibilities set forth
408 therein.

30.3.1.5 Special exceptions.

410 (a) The Planning and Zoning Commission shall hold a public hearing ~~or hearing~~ to
consider a proposed special exception, and submit in writing its recommendations ~~to approve,~~
412 approve with conditions, or deny the special exception request on the proposed action and if the
~~special exception should be denied or granted with appropriate conditions and safeguards~~ to the
414 Board of County Commissioners for official action. After review of an application and a public
hearing thereon, with due public notice, the Board of County Commissioner may allow uses for
416 which a special exception is required; provided, however, that said Board must first make a
determination that the use requested:

418 (1) Is not detrimental to the character of the area or neighborhood or
inconsistent with trends of development in the area; and

420 (2) Does not have an unduly adverse effect on existing traffic patterns,
movements and volumes; and

422 (3) Is consistent with the County's comprehensive plan; and

(4) Will not adversely affect the public interest; and

424 (5) Meets any special exception criteria described in Additional Use Standards;

and

426 (6) Meets the following additional requirements if located in the applicable
zone:

428 a. If located in A-10, A-5, A-3, or A-1:

~~i-1.~~ Is consistent with the general zoning plan of the rural zoning
430 classifications; and

~~ii-2.~~ Is not highly intensive in nature; and

432 ~~iii-3.~~ Is compatible with the concept of low-density rural land use;
and

434 ~~iv-4.~~ Has access to an adequate level of public services such as
sewer, water, police, fire, schools and related services.

436 b. If located in OP:

~~i-1.~~ Is consistent with the general zoning category and plan of
438 the OP Office District.

~~ii-2.~~ Is compatible with the concept of low intensity of land usage
440 and site coverage.

~~iii-3.~~ Has access (where applicable) to urban services, such as,
442 sewer water, police, fire, and related services.

~~iv-4.~~ Will not create, by reason of its characteristics, a
444 requirement for the granting of a variance as a prerequisite to the granting of said special exception,
especially (by way of illustration and not limitation) variances relating to setbacks, lot size,
446 building height, lot coverage, access, or parking and loading.

c. If located in RP:

448 ~~i.~~1. Is not detrimental to the character of the area or
neighborhood or inconsistent with the trends of development in the area; and

450 ~~ii.~~2. Is not incompatible with the concept of low intensity of land
usage and site coverage; and

452 ~~iii.~~3. Does not have an unduly adverse effect on existing traffic
patterns, movements, and intensity.

454 (b) Conditions on special exceptions. In granting any special exception, the Planning
and Zoning Commission may recommend and the Board of County Commissioners ~~may prescribe~~
456 require appropriate conditions and safeguards. Violation of such conditions and safeguards when
made a part of the terms under which the special exception is granted, shall be deemed a violation
458 of this Chapter. The Planning and Zoning Commission may recommend and the Board of County
Commissioners may ~~prescribe~~require, a reasonable time limit within which the action for which
460 the special exception is required shall be begun or completed, or both.

 (c) Application for special exception. An applicant for a special exception shall file
462 with the Planning & Development Division a written application accompanied by payment of the
appropriate fees, and a conceptual plan. The conceptual plan should include a simple development
464 plan drawn to an appropriate scale indicating the legal description, lot area, site dimensions, right-
of-way location and width, tentative parking areas and number of parking spaces, proposed
466 building location and setbacks from lot lines, total floor area proposed for building, proposed
points of access with tentative dimensions, locations of identification signs not on building,
468 proposed location of existing easements, location of existing trees on-site and their common name,
number of trees to be removed and retained as required by Seminole County Arbor Regulations,
470 and a general plan for proposed landscaping.

30.3.1.6 Conventional Rezoning.

472 (a) The Planning and Zoning Commission shall hold a public hearing to consider a
request for conventional rezoning pursuant to the criteria below, and submit its recommendation
474 of approval or denial, in writing, to the Board of County Commissioners for official action. After
review of the application request and public hearing, the Board of County Commissioners may
476 approve the request for rezoning provided that the Board determines the request:

(1) Complies and is consistent with the County’s comprehensive plan;

478 (2) Meets this Code and other applicable County regulations;

(3) Is compatible with existing and planned uses in the surrounding area;

480 (4) Will provide access sufficient to support the proposed development
intensity and the provision of public services;

482 (5) The expected impacts on transportation facilities will be addressed by
existing County regulations;



484 (6) Will not adversely affect environmentally critical or sensitive areas and
natural resources; and

486 (7) Has access to and will be served by an adequate level of public services
such as sewer, water, police, fire, schools and related services; and.

488 (8) Provides a benefit to the community by meeting Goals and Policies in the
Comprehensive Plan.

490 (b) Application for conventional rezoning request. An applicant for a rezoning shall
file, with the Planning & Development Division, a written application addressing the above
492 criteria, accompanied by payment of the appropriate fees, and a survey of the property completed
within two years of the date of submission of the application.

494 (c) Community Meeting. An applicant for a rezoning shall hold a Community Meeting
prior to the public hearing in accordance with Section 30.3.5 of the Land Development Code.

496 * * *

Sec. 30.3.3. Board of Adjustments

498 * * *

30.3.3.3 Appeal to the Board of Adjustment from decision of the Planning Manager.
500 Appeals to the Board of Adjustment may be ~~taken~~ brought by any person aggrieved ~~or by any~~
~~officer, Board, or bureau of the County affected~~ by any decision of the Planning Manager under
502 this Code. Such appeal shall be ~~taken~~ submitted within thirty (30) days ~~after such of the Planning~~
Manager's decision is made by filing ~~with the Planning Manager~~ a written notice of appeal with
504 the Planning Manager specifying the grounds and reasons for appeal. ~~thereof.~~ The appeal shall
~~also be in such form which provides a notice of the~~ include a copy of the decision being appealed
506 and a discussion of the alleged error in the decision. The Planning Manager shall, ~~upon notification~~
~~of the filing of the appeal, forthwith,~~ transmit to the Board of Adjustment the notice of appeal and
508 all documents, plans, papers, or other materials constituting the record of the Planning Manager's
decision, and have the appeal set for hearing before the Board of Adjustment. ~~upon which the~~
510 ~~action appealed from was taken.~~

30.3.3.4 Notice Required on Hearing of Appeal. The Board of Adjustment shall fix a
512 reasonable time for ~~the hearing of the appeal,~~ give public notice thereof, as well as ~~due~~ notice to
the parties in interest, and ~~decide same~~ the appeal within a reasonable time. ~~Upon~~ During the
514 hearing, any party may appear in person or by agent or by attorney. For procedural purposes, ~~an~~
~~application for a special exception and an appeal of a decision of the Planning Manager shall be~~
516 presented by the Planning Manager before the applicant or appellant makes a presentation.

30.3.3.5 Appeals from Board of Adjustment Decision. Any person, or persons, jointly or
518 severally, aggrieved by any decision of the Board of Adjustment may, within fifteen (15) days
after ~~the filing of any decision in the office of the Planning Division~~ rendition of the Board of
520 Adjustment’s decision, but not thereafter, ~~apply~~ submit a written notice of appeal to the Board of
County Commissioners for relief. The notice of appeal must be submitted to the Planning and
522 Development Division and include a copy of the Board of Adjustment Decision, state the grounds
and reasons for appeal, and ~~a discussion of~~ address the alleged error in the decision being appealed.
524 The Planning and Development Division will set the time and date of the hearing before the Board
of County Commissioners and provide notice to the parties in interest. The appeal before the Board
526 of County Commissioners shall be de novo. ~~The applicant for the special exception shall make the~~
~~initial presentation to the Board after County staff has advised the Board of the procedural history~~
528 ~~of the case.~~ At the hearing, the Board of County Commissioners shall affirm, reverse, or modify
the Board of Adjustment’s decision. Decisions shall be rendered by filing a copy of the order of
530 the Board of County Commissioners with the Clerk to the Board and any applicable development
orders or permits may be issued consistent with the Board’s decision. Upon the rendering of a
532 decision, any party may appeal to a court of competent jurisdiction.

30.3.3.6 Stay. An appeal to the Board of County Commissioners shall stay all further
534 proceedings in ~~furtherance of~~ the action appealed from, unless the Board of County
Commissioners determines, after considering evidence and testimony presented by County staff
536 and the appellant, that the stay would cause imminent peril to lives or property. ~~the officer from~~
~~whom the appeal is taken certifies to the Board of County Commissioners, after the notice of~~
538 ~~appeal shall have been filed with him, that by reason of acts stated in the certificate, a stay would,~~
~~in his opinion, cause imminent peril to lives or property. In such case, proceedings shall not be~~

540 ~~stayed otherwise than by a restraining order which may be granted by the Board of County~~
~~Commissioners or by a court of record on application, on notice to the officer or Board from which~~
542 ~~the appeal is taken, and on due cause shown. The Board of County Commissioners shall fix a~~
~~reasonable time for the hearing of the appeal, give public notice thereof, as well as due notice to~~
544 ~~the parties in interest, and decide the same within a reasonable time. Upon the rendering of a~~
~~decision, any party may appeal. Decisions shall be rendered by filing a copy of the order of the~~
546 ~~Board with the Clerk to the Board. Upon approval of a special exception or variance by the Board~~
~~or the Board making a ruling relative to the appeal of a decision made by the Planning Manager,~~
548 ~~any development orders or permits may be issued consistent with the Board's decision unless~~
~~stayed or enjoined by a court of competent jurisdiction.~~

550 * * *

Sec. 30.3.10. ~~Nonconforming uses.~~ Nonconformities.



552 30.3.10.1 In General.

(a) A nonconforming building may be maintained and repairs and alterations may be
554 made, except that, in a building which is nonconforming as to use regulations, no structural
alterations shall be made except those required by law. Repairs such as plumbing or the changing
556 of partitions or other interior alterations are permitted.

(b) Buildings or structures or uses of land which are nonconforming shall not be
558 extended or enlarged.

(c) When a nonconforming use of land has been discontinued for 180 days or longer,
560 its future use shall revert to the uses permitted in the district in which said land is located.

(d) A ~~nonconforming~~ building or structure operating a nonconforming use, which is
562 hereafter damaged or destroyed to the extent of fifty (50) percent or more of its value by flood,

564 tropical storm, hurricane, tornado, fire, explosion, earthquake, war, riot, or force majeure shall not
be reconstructed or restored for the same use except in compliance with all applicable provisions
of the Code.

566 30.3.10.2 Nonconforming mobile homes and lot sizes in Agricultural Zones.

(a) The following shall be exempt from the minimum lot requirements of this article:

568 (1) Any mobile home or recreational vehicle park within the A-10, A-5 or A-
3 Rural District which had received zoning approval prior to September 11, 1991 for the rental of
570 mobile home spaces shall be allowed to continue; provided, however, that such mobile home park
shall not be extended or enlarged beyond the limits of the originally approved master plan for
572 development.

(2) Construction on existing, legally created, lots or parcels of record platted or
574 recorded prior to September 11, 1991, which were legally buildable as of that date.

(b) Any mobile home park within the A-1 Agriculture District which has been legally
576 established as a special exception under ~~heretofore~~ existing A-1 Zoning Classification for the rental
of mobile home spaces shall be allowed to continue; however, said mobile home park shall not be
578 extended or enlarged beyond the limits of the originally approved master plan of development.

30.3.10.3 Nonconforming mobile homes and/or manufactured homes in A-1.

580 (a) All mobile ~~or manufactured~~ homes existing in the A-1 District prior to October 25,
2011, except for those authorized under Section 6.4.4, are hereby declared to be a nonconforming
582 ~~use~~ structure in accordance with Section 30.3.10. Any time limits enacted by the Board of
Adjustment as a condition of special exception approval shall be null and void unless specifically
584 related to protecting the health, safety, and welfare of the occupancy.

586 (b) Notwithstanding their nonconforming status, these mobile or manufactured homes shall fully comply with all applicable provisions of Chapter 40 of the Seminole County Code.

588 (c) Existing mobile or manufactured homes may be replaced with a manufactured home ~~of not greater than two (2) times the original floor area~~ without a special exception if the home has remained vacant for less than 180 days. If the home has been vacant for 180 days or
590 more, replacement of such home shall require a special exception. Larger units and other alterations exceeding the provisions of Section 3.10 shall also require a special exception.

592 (d) This Section shall not affect any mobile or manufactured home approved for temporary occupancy under Section 30.6.4.4.

594 30.3.10.4 Non-conforming lots and parcels. Where lots of record no longer meet current requirements due to surveying or other errors, if both the current records of the Seminole County
596 Property Appraiser and the original plat for the property indicate the area of the lot is a given size, then review of the proposed development shall occur as if the lot were actually the size shown in
598 both the appraiser's records and on the original plat.

When a residential unit on a nonconforming parcel that is zoned for residential or
600 agriculture, is destroyed by flood, tropical storm, hurricane, tornado, fire, explosion, earthquake, war, riot, or force majeure, the principal unit may be reconstructed. The reconstructed unit must
602 conform to the setbacks required by the underlying zoning district or receive a variance.

* * *

604 **Sec. 30.3.13. Nonconformance due to government taking or voluntary dedication.**

In any zoning district, should a governmental agency obtain a portion of a conforming lot
606 for a public purpose, either through eminent domain proceedings or voluntary conveyance, and a nonconforming lot results, the Development Services Director shall have the authority to waive,

608 in whole or in part, any requirements outlined herein for said lot with respect to minimum lot
width, minimum lot area and minimum building setbacks, parking requirements, landscape and
610 buffering, provided all other requirements of this Code are met.

PART 4. ZONING DISTRICT STANDARDS

612 * * *

Sec. 30.4.8. R-3 and R-3A Multiple-Family Dwelling Districts.

614 30.4.8.1 Zone Description: These Districts are composed of certain medium- to high-
density residential areas, plus open areas, where it is likely and desirable to extend such type of
616 development. Due to the higher-than-average concentration of persons and vehicles, these districts
are situated where they are well serviced by public and commercial services and have convenient
618 access to thoroughfares or collector streets.

30.4.8.2 Density regulations.



620 (a) Maximum density shall be set at time of zoning; however, in no case, shall the
density exceed:

622 (1) A maximum of thirteen (13) dwelling units per net buildable acre in the R-
3 Multi-Family Dwelling District; or

624 (2) A maximum of ten (10) dwelling units per net buildable acre in the R-3A
Multi-Family Dwelling District.

30.4.8.3 R-3, R3-A - General Provisions and Exceptions.

626 (a) ~~Development plan drawn to an appropriate scale indicating the legal description,~~
628 ~~lot area, site dimensions, right of way location and width, tentative parking areas and number of~~
~~parking spaces, proposed building location and setbacks from lot lines, total floor area proposed~~
630 ~~for building, proposed points of access with tentative dimensions, locations of identification signs~~

not on building, proposed location of existing easements, location of existing trees on site and their
632 common name, number of trees to be removed and retained as required by Seminole County Arbor
Regulations, and a general plan for proposed landscaping shall be submitted along with application
634 for rezoning. Any change in development plans must be resubmitted to the Planning and Zoning
Commission for recommendation and the Board of County Commissioners for approval prior to
636 issuance of any site plan approval.

~~(b)(a)~~ Accessory uses may be located at the edge of the complex to serve residents
638 provided that they are clearly subordinate and ancillary to the primary use. shall be permitted in
accordance with the Additional Use Standards of Part 6.

~~(c)~~ Personal services uses, designed primarily for the occupants of the complex, such
640 as, day care centers, beauty and barber shops, and health clubs, may be approved for the complex
at time of zoning approval. However, such uses shall be limited to complexes of one hundred (100)
642 or more units and shall not be permitted until fifty (50) percent or more of the dwelling units are
completed. Any uses other than those approved at the time of zoning approval, must be approved
644 by the Planning and Development Division Manager.

~~(d)(b)~~ Recreation and open space comprising no less than twenty-five (25) percent of the
646 gross acreage, exclusive of the perimeter buffer, shall be set aside for usable recreation and open
648 space.

~~(e)(c)~~ Within condominium projects, deed covenants shall be required to insure the
650 maintenance and upkeep of areas and facilities retained in common ownership in order to provide
a safe, healthful, and attractive living environment and to prevent the occurrence of blight and
652 deterioration of the individual units within the complex.

654 ~~(f)~~(d) Prior to the issuance of building permits, a complete site plan of the project shall
be submitted to the Planning and Development Division for approval. Detailed site plan shall
indicate: location of buildings, parking spaces, driveways, streets, service areas, walkways,
656 recreation facilities, open areas, any accessory uses located on-site, and landscaping.

~~(g)~~(e) Site and stormwater management plans shall be approved by the County Engineer
658 prior to the issuance of any building permits.

~~(h)~~(f) If covered storage for vehicles is provided, garage doors may not face a public right-
660 of-way

Sec. 30.4.9. R-4 Multiple-Family Dwelling District.

662 30.4.9.1 Zone Description: This District is composed of certain high-density residential
areas where it is desirable to permit other specific uses, including multiple-story apartments and
664 certain uses which are quasi-residential in character.

30.4.9.2 Building site area regulations. The maximum lot coverage for dwelling structures
666 shall be determined in accordance with the following schedule:

Building Heights	Maximum Lot Coverage
20 feet or less	30%
20.1 feet to 30 feet	28%
30.1 feet to 40 feet	26%
40.1 feet to 50 feet	24%
50.1 feet to 60 feet	22%

30.4.9.3 General provisions and exceptions.

668 (a) ~~Development plans shall be submitted along with application for rezoning. Any
change in development plans must be resubmitted to the Planning and Zoning Commission for
670 recommendation and to the Board of County Commissioners for approval, prior to issuance of any
site plan approval~~ Accessory uses shall be permitted in accordance with the Additional Use
672 Standards of Part 6.

674 (b) Site and stormwater management plans shall be approved by the County Engineer
prior to the issuance of any building permit.

676 (c) If covered and enclosed storage for vehicles is provided, garage doors may not be
visible from a public right-of-way

* * *

678 **Sec. 30.4.1. OP Office District.**

30.4.14.1 Zone Description: The intent of the OP Office District is to promote orderly and
680 logical development of land for offices and service activities, to discourage integration of
noncomplementary land uses that may interfere with the proper function of the District, and to
682 assure adequate design in order to maintain the integrity of existing or future nearby residential
areas. The ultimate site must provide a low intensity of land usage and site coverage to enable the
684 lot to retain a well-landscaped image so as to readily blend with nearby residential areas; buildings
are low profile. It is intended that a minimum number of points of ingress and egress be utilized in
686 order to reduce the traffic impact on adjacent streets and thus enhance traffic movement. The
District is most generally located on arterial or collector roadways.

688 Accessory uses shall be permitted in accordance with the Additional Use Standards of Part
6.

690 * * *

PART 5. PERMITTED USES BY ZONING DISTRICTS

692 **Sec. 30.5.1. General requirements.**

30.5.1.1 Table 5.2 specifies uses that are permitted, permitted on a limited basis, permitted
694 by special exception, or prohibited in each zoning district. Numbers in parentheses refer to
footnotes following the tables.

696 Uses may be subject to additional standards or restrictions based on the applicable zoning
district or as described in:

698 (a) Part 6. Additional Use Standards

(b) Part 9. Supplemental Regulations

700 30.5.1.2 Interpretation of Permitted Uses Table.

(a) Where permitted, uses are subject to all the provisions, conditions, and standards
702 of this Code.

(b) Unlisted Similar Use. If a use is not listed but is similar in nature and impact to a
704 permitted use within a zoning district, the Planning Manager may interpret the use as permitted.
The Planning Manager may refer to the North American Industry Classification System (NAICS)
706 for a use interpretation. The unlisted use is subject to any additional standards applicable to the
similar permitted use.



708 (c) Unlisted Dissimilar Use. If a use is not listed and cannot be interpreted as similar
in nature and impact to a permitted use, the use may only be permitted if submitted to the Planning
710 and Zoning Commission for recommendation and approved by the Board of County
Commissioners.

712 (d) Where any cell is blank, the use is prohibited.

(e) Where a use or structure is described as accessory, this means the nature of the use
714 is customarily incidental and subordinate to a primary use on the same lot or parcel. The accessory
use may only be operated in conjunction with the primary use. The primary use or structure must
716 be established first.

(f) P - Permitted Uses: Indicates the specific use is permitted in the specific zoning
718 district.

(g) L - Limited Uses: Certain uses may be allowed when meeting specified conditions,
720 and after review by the Planning Manager, subject to the terms and conditions contained herein.
The Planning Manager may impose additional conditions and limitations in furtherance of the
722 public health, safety, and welfare.

(h) S - Special Exception: The Board of County Commissioners may permit uses
724 designated as Special Exception within a given zoning district upon making the findings of fact
required by Section ~~30.3.3.1.5~~30.3.1.5 of this Code; providing, however, such uses may be
726 subjected to or limited by conditions of the Board



Sec. 30.5.2. Permitted use table and footnotes.

Table 5.2 — Land Use Table																														
Use	A-10, A-5,	A-1	RC-1	R-1AAA	R-1A	R-1	R-1B	R-1BB	R-2	R-3A	R-3	R-4	R-AH	MM	RM-1	RM-2	RM-3	PLI	RP	OP	CN	CS	C-1	C-2	C-3	MUC D	M-1A	M-1	M-2	
Residential and Lodging Uses																														
Assisted living facility (1-6 unrelated persons)	P	P-S	P S ⁴	P-S ⁴	P S ⁴	P S ⁴	P S ⁴	P S ⁴	P S ⁴	S	S	S	P	S	P S ⁴	P S ⁴			P	S			P ¹³	P ¹³		S				
Assisted living facility (7-14 unrelated persons)	S ⁴	S ⁴	S ⁴	S ⁴	S ⁴	S ⁴	S ⁴	S ⁴	S ⁴	P ⁴	P ⁴	P ⁴	S ⁴	S ⁴						S ⁴			P ¹³	P ¹³		P ⁴				
Bed and breakfast	S	S																						P	P	P				
Boarding house / Dormitories										S	S	S														S				
Campground / RV Park																	P													
Community residential home/ certified recovery residences (1—6 unrelated persons)	L P	L P	L P	L P	L P	L P	L P	L P	L P		L P		L P	L P	L P	L P	L P									P				
Community residential home/ certified recovery residences (7—14 unrelated persons)	S ⁴	S ⁴	S ⁴	S ⁴	S ⁴	S ⁴	S ⁴	S ⁴	S ⁴	L P ⁴	L P ⁴	L P ⁴	L S ⁴	L S ⁴						P						L P ⁴				
Dwelling, multiple-family										P	P	P	L	L									P ¹³	P ¹³		P				
Dwelling, two-family or duplex									P	P	P		P	L																
Dwelling, single-family	P	P	P	P	P	P	P	P	P				P	L	P					P										
Dwelling unit, accessory	P	P	P	P	P	P	P	P																						
Guest cottage	P	P	P	S	S	S	S	S	S																					
Dwelling unit, accessory for employee																	L				S		S	S	S	P	P	S		
Farmworker housing	S	S																												
Hotels & motels (exc. Bed & breakfast)																P								P	P			P	P	
Home Occupation	P	P	P			P	P	P	P																					
Home Office	P	P		P	P	P	P	P	P				P																	
Live-Work Unit														L												P				
Mobile homes or manufactured homes	P	L													P	P	P													
Transient parking of recreational vehicles, campers, etc.	L	L															P													
Public and Civic Uses																														
Airport, public																														
Cemetery or mausoleum	S	S																												
Child-care facilities																														
Family Day Care Home	P	P	P	P	P	P	P	P	P	P	P	P	P	P	P	P	P									P				
Day Care Center		S				S	S	S	S				S	S	S						P		P	P	P	P		P	P	
Civic Assembly																														
Neighborhood	S	L	S	S	S	S	S	S	S	S	S	S	S	S	S	S	S		L	P	S	S	P	P	P	P	L	P	P	
Community	S	S	S	S	S	S	S	S	S	S	S	S	S	S	S	S	S		S	P	S	S	L	L	P	P	L	L	L	
Regional																							S	S	L					
Fire Stations																					P		P	P	P	P				
Libraries																					P		P	P	P	P				
Medical facilities																														
Hospital		S										S											S ¹⁷		S	S	S	S		P
Clinic, Medical or Dental																				S	P	P	P	P	P	P	P	P	P	
Retail Pharmacy																							P	P	P	P	L ²⁷	P	P	
Pain management clinic																									P		P	P		
Residential facility, nursing home or rehabilitation center												S											S ¹⁷		S	S	S	S		P
Recreational Facilities, Private		P ⁷		S ¹⁰	S ¹⁰	S ¹⁰	S ¹⁰	S ¹⁰	S ¹⁰	S ¹⁰	S ¹⁰	S ¹⁰			S ¹⁰	S ¹⁰	S ¹⁰							P	P	P	S	S		
Recreational Facilities, Public																														

Sewage treatment and related facilities, public		S																P ¹¹	P														
Sewage and/or water treatment plant, subdivision				S	S	S	S	S	S							S				S													
Solid waste transfer, storage and recovery station																				<u>S</u>							S	S					
Solar Energy Systems (ES)																																	
Roof-Mounted Solar	P	P	P	P	P	P	P	P	P	P	P	P	P	P	P	P	P	P	P	P	P	P	P	P	P	P	P	P	P				
Building-Integrated Solar	P	P	P	P	P	P	P	P	P	P	P	P	P	P	P	P	P	P	P	P	P	P	P	P	P	P	P	P	P				
Ground-Mounted Solar, Accessory	P	P	P	P	P	P	P	P	P	P	P	P	P	P	P	P	P	P	P	P	P	P	P	P	P	P	P	P	P				
Ground-Mounted Solar, Medium	P	P																		P		S			S	S	S		P	P	P		
Ground-Mounted Solar, Large	P	P																		P							S	S	S				
Temporary asphalt plants for public road construction		S																		<u>P</u>													
Truck Terminal																											P	P	P				
Utility and service structures, public	S	S	S	S	S	S	S	S	S											P	P		S			S	S	S	S	P ²⁰	P	P	
Water treatment plant		S																		P ¹¹	P												
Agricultural and Other Uses																																	
Agriculture uses generally	P ²	P ²																															
Commercial Pig Farm		S																															
Poultry and livestock production (except pigs)	P ²	P ²																															
Fishing hatcheries or fish pools	P	P																															
Equestrian Facilities																																	
Keeping of horses for use of occupant	P	P	S																														
Riding stables limited to 10 lessons and/or customers per day	P	S ⁹																															
Riding stables exceeding 10 lessons and/or customers per day	S																																
Nurseries, Greenhouses, and Silviculture																																	
Landscape contractor accessory to wholesale nursery or tree farm	P	S																															
Greenhouses — Wholesale Only	P ⁶	P ⁶																															
Plant nursery — Wholesale Only	P ⁶	P ⁶																									P	P	P				
Plant nursery — Retail																											P	P	P				
Plant nursery — On-site produce Only	L	L																															
Tree Farm	P	P																															

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P — Permitted
 L — Limited Uses
 S — Special Exceptions

Footnotes to Table 5.2:

- No overnight boarding except for animals being treated on the premises
- Agricultural operations and attendant structures; greenhouses (not involved with retail sales to the general public); including, but not limited to, poultry production, apiculture, dairy farms, plant nurseries, dairies, silviculture (including fish hatcheries and bait production); groves and farms for the cultivation and propagation of citrus, vegetables, fruits, berries, nuts, grass sod and trees; pastures and grasslands for cultivation and propagation of livestock. Barns, sheds, silos, granaries, and related agricultural structures.
- Roadside stands for the sale of fruits, vegetables and similar products produced on the premises, provided such stand is placed no closer than twenty-five (25) feet to a property line.
- Community residential homes having seven (7) to fourteen (14) unrelated residents, provided that the location does not create an over-concentration of such homes or substantially alter the nature and character of the area, all as defined in Florida Statutes as amended from time to time.
- When making use of the land with nominal impacts to natural resources as determined by the Planning Manager.
- Plant nurseries and greenhouses not involved with retail sales to the general public.
- Neighborhood recreation areas, when approved as part of a subdivision plat.
- Privately owned and operated recreational facilities open to the paying public, such as, athletic fields, stadiums, racetracks, and speedways if the use is located along a major roadway or has immediate accessibility thereto.
- Riding stables, provided that no structure housing animals is located nearer than one hundred (100) feet from a property line.
- Private recreational facilities constructed as an accessory use to civic, fraternal, or social organizations if the existing use is located in a predominantly residential area as determined by the Planning Manager.

- 748 11. Where no other such facilities are available. Must be located within the park and not closer than two hundred (200) feet from any property line. All such facilities shall conform to State and County water and sewer plant regulations and shall be enclosed
- 749 with a six (6) foot chain-link fence and shielded by screen planting.
- 750 12. Parking of semi-tractor trailers and cargo trailer boxes in rural areas for the sale of feed, hay, or other agricultural products when such products are offered for retail sale from said trailer and when the trailer is located outside of the urban/rural boundary.
- 751 13. Density and design criteria must conform to the standards for properties assigned the R-3 zoning classification.
- 752 14. Dry cleaners utilizing a Perman R308 dry cleaning machine or machine, found to be similar in nature by the Planning Manager, which provide dry cleaning services to only those customers bringing clothing and other materials to the site for service;
- 753 provided, however, that this provision shall not apply to dry cleaning businesses with pick-up service or satellite facilities or to a dry cleaning plant.
- 754 15. Communication towers when monopole in design if the tower is under one hundred forty (140) feet in height. Communication towers when monopole in design if the tower is over one hundred forty (140) feet in height may be permitted by Special
- 755 Exception.
- 756 16. Private vocational, business, and professional schools which do not have an industrial character. Location on a roadway having a right-of-way width of not less than eighty (80) feet shall be required.
- 757 17. Location on a roadway having a right-of-way width of not less than eighty (80) feet shall be required.
- 758 18. Only nonflammable solvents shall be used. (Class IV National Fire Protective Association Code.)
- 759 19. Reserved.
- 760 20. Provided, however, no sewer plant shall be located closer than two hundred (200) feet to the perimeter of the district nor shall any other utility plant, station, or distribution office be located closer than one hundred (100) feet to the perimeter of the district.
- 761 21. Reserved.
- 762 22. Outside storage of parts, supplies or materials shall be permitted only in an enclosed or fenced area.
- 763 23. Wholesale storage of gasoline, liquefied petroleum, gas, oil, or other inflammable liquids or gases, provided they meet the regulations of N.F.P.A. and the Seminole County Building Code and, further, that all overhead storage tanks are diked.
- 764 24. A service store, with living quarters, if desired, to provide groceries, bottle gas, a snack bar, and supplies for occupants of the park.
- 765 25. Recreational facilities, such as, golf courses, swimming pools, tennis courts, marinas, etc. Petroleum products may be sold in marina areas only for marina use.
- 766 26. Using only electrically fired forges
- 767 27. Retail sales if ancillary to a use permitted by this section. For purposes of this subsection, "ancillary" shall mean supplementary, or secondary, not of primary importance.
- 768 28. Subject to landscaping and screening requirements of the MUCD district.
- 769 29. No cremation.

Sec. 30.5.3. Use consolidation.

- 772 (a) Detailed use categories have been consolidated as described in the Use Consolidation Table.
- 773 (b) See table below.



Use Consolidation Table
Civic Assembly, not for profit
Community centers
Meeting halls
Places of worship, houses of worship, religious institutions
Recreation centers
Indoor recreation
Bowling Alley
Museum
Historical and cultural exhibits
Dance and music studios
Indoor Private Assembly and Entertainment
Arenas
Theaters
Cinemas
Banquet halls
Office uses
Architects
Attorneys
Engineering
Finance offices (accounting, auditing, bookkeeping)
Insurance
Medical and dental

Office showroom
Real estate
Telephone business offices and exchanges
Retail sales and services, light
Book, stationery, and newsstands
Candy Stores
Florist and gift shops
Hobby and craft shops
Interior decorating and draperies
Jewelry stores
Locksmiths
Luggage shops
Pharmacies
Sporting goods
Tobacco shops
Toy stores
Wearing apparel shoes
Personal Services
Barber and beauty shops
Shoe repair
Tailoring shops
Watch and clock repair
Retail sales / service uses (general)
Appliance stores
Bakeries
Pet stores
Employment agencies
Furniture stores
Hardware stores
Quick print shops
Light industrial uses (exc. Water treatment plant)
Bottling and distribution plants
Cold storage and frozen foodlockers
Data processing services
Laundry and dry cleaning
Machine shops
Assembling of metal, plastic or cardboard containers
Testing of materials, equipment and products
Cabinetry and woodworking shops
Manufacturing, Light
Garments
Photographic equipment and supplies
Bakery products
Boats
Ceramics, pottery (using electrically fired kilns)
Chemical products and processing
Dairy products
Electrical machinery and equipment
Furniture
Glass and glass products (using electrically fired kilns)
Pharmaceutical products



Shoes and leather goods (exp leather processing)
Brooms and brushes
Candy and confectionaries
Cosmetics and toiletries (exp soap)
Candles
Jewelry
Optical equipment
Perfume
Precision instruments and machinery
Plastic products (exp pyroxylin)
Silverware
Spices and spice packing
Stationary
Toys
Electronic equipment and assembling
Assembling of metal, plastic or cardboard containers
Outdoor recreation uses, extensive
Country Club
Golf Course
Golf Driving Range
Gun club
Fishing club or camp
Marina
Outdoor recreation uses, intensive
Swimming pools
Sports courts (e.g. Tennis, Basketball, Pickleball, Volleyball, Handball)
Sport fields (e.g. Baseball, Soccer, Softball)
Recreational Facilities, Public
Public campgrounds and RV parks
Public golf courses, playgrounds, sport fields, sport courts, and the like
Public pools, fitness centers, indoor recreation facilities, and the like
Public parks, parkways, and preserves, and related facilities
Public zoos, arboretums, museums, historic and cultural exhibits, and the like



774

775

PART 6. ADDITIONAL USE STANDARDS

Sec. 30.6.1. Accessory building and uses.

30.6.1.1 Accessory uses in office and multiple-family residential uses.

(a) Accessory uses, when permitted, are intended to complement any permitted uses.

(b) Accessory uses ~~may shall include;~~ ~~but not be limited to: Drafting service or quick reproduction service, cafeteria and/or coffee shop, nurse's station, snack bar, or sales of non-prescription health and pharmaceutical products apothecary.~~

(1) OP Office District: Drafting service or quick reproduction service, cafeteria and/or coffee shop, nurse's station, snack bar, or sales of non-prescription health and pharmaceutical products apothecary. Any uses like or similar uses must be approved by the Planning and Development Division Manager.

(2) R-3A, R-3, and R-4 Multiple-Family Dwelling Districts: Personal services uses, designed primarily for the occupants of the complex, such as, day care centers, beauty and barber shops, and health clubs. However, such uses shall be limited to complexes of one hundred (100) or more units and shall not be permitted until fifty (50) percent or more of the dwelling units are completed, unless otherwise approved by the Planning and Development Division Manager. Any uses like or similar uses must be approved by the Planning and Development Division Manager.

(c) Location. In office developments, aAccessory uses shall be included as tenants within a principal office building and shall not be permitted to occupy separate buildings. In multiple-family developments, accessory uses may be located at the edge of the complex to serve residents provided that they are clearly subordinate and ancillary to the primary use.

798 (d) Floor area permitted. Accessory uses shall not occupy more than twenty (20)
799 percent of the floor area of any building.

800 (e) Other restrictions. No display of advertising signs or merchandise which is visible
801 from outside the building or an individual outside entrance shall be permitted for
802 any accessory use.

803 ~~(e) — Accessory uses as described above are permitted in the following zones:~~

804 ~~(1) — OP Office District~~

805 ~~(2) — R-3A, R-3, and R-4 Multiple-Family Dwelling Districts~~

806 (f) The determination of whether a use is accessory shall be made by the Development
807 Services Director based on the intended use, size, and transportation impacts.

808 **30.6.1.2. Accessory buildings and uses in residential areas.**

809 (a) When an accessory building is attached to a main building by a breezeway, passage,
810 or otherwise, it shall comply with dimensional requirements of the main building.

811 (b) In no event shall an accessory building, boat dock, or structure be established prior
812 to the principal use to which it is accessory.

813 (c) In any residential area, no livestock or fowl, other than backyard chickens in
814 compliance with Section 30.6.19, may be housed or pastured closer than one hundred fifty (150)
815 feet to any lot line nor may any commercial production of any stock, animal, or fowl be permitted.

816 (d) In the case of double frontage lots and where there is a conforming six (6) foot high
817 minimum solid fence or wall to the rear of the property and in the case of detached accessory
818 structures under two hundred (200) square feet in size and under twelve (12) feet in height, there
819 shall be a minimum ten (10) feet rear yard setback. Specific to RC-1: Any structure used to stable

820 horses shall maintain a minimum setback of fifty (50) feet from property lines and a minimum
821 setback of one hundred (100) feet from any residential structure on an adjacent lot or parcel.

822 (e) Accessory buildings shall not exceed the height limitations of the underlying zoning
823 district. principal building in terms of mass, size, and height unless located in the A-1 zoning
824 District and used for agricultural purposes such as a livestock barn or stable. When the height of
825 an accessory structure exceeds the height of the principal structure, the structures shall be
826 architecturally compatible. Each detached accessory structure or building shall not exceed fifty
827 (50) percent of the living area of the principal building unless located in the A-1 zoning District
828 and used for agricultural purposes such as a livestock barn or stable. This provision does. These
829 provisions do not apply to accessory structures within the A-3, A-5, and A-10 zoning Districts, or
830 properties zoned A-1 that exceed three (3) acres in total area and the accessory structure is
831 architecturally compatible. A screened pool structure height may exceed the height of the principal
832 structure, but no taller than permitted by the applicable zoning district.

833 (f) An accessory building or structure greater than 200 square feet and twelve (12) feet
834 in height shall comply with the following architectural standards unless located in the A-1, A-3,
835 A-5, and A-10 zoning districts and used for agricultural purposes such as a livestock barn or stable:
836 the exterior and roof (if any) shall be comprised of materials commonly used throughout Seminole
837 County in single family residential construction, such as stucco, brick, vinyl, aluminum or wood
838 for the siding or walls and shingles, tiles or corrugated metal for the roof. Accessory Dwelling
839 Units must conform with Section 30.6.1.3 of this Part.

840 **30.6.1.3 Accessory Dwelling Units.**

841 (a) Accessory Dwelling Units Generally.

842 (1) It is the purpose of this Section to allow accessory dwelling units (ADUs),
843 as defined in Section 2.3, with appropriate regulations, in all Single Family, Agricultural, and Rural
844 Districts; and in Planned Developments which are approved for single family use. It is also the
845 purpose of this Section to create a regulatory framework that encourages the development of ADUs
846 that are rented on the local housing market to residents of unincorporated Seminole County. The
847 County adopts the view of the Florida Legislature as stated in section 163.31771, Florida Statutes,
848 pertaining to the need to encourage the permitting of ADUs in single family residential areas in
849 order to increase the availability of affordable rentals for extremely-low-income, very-low-
850 income, low-income, or moderate-income persons.

851 (2) On any lot or parcel containing an ADU, either the principal dwelling or the
852 ADU shall be occupied by the owner of the property. ADUs shall not be subdivided or otherwise
853 conveyed into separate ownership from the principal dwelling. ADUs shall be rented or leased for
854 a minimum period of thirty (30) days notwithstanding section 509.032(7)(b), Florida Statutes.

855 (3) An existing home may be utilized as an ADU upon construction of an
856 additional unit as long as the converted structure meets the size criteria of this section. ~~at least two~~
857 ~~hundred eighty five (285) percent of the size of the original unit. Except as authorized under~~
858 ~~Section 5.19(b), an existing structure to be converted to an ADU may be no larger than 1,000~~
859 ~~square feet.~~

860 (4) The provisions of this Section permitting ADUs do not authorize persons to
861 violate applicable restrictive covenants or homeowner association rules and regulations. The
862 County does not police or enforce private restrictive covenants or homeowner association rules
863 and regulations. Persons obtaining approval for ADUs are solely responsible for compliance with
864 all applicable restrictive covenants and homeowner association rules and regulations.

865 (5) ADUs shall not be permitted in association with nonconforming residential
866 development in the Industrial, Commercial, Office, and Higher Intensity Planned Development
867 (HIP) future land use designations.

868 (6) An accessory dwelling unit shall not exceed fifty (50) percent of the living
869 area of the principal dwelling unit, or 1,100 square feet, whichever is less. There shall be a
870 maximum of one (1) accessory dwelling unit per single family lot or parcel. Within the A-3, A-5,
871 and A-10 zoning Districts, and properties zoned A-1 that exceed three (3) acres in total area, the
872 accessory dwelling unit shall not exceed fifty (50) percent of the living area of the principal
873 dwelling unit, or 1,600 square feet, whichever is less. Regardless of principal dwelling unit area,
874 the accessory dwelling unit may be 700 square feet in all zoning districts that allow accessory
875 dwelling units. The Board of Adjustment shall not consider variances. Variances related to ADU
876 size, or minimum area and width of any lot where an ADU is proposed are not permitted.

877 (7) A minimum of one (1) off-street parking space shall be provided for the
878 ADU, located on the same lot or parcel and served by the same driveway as the principal dwelling
879 unit. This space shall be paved or covered with a stabilized surface acceptable to the County
880 Engineer. No ADU parking space shall be located within a required buffer or setback area, ~~or to~~
881 ~~the rear of the unit.~~

882 (8) Impact Fees.

883 a. If used for affordable rental purposes, impact fees for an ADU shall
884 be waived or reduced as dictated by the adopted Impact Fee Rates/Schedule. An application for a
885 building permit to construct an affordable rental must include an affidavit from the applicant which
886 attests that the unit will be rented at an affordable rate to an extremely-low-income, very-low-
887 income, low-income, or moderate-income person or persons. Seminole County will require deed

888 restrictions or other agreements as necessary to ensure that the ADU is used for affordable housing
889 purposes.

890 b. If an ADU is not used for affordable rental purposes or the
891 application does not include an affidavit which attests to the ADU as an affordable rental, impact
892 fees will be assessed as dictated in the Seminole County Impact Fee Rate Schedule.

893 (b) Accessory Dwelling Units in A-3, A-5, and A-10.

894 (1) ADUs in A-3, A-5, and A-10 shall be permitted by right subject to the
895 following requirements:

896 a. No more than one (1) accessory dwelling unit shall be permitted on
897 any parcel or lot;

898 b. ~~Except as provided in Section 5.19(b),~~ Total floor area of
899 the accessory dwelling unit shall not exceed thirty five (35) fifty (50) percent of the gross floor
900 living area of the main residence; or one thousand (1,000) 1,600 square feet square feet, whichever
901 is less; regardless of principal dwelling unit area, the accessory dwelling unit may be 700 square
902 feet.

903 ~~i.~~1. A manufactured home, as defined in Section 2.3, may be
904 permitted as an ADU on property where the principal structure is also a manufactured home.

905 ~~ii.~~2. The moving hitch, wheels, axles, and transporting lights
906 shall be removed from a manufactured dwelling unit and skirting shall be placed around the base,
907 in compliance with any regulations of the National Flood Insurance Program, to ensure
908 neighborhood compatibility.

909 c. If located in a detached structure, the accessory dwelling unit shall
910 maintain the same front setback as the main structure and not project beyond the established
911 building line unless set back a minimum of one hundred (100) feet from the front property line.

912 (c) Accessory Dwelling Units in Other Districts.

913 (1) ADUs shall be permitted in all R-1 Districts, RC-1, and A-1, subject to
914 administrative approval by the Planning Manager. In addition, ADUs shall be permitted in the PD
915 zoning district, subject to administrative approval by the Planning Manager, on lots designated for
916 single family residential use, having a minimum lot area of five thousand (5,000) square feet and
917 fifty (50) feet in width.

918 (2) An ADU shall be architecturally compatible with the principal dwelling unit
919 and subject to the same building code requirements. The following criteria shall be met, as
920 applicable:



921 a. The ADU must have a complementary appearance to that of the
922 principal structure. This may be achieved through use of the same natural materials used to
923 construct the primary structure such as wood, stone, and/or manufactured products such as brick,
924 stucco, or decorative concrete block. Also, architectural elements such as awnings, parapets,
925 decorative molding, and windows may be utilized to create compatibility and consistency between
926 the appearance of the principal dwelling unit and an ADU.

927 b. Building elevations shall be provided for review prior to issuance of
928 permits.

929 ~~(3)~~(d) Impervious coverage for any lot or parcel wherein an ADU is constructed shall not
930 exceed the following limits:


Zoning Districts	Maximum Impervious Coverage*
RC-1, A-1	30%

R-1BB	65%
R-1B	60%
R-1	50%
R-1A	40%
R-1AA	40%
R-1AAA	40%
R-1AAAA	30%
PD	**
*The per-lot impervious coverage provided for by the approved Master Stormwater Management System Design (excludes Planned Developments).	
**The per-lot impervious coverage provided for by the approved Master Stormwater Management System Design for the Planned Development	

931 * * *

932 **Sec. 30.6.6. Alcoholic beverage establishments.**

933 30.6.6.1 Approvals on state alcoholic beverage licenses.

934 (a) Whenever any approval, consent, authorization, or similar request is made by an
935 applicant, agency, property owner, or any other person or entity relative to the appropriateness,
936 land use or zoning consistency or conformity,  or other similar action pertaining to location or siting
937 of a business, person or entity distributing, selling, or bartering any alcoholic beverages; an
938 application for the requested action shall be made on a form prescribed by the ~~planning office~~
939 Planning and Development Division, which form shall, at a minimum, describe the uses which
940 will occur on the property.

941 (b) To implement approval of the requested action, a development order shall be issued
942 in accordance with this Code in a manner and form that provides that the uses identified on the
943 application shall be uses to which the property shall be limited and that the provisions of the
944 development order shall run with and burden the property.

945 30.6.6.2 Performance standards.

946 (a) Definitions. For the purpose of this Section, the following definitions shall apply:

947 (1) Bona fide restaurant. An establishment where a majority of sales and profit
948 is from the serving of meals and not from the serving of alcoholic beverages. The determination
949 of whether an establishment is a bona fide restaurant shall be made by the Planning Manager.

950 (2) Incidental sales. In the case of an establishment selling groceries and
951 household dry goods, if the floor area for the sale of alcoholic beverages does not exceed ten (10)
952 percent of the net sales floor area the sales from alcoholic beverages shall be deemed incidental.
953 In the case of a bona fide restaurant, if a majority of sales and profit is from the serving of meals
954 and not from the serving of alcoholic beverages, the sales from alcoholic beverages shall be
955 deemed incidental.

956 (b) Special exception required. Any establishment selling alcoholic beverages, where
957 the sale of alcoholic beverages is not incidental to other products offered for sale, either for on-
958 premise or off-premise consumption, must apply for and be granted a special exception by the
959 Board of County Commissioners before selling alcoholic beverages. The Board of County
960 Commissioners may also grant a special exception to allow a bona fide restaurant, located within
961 ~~one thousand (1,000)~~ five hundred (500) feet of a ~~church or school~~, to serve alcoholic beverages
962 with meals. Said special exception may only be granted in those zoning classifications that allow
963 alcoholic beverage establishments as a conditional use.

964 (c) Landscaping and buffering shall be consistent with requirements. ~~On property~~
965 ~~where an on-premise consumption alcoholic beverage establishment is the sole use of the~~
966 ~~development site, the opacity of all required buffers under Section 30.14.5, 30.14.7 shall be~~
967 ~~increased by 0.2. However, this requirement shall not apply to on-premise alcoholic beverage~~
968 ~~establishments that are part of a planned shopping center unless the Board of County~~
969 ~~Commissioners finds that off-site impacts require such additional buffering.~~

970 (d) Separation requirements. Any establishment selling alcoholic beverages for
971 consumption on-premise shall maintain a five hundred (500) foot separation from the nearest
972 entrance of any public, private or parochial school. The five (500) foot separation shall be
973 measured from the entrance of the alcoholic beverage establishment to the nearest entrance of the
974 school. The entrance is considered to be any point of access to the building intended for use by the
975 public, customers, students or visitors. the following separation from all churches, schools, and
976 property assigned a residential zoning classification or land use designation, or like establishments:

977 (1) ~~Houses of Worship. No closer than one thousand (1,000) feet measured~~
978 ~~along the shortest possible line lying entirely within public rights of way, such measurement being~~
979 ~~between the nearest entrance to the alcoholic beverage establishment and the nearest point on the~~
980 ~~plot occupied by the house of worship.~~

981 (2) ~~Schools public, private, and parochial. No closer than one thousand (1,000)~~
982 ~~feet air line measurement from lot line of the alcoholic beverages establishment to the nearest lot~~
983 ~~line of the school.~~

984 (3) ~~Residential properties. No closer than the following; provided, however,~~
985 ~~that bona fide restaurants and establishments that are located in and are part of a planned shopping~~
986 ~~center shall not be subject to these restrictions:~~

987 a. ~~Five hundred (500) feet, measured along the shortest possible~~
988 ~~distance traveled by a pedestrian from the entrance of the alcoholic beverage establishment to the~~
989 ~~boundary of any property assigned a residential zoning classification or land use designation.~~

990 b. ~~One hundred (100) feet from the closest vertical building extremity~~
991 ~~of the alcoholic beverage establishment to the boundary of the nearest property assigned a~~
992 ~~residential zoning classification or land use designation.~~

993 (4) ~~Like establishments. Alcoholic beverage establishments that are not part of~~
994 ~~a planned shopping center shall not be located nearer than five hundred (500) feet from a like~~
995 ~~establishment. For example, no cocktail lounge may be located within five hundred (500) feet from~~
996 ~~another cocktail lounge. Measurement shall be between building entrances along the shortest~~
997 ~~possible line lying entirely within public rights-of-way.~~

998 **Sec. 30.6.7. Communication antennas/towers.**

999 30.6.7.1 Legislative purpose and intent.

1000 (a) The County has, on numerous occasions and with increasing frequency, received
1001 requests to approve sites for communication towers. Land development regulations have not
1002 adequately identified specific procedures to address recurring issues relating to the approval of
1003 locations for communication towers. The inadequacy of such regulation, in light of the growing
1004 influx of requests, may have resulted in the placement of towers in less than optimal locations with
1005 less than optimal conditions placed upon such uses. The Board of County Commissioners finds
1006 and determines that the placement of communication towers in less than optimal locations or with
1007 inadequate consideration being given to sound land use planning and principles may cause a
1008 detriment to the citizens of the County and surrounding communities. Therefore, it is the intent of
1009 Sections 30.6.7.1 through 30.6.7.9 to address the recurrent issues pertaining to the approval of
1010 communication towers upon parcels located in the County.

1011 (b) Among the chief purposes of Sections 30.6.7.1 through 30.6.7.9 are the following
1012 goals, objectives, and policies:

- 1013 (1) To accommodate the growing need for communication towers;
- 1014 (2) To encourage and direct the location of communication towers in the
1015 County to the most appropriate locations considering sound planning and land use practices, to

1016 ensure compatibility between communication towers and abutting land uses, to provide for
1017 adequate setback requirements between communication towers and abutting and proximate land
1018 uses, to provide for adequate separation requirements between communication towers, to provide
1019 for the needs of the communication industry, to provide for the needs of the public, to provide for
1020 the protection of private property rights, to provide for developments in technology, impacts, and
1021 to provide for the requirements of federal, state and local law;

1022 (3) To protect residential areas and land uses from the potential adverse impacts
1023 of communication towers when placed at inappropriate locations or permitted without adequate
1024 controls and regulation consistent with the provisions of law;

1025 (4) To minimize the adverse visual impacts resulting from communication
1026 towers through sound and practical design, siting, landscape screening, and innovative
1027 camouflaging techniques all in accordance with generally acceptable engineering and planning
1028 principles and the public health, safety, and welfare;

1029 (5) To avoid potential damage to adjacent properties through sound engineering
1030 and planning and the prudent and careful approval of communication tower sites and structures;

1031 (6) To promote and encourage shared use of existing and new communication
1032 tower sites and towers as a primary option rather than construction of additional single-use towers;


1033 (7) To evaluate current trends and projected areas of advancement relative to
1034 communication towers, the telecommunications industry, and related matters on an ongoing basis;

1035 (8) To provide the County with the information pertaining to enhanced and new
1036 uses of communication towers and the systems to which they relate.

1037 (c) The Board of County Commissioners hereby finds and determines that the
1038 provisions of this Code are consistent with the provisions of the Seminole County Comprehensive

1039 Plan, the Strategic Regional Policy Plan, the State Comprehensive Plan, as well as the provisions
1040 of state and federal law.

1041 (d) The Board of County Commissioners recognizes the fact that technological
1042 developments in the area of telecommunications occur at a pace that is difficult to keep pace with
1043 and that it is essential to the public interest for local governments to continually develop land
1044 development regulations that protect the public health, safety, and welfare of the citizens of the
1045 County. As technologies such as cable microcell integrator transceiver technology and other
1046 similar technologies develop, it is the intent of the County to encourage the use of such technology
1047 to the extent practicable and lawful, with full consideration being given to the protection of the
1048 property rights of the public in public right-of-way.

1049 (e) Nothing in Sections 30.6.7.1 through 30.6.7.9 shall be construed to grant any person
1050 or entity a permit, license, entitlement, or right of any type whatsoever to use the right-of-way,
1051 property, or property rights of the County. 

1052 30.6.7.2 Applicability/administration.

1053 (a) All new communication towers in unincorporated Seminole County shall be subject to
1054 the land development regulations set forth in this Part, all other applicable land development
1055 regulations set forth in this Code, and all federal and state laws relating thereto.

1056 (b) For purposes of measurement, communication tower setbacks, and separation
1057 distances, as outlined in Section 30.6.7.3, shall be calculated and applied to facilities located
1058 anywhere in Seminole County, irrespective of municipal and County jurisdictional boundaries.

1059 (c) All new communication antennas which are not attached to communication towers shall
1060 comply with Section 30.6.7.6.

1061 (d) All communication towers existing prior to the effective date of Sections 30.6.7.1
1062 through 30.6.7.9 shall be permitted to continue to be used as they presently exist. Routine
1063 maintenance (including replacement with a new tower, or tower of less impact, of like
1064 construction; provided, however, that any such tower shall be the same or less height of the tower
1065 as it existed on the effective date of this Part) shall be permitted on such existing communication
1066 towers; provided, however, that replacement of the communication tower shall require the entire
1067 site be brought into compliance with Section 30.6.7.4. New construction, other than routine
1068 maintenance of an existing communication tower, shall comply with any adopted land
1069 development regulations, applicable building codes and related codes.

1070 (e) A communication tower that has received County approval in the form of either a
1071 special exception or building permit, but has not yet been constructed, shall be considered an
1072 existing tower if such approval is valid, current, and not expired.

1073 (f) AM array consisting of one (1) or more tower units and supporting a ground system that
1074 functions as one (1) AM broadcasting antenna shall be considered one (1) communication tower.
1075 Measurements for setbacks and separation distances shall be measured from the outer perimeter
1076 of a communication tower included in the AM array. Additional tower units may be added within
1077 the perimeter of the AM array by right.

1078 (g) The determination as to whether placement of a communication tower on property
1079 assigned the PD zoning classification shall be based on the identified zoning or use for that tract
1080 within the development.

1081 (h) Determinations of compliance with the provisions of Sections 30.6.7.1 through 30.6.7.9
1082 or with regard to any matter relating to communication towers shall be made by the Planning
1083 Manager subject to the appeal processes and procedures as set forth at Sections 30.3.2 and 30.3.3.

1084 (i) To ensure that the least intrusive methods for communication service are implemented,
1085 the Planning Manager may require detailed written reports from applicants explaining and
1086 detailing, among other things, the reasons that collocation, camouflaging, alternative site, or a less
1087 intrusive tower or antenna was not proposed.

1088 30.6.7.3 Performance standards.

1089 (a) Setbacks.

1090 (1) Communication tower setbacks shall be measured from the outer extremity
1091 of the base of the communication tower to the property line of the parcel on which it is located.

1092 (2) Communication towers shall be located on parcels that comply with the
1093 minimum setback and lot size requirements of the zoning classification assigned to the property
1094 on which they are located.

1095 (3) For towers located on properties assigned to the PD zoning classification,
1096 the setback requirements for the parcel outlined in the PD approval shall apply.

1097 (4) In cases where there are non-conforming residential uses on the property
1098 that is not assigned a residential zoning classification, a reduction of fifty (50) percent of the side
1099 or rear yard setback distance opposite the non-conforming residential use shall be permitted by the
1100 Planning Manager unless the side or rear yard proposed for reduction is assigned a residential land
1101 use designation or zoning classification.

1102 (b) Minimum Separation From Off-Site Uses/Designated Areas.

1103 (1) Communication tower separation shall be measured from the outer
1104 extremity of the base of the tower to the closest property line of the off-site use as specified in
1105 Table 1 below.

1106 (2) Separation requirements for communication towers shall comply with the
1107 minimum standards established in Table 1 below unless otherwise provided.

1108 (3) Reduced separation distances may be reduced by the Planning Manager
1109 when written consent as set forth in a recordable instrument is obtained from all property owners
1110 within the applicable separation distance.

1111 (4) Separation distances may be decreased ~~or increased~~ by the Board of
1112 ~~Adjustment~~ County Commissioners. The requirements to obtain a separation decrease are set forth
1113 in Table 1 below. in accordance with the procedural requirements for variances as set forth in this
1114 ~~Code and the substantive determinations as set forth in Table 1 below, when considering whether~~
1115 ~~to approve a special exception, if competent substantial evidence is presented demonstrating~~
1116 ~~unique planning considerations and compatibility impacts.~~


TABLE 1 MINIMUM SEPARATION FROM OTHER USES	
Off-site Use	Separation Distance
Property assigned a single-family (includes modular homes and mobile homes used for living purposes), duplex, or multi-family residential zoning classification or future land use designation or with an existing residential use.	Two hundred (200) feet or three hundred (300) percent height of tower, whichever is greater. <u>The separation distance can be reduced if</u> except when <u>the Board of County Commissioners determines, based on competent substantial evidence, a variance is granted based upon findings that the aesthetic impacts of the tower are</u> enhanced <u>mitigated, that compatibility with abutting property owners</u> are <u>is maintained, and the approval of the tower in the proposed location is</u> would be <u>consistent with and furthers the provisions of Section 30.6.7.1. The standard relative to variances as otherwise set forth in this Code may be considered in determining whether to approve a variance hereunder, but shall not be determinative as to whether the variance may be granted.</u>
Property assigned a non-residential zoning classification or future land use designation or property with an existing non-residential use	None. Only district setbacks apply

1117 (c) Separation Distances Between Communication Towers.

1118 (1) Separation distances between communication towers shall be measured
1119 between the communication tower proposed for approval and those towers that are permitted or
1120 existing.

1121 (2) The separation distances shall be measured by drawing or following a
1122 straight line between the GPS coordinate of the center of the existing or permitted communication
1123 tower and the proposed GPS coordinate of the center of the proposed communication tower as
1124 depicted on a site plan of the proposed tower.

1125 (3) The separation distances, listed in linear feet, shall be as set forth in Table 2 below:

TABLE 2 SEPARATION DISTANCES BETWEEN COMMUNICATION TOWERS					
Description	Existing Towers				
	Lattice	Guyed 	Monopole 75 ft. in Height or Greater	Monopole Less than 75 ft. in Height	Camouflage
Lattice	5,000	5,000	1,500	750	0
Guyed	5,000	5,000	1,500	750	0
Monopole 75 ft. in Height or Greater	1,500	1,500	1,500	750	0
Monopole Less than 75 ft. in Height	750	750	750	750	0
Camouflage	0	0	0	0	0

1126 (4) Minimum separation distances between communication towers, as set forth in
1127 Table 2, may be decreased ~~A variance from the minimum separation distances between~~
1128 ~~communication towers as set forth in Table 2 may be granted when two (2) or more communication~~
1129 ~~tower owners or operators agree to collocate their communication antennas on the same~~
1130 ~~communication tower and upon findings being made that the aesthetic impacts of the tower are~~
1131 ~~enhanced, mitigated, that compatibility with abutting property owners is maintained, and the~~

1132 approval of the proposed tower ~~would be~~ is consistent with and furthers the provisions of Section
1133 30.6.7.1. ~~The standard relative to variances as otherwise set forth in this Code may be considered~~
1134 ~~in determining whether to approve a variance hereunder, but shall not be determinative as to~~
1135 ~~whether the variance may be granted.~~

1136 (d) Measurement of Height. Measurement of communication tower height shall
1137 include antenna, base pad, and any and all other appurtenances and shall be measured from the
1138 finished grade of the parcel on which the communication tower is located.

1139 30.6.7.4 Design criteria.

1140 (a) Illumination. Communication towers shall not be artificially ~~lighted~~ lit except to
1141 ~~assure~~ ensure human safety or as required by the Federal Aviation Administration (FAA). At time
1142 of construction of a communication tower in cases where there is property assigned a residential
1143 future land use designation, a residential zoning classification or has a valid residential use located
1144 within a distance from the tower which is equal to or less than three hundred (300) percent of the
1145 height of the communication tower, dual mode lighting shall be requested by the applicant from
1146 the FAA.

1147 (b) Finished Color. Communication towers not requiring FAA painting/markings shall
1148 have either a galvanized finish, shall be painted a non-contrasting gray finish, or shall be painted
1149 in a finish to enhance camouflaging as determined by the Planning Manager.

1150 (c) Fencing. A chain link fence or a wall not less than eight (8) feet in height from
1151 finished grade shall be installed by the applicant around each communication tower. Barbed wire
1152 or another fencing method to prevent pedestrian access to the tower, as approved by the Planning
1153 Manager, shall be installed along the top of the fence or wall, but shall not be included when
1154 calculating the height of the fence or wall. Access to the tower through the fence or wall shall be

1155 through a gate which shall be locked at all times that the person or entity in charge of the
1156 communication tower or site is not occupying the communication tower site.

1157 (d) Landscaping.

1158 (1) The visual impacts of each communication tower shall be mitigated through
1159 landscaping or other screening materials at the base of the communication tower and ancillary
1160 structures in order to maintain visual aesthetics for those who must view the site on a regular basis
1161 including, but not limited to, proximate residents and the traveling public.

1162 (2) The following landscaping and buffering requirements shall apply to each
1163 communication tower around the perimeter of the tower and accessory structures; provided,
1164 however, that these standards may be determined by the Planning Manager, based upon the intent
1165 of this Section and sound and generally acceptable planning principles, to be unnecessary for those
1166 sides of the property on which a proposed tower will be located that are near to lands that are not
1167 likely to be developed or that are not likely to be adversely impacted by the communication tower
1168 or when the property on which the communication tower will be located is not in public view.

1169 (3) Landscaping shall be installed on the outside of fences.

1170 (4) The use of existing vegetation shall be preserved to the maximum extent
1171 practicable and may be used as a substitute of or in supplement to meeting landscaping
1172 requirements.

1173 (5) A row of canopy trees a minimum of eight (8) feet tall, two and one-half
1174 (2½) inches in caliper, and a maximum of ten (10) feet apart shall be planted around the perimeter
1175 of the fence or at locations which enhance greater screening from other uses as determined by the
1176 Planning Manager.

1177 (6) A continuous hedge at least twenty-four (24) inches high at planting of
1178 sufficient health and quality able to attain a height of at least thirty-six (36) inches within twelve
1179 (12) months shall be planted in front of the tree line.

1180 (7) All landscaping shall be of the evergreen variety, being a minimum quality
1181 of Florida #1.

1182 (8) All landscaping shall be xeriscape tolerant or irrigated and properly
1183 maintained to ensure good health and viability.

1184 (e) Structural Design.

1185 (1) Communication towers shall be constructed in accordance with the most
1186 current edition of the EIA/TIA 222-E Standards, as published by the Electronic Industries
1187 Association, any and all Seminole County construction/building codes, all applicable land
1188 development regulations, and federal and state law.

1189 (2) Any improvements and/or additions to a communication tower, such as, by
1190 way of example only, antenna or satellite dishes, must be submitted for approval to the County
1191 and shall require submission of plans sealed and verified by a professional engineer licensed in the
1192 State of Florida which provides substantial competent evidence of compliance with the then
1193 current EIA/TIA Standard. Said site plan shall be submitted to and subject to the approval of the
1194 Seminole County Building Official or his or her designee.

1195 (f) No commercial signage or advertising shall be permitted on a communication tower
1196 unless otherwise required by law or the signage pertains only to the posting of the property relative
1197 to trespassing.

1198 30.6.7.5 Abandonment.

1199 (a) In the event the communication tower is found by the Planning Manager to be
1200 abandoned, the owner/operator of the communication tower or the owner of the property on which
1201 the communication tower is located shall have one hundred eighty (180) days from the date of the
1202 Planning Manager's finding of abandonment within which to:

1203 (1) Reactivate the use of the communication tower or transfer the tower to
1204 another owner/operator who must make actual use of the tower as previously permitted within
1205 ninety (90) days of the transfer, or

1206 (2) Dismantle and remove the communication tower.

1207 (b) Determination of the date of abandonment shall be made by the Planning Manager,
1208 who shall have the power to request documentation and affidavits from the communication tower
1209 owner/operator regarding the issue of communication tower usage. The communication tower
1210 owner/operator shall provide all requested information within five (5) working days of a request
1211 being made.



1212 (c) With regard to towers that received special exception and/or variance approval, one
1213 hundred eighty (180) days after dismantling or the expiration of the three hundred sixty (360) day
1214 period as set forth in this Section, the special exception and/or variance for the tower shall
1215 automatically expire.

1216 (d) Each owner/operator of a communication tower shall post a surety bond, or other
1217 instrument or guarantee of a form acceptable to the County Attorney, ~~with the Planning Manager~~
1218 in favor of the County in an amount, as estimated by the owner/operator's engineering consultant,
1219 ~~to found by the Planning Manager to be reasonably necessary~~ that includes all work necessary to
1220 remove the communication tower and return the site to the condition it existed prior to the
1221 placement of the communication tower on the site. ~~in the event of abandonment.~~ The County

1222 Engineer shall review the bond estimate provided by the owner/operator to determine whether or
1223 not the amount of the bond is sufficient to cover the work required and either approve or require
1224 the owner/operator to revise the estimate. Planning Manager is hereby granted authority to
1225 establish this amount based on policy guidelines adopted by the Board of County Commissioners.
1226 The contents of such bond shall include, or the bond shall be accompanied by, a contingent right
1227 of entry in favor of the County ~~which that runs with the land to authorize~~ authorizing entry upon
1228 the property in the event that it is necessary to remove the abandoned tower.

1229 * * *

1230 30.6.7.7 Collocation of communication tower antennas.

1231 (a) General policy relating to collocation. To minimize adverse visual impacts
1232 associated with the proliferation and clustering of communication towers, collocation of
1233 communication antennas by more than one (1) carrier on existing or new communication towers
1234 is encouraged. Additional communication antennas proposed on existing Communication Towers
1235 are permitted uses and may collocate onto existing communication towers if they satisfy the
1236 requirements of this Section and no special exception is required. If collocation requires utilization
1237 of real property for construction of ancillary facilities, such as equipment rooms, and such use or
1238 uses are expressly prohibited by the existing special exception, then an amendment to the special
1239 exception will be required.

1240 (b) Procedure for administrative granting of ~~special exceptions~~ collocation. ~~If co-~~
1241 ~~location requires utilization of real property for construction of ancillary facilities such as~~
1242 ~~equipment rooms, which uses were not permitted under the applicable zoning code and which uses~~
1243 ~~are expressly prohibited by prior special exceptions, then such ancillary facilities such as~~

1244 ~~equipment rooms shall not be deemed a permitted use as a matter of right under this Section unless~~
1245 ~~and until a special exception is issued pursuant to the provisions of this subsection.~~

1246 (1) The Planning Division Manager, after consultation with the applicant, shall
1247 ~~determine in conjunction with the Development Services Director~~, consistent with sound and
1248 generally accepted planning and land use principles, whether co-location of ancillary equipment,
1249 such as equipment room, in support of co-located communication antennae are appropriate and
1250 meet the criteria of this Section.

1251 (2) Upon a determination that the collocation of ancillary facilities, including
1252 equipment rooms, is appropriate for a parcel, the Planning Division Manager shall issue an
1253 approval to allow the co-location of Communication Tower ancillary structures (including
1254 equipment rooms) as proposed. ~~cause a "Notice of Intent to Allow Co-Location of Communication~~
1255 ~~Tower Ancillary Facilities, Including Equipment Rooms" to be published in a newspaper of~~
1256 ~~general circulation. The Notice shall, at a minimum, state the address of the real property and the~~
1257 ~~proposed use. The Notice shall further state that any person objecting to the use of the property as~~
1258 ~~described must file a notice of objection with the Planning Division within fifteen (15) days of the~~
1259 ~~publication.~~

1260 (3) Upon a determination that collocation of Communication Tower ancillary facilities
1261 (including equipment rooms) is not appropriate for the subject property, the applicant may appeal
1262 said decision the Board of County Commissioners by filing a notice of appeal with the Planning
1263 Division within fifteen (15) days of the rendering of the decision. The Planning Division shall
1264 schedule the appeal before the Board. The Board may approve or deny the co-location.

1265 ~~(4) If the Planning Division receives no objections to the Notice, in his or her sole~~
1266 ~~discretion, then the Planning Manager shall allow the co-location of Communication Tower~~
1267 ~~ancillary structures (including equipment rooms) as proposed.~~

1268 ~~(5)(4) The Development Services Director~~ Planning Division Manager shall issue a
1269 development order or denial development order consistent with the determination made under this
1270 Section.

1271 (c) Type of construction. A communication tower that is modified or reconstructed to
1272 accommodate the co-location of an additional communication antenna shall be of the same tower
1273 type or a lesser impact tower type, as determined by the Planning Manager based upon the intent
1274 of Sections 30.6.7.1 through 30.6.7.9 and sound and generally acceptable planning practices and
1275 principles, as the existing communication tower.

1276 (d) Height. An existing communication tower may be modified or rebuilt to a taller
1277 height, not to exceed twenty (20) feet over the tower's existing height, to accommodate the
1278 collocation of an additional communication antenna. Such a height increase may only occur one
1279 (1) time per communication tower and may be allowed for those sites, which obtained previous
1280 special exception approval. The additional height authorized herein shall not require an additional
1281 distance separation as described in Table 1, Section 30.6.7.3(b). The communication tower's pre-
1282 modification height shall be used to calculate such distance separations.

1283 (e) Site location. A communication tower that is being rebuilt to accommodate the
1284 collocation of an additional communication antenna may be moved on the site to an area located
1285 within fifty (50) feet of its existing location and may also be relocated, with the approval of the
1286 Planning Manager based upon sound planning and land use principles and upon a finding that such
1287 approval would be consistent with and further the intent of this Code, in the same manner on a site

1288 which received a previous special exception notwithstanding any condition of approval relating to
1289 the grant of the special exception. After a communication tower is rebuilt to accommodate
1290 collocation, only one (1) tower may remain on the site. A communication tower relocated on a site
1291 shall continue to be measured from the original tower location for purposes of calculating
1292 separation distances between communication towers. A communication tower that has been
1293 relocated on a site and which intrudes into the separation distances required with regard to property
1294 described in Table 1, Section 30.6.7.3(b), shall only be permitted when written consent as set forth
1295 in a recordable instrument is obtained from all property owners within the applicable separation
1296 distance.

1297 ~~(f) Filing of a master plan. To enhance the County's ability to promote the co-location~~
1298 ~~of communication towers, any communication company that owns or operates a communication~~
1299 ~~tower in the County or intends to install a communication tower in the County shall file with the~~
1300 ~~Planning Division a master plan indicating the site of all existing communication towers, any and~~
1301 ~~all proposed communication tower sites and a statement describing the anticipated communication~~
1302 ~~tower needs over the next ten (10) years; provided, however, that disclosure of marketing~~
1303 ~~strategies, trade secrets, commercially privileged information or any other information that the~~
1304 ~~provider deems would adversely affect his, her or its ability to compete is not required to be~~
1305 ~~disclosed and the determination of the communication company shall be conclusive. The master~~
1306 ~~plan shall be filed on or before January 1 of each year. The master plan is not binding. Its primary~~
1307 ~~purpose is to serve as a mechanism of coordinating collocation of communication towers between~~
1308 ~~persons and entities involved in that industry.~~

1309 30.6.7.8 Certification of compliance with FCC NIER Standards. Prior to receiving final
1310 inspection by the County the applicant shall provide certification to the FCC, with copy to the

1311 current planning office, verifying that the communications facility complies with all current FCC
1312 regulations for NIER.

1313 30.6.7.9 Nonconforming uses. Bona fide nonconforming communications towers or
1314 antennas that are damaged or destroyed may be rebuilt without being required to comply with
1315 applicable separation requirements. The type, height, and location of a replacement
1316 communication tower shall be of the same type and intensity or of a type and intensity of less
1317 impact as the communication tower that was damaged or destroyed. Building permits to rebuild a
1318 communication tower shall comply with all building codes and must be obtained within one
1319 hundred eighty (180) days from the date the facility is damaged or destroyed. If no permit is
1320 obtained or if a permit that was issued expires, the communication tower shall be deemed
1321 abandoned in accordance with Section 30.6.7.5.

1322 30.6.7.10 Camouflage towers; where permitted. The Planning Manager may permit
1323 camouflage communication towers on any parcels which is not assigned a residential zoning
1324 classification provided that the Planning Manager makes the findings set forth in the definition of
1325 the term "camouflage communication tower."

1326 * * *

1327 **30.6.10. Community residential homes, ~~and assisted living facilities,~~ and Certified**
1328 **Recovery Residences.**

1329 ~~30.6.10.1 Statement of intent.~~

1330 ~~(a) In order to prevent concentration of foster care and group home facilities and the~~
1331 ~~detrimental impact to a neighborhood caused by a high concentration of these facilities, the Board~~
1332 ~~of County Commissioners shall exercise care in considering a request to establish a foster care or~~
1333 ~~group home facility by determining that the approval of the new facility or addition to an existing~~

1334 facility, when considered in light of the number of other such facilities licensed by the state
1335 (excluding foster homes) in the vicinity of the proposed site will not stress the limited capacity of
1336 a neighborhood's existing social structure to accommodate foster care and group home facilities.
1337 A second intention of this provision is to protect existing foster care and group home facilities
1338 from the possibility that an over concentration of such facilities in a neighborhood might develop
1339 which may inadvertently recreate an institutional setting. Such a setting is an impediment to the
1340 successful functioning of foster care and group home facilities.

1341 (b) — To help fulfill this intent the applicant is required to provide a list of the location of
1342 all group care facilities indicating the number of clients at each facility. The list is to be certified
1343 by the State department licensing such facilities.

1344 30.6.10.21 Community residential homes, may be approved by the Planning Manager as a
1345 Limited Use, providing, in addition to all other required findings:

1346 That the location does not create an over concentration of such homes or substantially alter
1347 the nature and character of the area as defined in Section 419.001(3)(c), Florida Statutes (2020),
1348 as this statute may be amended from time to time. In the event that the provisions of this Section
1349 conflict with the provisions of Section 419.001(3)(c), Florida Statutes (2020), as this statute may
1350 be amended from time to time, Section 419.001(3)(c) shall govern.

1351 “Community residential home” means a dwelling unit licensed to serve residents who are
1352 clients of the Department of Elderly Affairs, the Agency for Persons with Disabilities, the
1353 Department of Juvenile Justice, or the Department of Children and Family Services or licensed by
1354 the Agency for Health Care Administration which provides a living environment for 7 to 14
1355 unrelated residents who operate as the functional equivalent of a family, including such

1356 supervision and care by supportive staff as may be necessary to meet the physical, emotional, and
1357 social needs of the residents.

1358 (a) Community residential homes of six or fewer residents which otherwise meet the
1359 definition of a community residential home shall be deemed a single-family unit and shall be
1360 considered a “Dwelling, single-family,” as listed in Sec. 30.5.2. - Permitted use table.

1361 (b) Community residential homes with seven (7) to fourteen (14) unrelated residents
1362 shall be considered a permitted use in multifamily zoning districts, as shown in Sec. 30.5.2. -
1363 Permitted use table, and subject to the site selection criteria in s. 419.001, Florida Statutes.

1364 (c) Community residential homes with seven (7) to fourteen (14) unrelated residents
1365 may be approved by the Board of County Commissioners as a special exception per Sec. 30.5.2. -
1366 Permitted use table, provided that, in addition to all other required findings:

1367 (1) The proposed community residential home is not located within a radius of
1368 1,200 feet of another existing community residential home. All distance requirements in this
1369 section shall be measured from the nearest point of the existing home or area of single-family
1370 zoning to the nearest point of the proposed home.

1371 (2) In single- and two-family residential districts (including A-1 and RC-1)
1372 when the Board of County Commissioners determines that the proposed community residential
1373 home is compatible with the neighborhood in its physical size.

1374 (3) In multiple-family residential districts, the Board of County Commissioners
1375 determines that the proposed use is compatible with the area in its intensity of land use.

1376 ~~30.6.10.32 Community residential homes with seven (7) or more unrelated residents and~~
1377 ~~assisted living facilities may be approved by the Board of County Commissioners as a special~~
1378 ~~exception, providing, in addition to all other required findings: Assisted Living Facilities.~~

1379 ~~(a) — That the location does not create an over-concentration of such homes or~~
1380 ~~substantially alter the nature and character of the area as defined in Section 419.001(3)(c), Florida~~
1381 ~~Statutes (2020), as this statute may be amended from time to time. In the event that the provisions~~
1382 ~~of this Section conflict with the provisions of Section 419.001(3)(c), Florida Statutes (2020), as~~
1383 ~~this statute may be amended from time to time, Section 419.001(3)(c) shall govern.~~

1384 ~~(b) — In single and two family residential districts (including A-1 and RC-1), the Board~~
1385 ~~of County Commissioners shall determine that the proposed structure (facility) is compatible with~~
1386 ~~the neighborhood in its physical size.~~

1387 ~~(c) — In multiple family residential districts, the Board of County Commissioners shall~~
1388 ~~determine that the proposed use is compatible with the area in its intensity of land use.~~

1389 ~~(d) — A copy of the application to the appropriate State agency shall accompany the~~
1390 ~~application for the special exception.~~



1391 “Assisted living facility” means any building or buildings, section or distinct part of a
1392 building, private home, boarding home, home for the aged, or other residential facility, regardless
1393 of whether operated for profit, which through its ownership or management provides housing,
1394 meals, and one or more personal services for a period exceeding 24 hours to one or more adults
1395 who are not relatives of the owner or administrator. Facilities with a licensed capacity of six or
1396 fewer persons shall comply with the provisions of Chapter 419, Florida Statutes.

1397 (a) Assisted living facilities of six or fewer residents which otherwise meet the
1398 definition of an assisted living facility shall be deemed a single-family unit and shall be considered
1399 a “Dwelling, single-family,” as listed in Sec. 30.5.2. - Permitted use table.

1400 (b) Assisted living facilities with seven (7) to fourteen (14) unrelated residents shall be
1401 considered a permitted use in multifamily zoning districts, as shown in Sec. 30.5.2. - Permitted use
1402 table, and subject to the site selection criteria in s. 419.001, Florida Statutes.

1403 (c) Assisted living facilities with seven (7) to fourteen (14) unrelated residents may be
1404 approved by the Board of County Commissioners as a special exception per Sec. 30.5.2. -
1405 Permitted use table, provided that, in addition to all other required findings:

1406 (1) The proposed assisted living facility is not located within a radius of 1,200
1407 feet of another assisted living facility. All distance requirements in this section shall be measured
1408 from the nearest point of the existing home or area of single-family zoning to the nearest point of
1409 the proposed home.

1410 (2) In single- and two-family residential districts (including A-1 and RC-1), the
1411 Board of County Commissioners determines that the proposed assisted living facility is compatible
1412 with the neighborhood in its physical size.

1413 (3) In multiple-family residential districts, the Board of County Commissioners
1414 shall determine that the proposed use is compatible with the area in its intensity of land use.

1415 30.6.10.43 Certified recovery residences.

1416 (a) Purpose and applicability. The purpose of this subsection is to establish procedures
1417 for review and approval of reasonable accommodation requests to County land use and zoning
1418 ordinances, rules, regulations, policies, and procedures that may prohibit establishment of certified
1419 recovery residences pursuant to section 397.487, Florida Statutes. Facilitating reasonable
1420 accommodation requests ensures that individuals with a disability and/or handicap have equal
1421 opportunity to use and enjoy dwellings, buildings or structures, or to provide accessibility in
1422 another manner, as provided by the Federal Fair Housing Amendments Act (42 U.S.C. 3601, et

1423 seq.) ("FHA") and Title II of the Americans with Disabilities Amendments Act (42 U.S.C. Section
1424 12131 et seq.) ("ADA"). For purposes of this procedure, a "disabled" individual or person is an
1425 individual that qualifies as disabled and/or handicapped under the FHA and/or ADA. Any person
1426 who is disabled or a provider of services to disabled individuals qualifying for a reasonable
1427 accommodation, may request a reasonable accommodation allowing for the establishment of a
1428 certified recovery residence pursuant to the procedures set forth herein.

1429 (b) Applicant. Any person who is disabled or a provider of services to disabled
1430 individuals qualifying for a reasonable accommodation, collectively referred to as "Applicant" in
1431 this subsection, may request a reasonable accommodation to the County's land use and zoning
1432 ordinances, rules, regulations, policies, and procedures that prohibit establishment of certified
1433 recovery residences. It is the responsibility of the Applicant to establish that they, or those who are
1434 being provided recovery services, are protected individuals under the FHA and/or ADA by
1435 demonstrating that the proposed accommodation is reasonable and necessary to afford the
1436 Applicant, or those who are being provided services, an equal opportunity to use and enjoy a
1437 residential dwelling.

1438 (c) Application Procedure. A request for reasonable accommodation shall be made to
1439 the Planning and Development Division by an Applicant. An application for reasonable
1440 accommodation must, at a minimum, provide the following:

1441 (1) Name and contact information of the Applicant or the Applicant's
1442 authorized representative;

1443 (2) Property address and parcel identification number of where the reasonable
1444 accommodation is being requested. If the Applicant is not the owner of the property, then the
1445 contact information for the owner and an owner's authorization form is also required;

1446 (3) A description of the accommodation needed, identifying the ordinances,
1447 rules, regulations or policies from which the Applicant is requesting a reasonable accommodation
1448 and why the requested accommodation is necessary;

1449 (4) A certification signed by the Applicant stating; I CERTIFY UNDER
1450 PENALTY OF PERJURY THAT THE INFORMATION PROVIDED IN THIS REQUEST IS
1451 TRUE AND CORRECT. I UNDERSTAND THAT IF I KNOWINGLY PROVIDE FALSE
1452 INFORMATION WITH THIS REQUEST, MY REQUEST SHALL BECOME NULL AND
1453 VOID;

1454 (5) Signature of the Applicant and date;

1455 (6) A verification of disability status form executed by someone with personal
1456 knowledge of the Applicant's, or those who are being provided services', disability, such as a
1457 medical or social services professional;



1458 (7) Any additional information or documents the Applicant feels is necessary
1459 to supplement the request for reasonable accommodation.

1460 The Planning and Development Division will date-stamp the application upon
1461 receipt and notify the applicant, in writing, within 30 days if additional information
1462 is required. The Applicant must provide the additional information within 30 days.

1463 Failure of the Applicant to provide a response within 30 days will result in the
1464 application being denied, unless the applicant requests an extension of time in
1465 writing.

1466 (d) Review. Within 60 days of receiving a completed application, the Development
1467 Services Director, or designee, shall review the request for reasonable accommodation and make
1468 a determination consistent with the FHA and/or ADA, after considering all of the following:

1469 (1) Whether the Applicant has established that they are protected under the
1470 FHA and/or ADA by demonstrating that they or those being provided recovery services, are
1471 handicapped or disabled, as defined in the FHA and/or ADA. To do this, the following must be
1472 shown:

- 1473 a. A physical or mental impairment which substantially limits one (1)
1474 or more major life activities;
- 1475 b. That they are regarded as having such impairment; and
- 1476 c. A record of having such impairment.

1477 (2) Whether the requested accommodation is reasonable and necessary to
1478 afford the Applicant an equal opportunity to use and enjoy the dwelling, building or structure, or
1479 provides accessibility in another manner.

1480 (3) Whether the requested accommodation would impose an undue financial or
1481 administrative burden on the County. 

1482 (4) Whether the requested accommodation would require a fundamental
1483 alteration in the nature of the land use and zoning regulations of the County.

1484 If the Development Services Director, or designee, finds that the requested
1485 accommodation will impose an undue financial or administrative burden on the County or will
1486 require a fundamental alteration in the nature of the County’s land use and zoning regulation, they
1487 may consider whether an alternative reasonable accommodation exists which would effectively
1488 meet the disability-related need. An alternative reasonable accommodation may be the requested
1489 accommodation with conditions. In conducting the review, the Development Services Director, or
1490 designee, may make a site visit to the property where the reasonable accommodation is being
1491 requested.

1492 (e) Determination. Once review of the request is complete, the Development Services
1493 Director, or designee, will make a determination, in writing, to:

1494 (1) Approve the reasonable accommodation request in whole or in part, with or
1495 without conditions; or

1496 (2) Deny the reasonable accommodation request, in accordance with state and
1497 federal law, and state the objective evidence-based reasons for denial and identify any deficiencies
1498 or actions necessary for reconsideration.

1499 The written determination by the Development Services Director, or designee, shall
1500 also include the Applicant's right and method to appeal the determination. If the written
1501 determination is not issued within 60 days after receipt of the completed application, the reasonable
1502 accommodation request is deemed approved unless the parties agree in writing to a reasonable
1503 extension of time.



1504 (f) Appeals. Applicant has 30 days from the date of the Development Services
1505 Director's, or designee's, written determination to appeal the determination or any conditions
1506 included therein, to the County Manager. Appeals must be made in writing and include the name
1507 of the Applicant, address and contact information, a written summary of the reason for the appeal,
1508 an explanation of why the determination or condition is in error, and a copy of the written
1509 determination. Appeals shall be submitted to the Planning and Development Division. The County
1510 Manager shall issue a final decision on the appeal within 45 days of submitting the appeal to the
1511 Planning and Development Division.

1512 (g) No fee. There shall be no fee imposed by the County for the reasonable
1513 accommodation request process outlined in this subsection.

1514 (h) Stay of Enforcement. While a request for reasonable accommodation, or its appeal,
1515 is pending, the County will not enforce any applicable land use and zoning ordinances, rules,
1516 regulations, policies, and procedures against the Applicant.

1517 (i) General Provisions. The following general provisions are applicable to all
1518 reasonable accommodation requests:

1519 (1) The Applicant may apply for a reasonable accommodation on their own
1520 behalf or may be represented at all stages of the reasonable accommodation process by an attorney,
1521 legally appointed guardian, or other person designated by Applicant as a power of attorney.

1522 (2) In the event that a reasonable accommodation is granted, the Applicant shall
1523 continue to comply with any and all other applicable building and/or engineering permitting
1524 processes required by the County’s Code of Ordinances and Land Development Code and all other
1525 state and federal laws.



1526 (3) A reasonable accommodation is specific to the Applicant and does not run
1527 with the subject property.

1528 (j) Revocation. A reasonable accommodation approval may be revoked by the
1529 Development Services Director for cause, including, but not limited to, violation or lapse of the
1530 conditions of approval or failure to maintain state licensure as a certified recovery residence (if
1531 applicable) for more than one hundred eighty (180) days.

1532 * * *

1533 **30.6.12. Home Office. Reserved.**

1534 ~~A home office may be used only by immediate family members actually living on a full~~
1535 ~~time basis at the residence in which the office is located. If a residence is used as a home office,~~

1536 ~~signage and deliveries that are not typical for a residence use and commercial meetings with~~
1537 ~~customers, clients, patients or similar persons are prohibited.~~

1538 * * *

1539 **30.6.16. Vacation rentals.**

1540 30.6.16.1. Definitions pertaining to vacation rentals. For purposes of the regulation of
1541 vacation rentals in Sections 30.6.16.1 through 30.6.16.4 of this Code, the following terms shall
1542 have the meaning given herein.

1543 (a) Hallway: An internal passageway within the vacation rental into which rooms in
1544 the vacation rental may open, is enclosed by partitions or walls, has a ceiling above and a floor at
1545 its base, and enables the transient occupants to reach the exit from within the vacation rental.

1546 (b) Responsible party: The property owner or person/entity designated by the property
1547 owner to be called upon for matters regarding the vacation rental, including but not limited to the
1548 maintenance and upkeep of the property, requests for inspection, emergencies, and to answer for
1549 the conduct and acts of the occupants and guests of the vacation rental. The Responsible Party
1550 shall be available to be contacted at any hour of the day, any day of the week, during any period
1551 of time that the vacation rental is occupied.

1552 (c) Sleeping room: A fully enclosed portion of a dwelling unit, which is directly
1553 connected to a hallway or the exterior of the vacation rental by a door that can be closed and locked
1554 for privacy; not accessed solely by another sleeping room; primarily designed or intended for
1555 sleeping; not equipped with nor wired for cooking facilities; excludes living rooms, kitchens,
1556 bathrooms, hallways, laundry rooms, pantries and the like; and may have a clothing closet and/or
1557 bathroom within.

1558 (d) Transient occupant: A person who occupies a dwelling unit that is a Transient
1559 Public Lodging establishment.

1560 (e) Transient public lodging establishment: As defined in Section 509.013(4)(a)(1),
1561 Florida Statutes, as may be amended or replaced.

1562 (f) Vacation rental: As classified in Section 509.242, Florida Statutes, as may be
1563 amended from time to time. However, Section 30.6.16 shall not apply to any dwelling unit that is
1564 owner-occupied on a full-time basis and provided the means of ingress and egress is through a
1565 hallway internal to the unit to the sleeping room(s) leased by the transient occupant(s).

1566 30.6.16.2 Registration required.

1567 (a) Each vacation rental being advertised or offered to the public must be registered by
1568 the Responsible Party with a third-party vendor authorized by Seminole County prior to
1569 commencement of operation. The Responsible Party for all new and existing vacation rentals
1570 located in unincorporated Seminole County must register beginning October 1, 2020.

1571 (b) A completed vacation rental registration form, and all other required forms and
1572 attachments, must be submitted as part of the registration with the third party vendor to assert and
1573 demonstrate compliance with the requirements of this Ordinance.

1574 (1) The registration form will be made available via online/electronic
1575 submission through the third party vendor and will include:

1576 a. An acknowledgment to comply with existing Seminole County
1577 regulations of noise, solid waste, urban bear management, sexual offenders and sexual predators.

1578 b. An active license number provided by the Florida Department of
1579 Business and Professional Regulation.

1580 c. An active registration with the Florida Department of Revenue.

1581 d. A local tourism tax account number provided by the Office of the
1582 County Tax Collector, or proof that a peer-to-peer platform entity through which the rental is
1583 booked will be remitting all such taxes associated with the vacation rental on the owner's behalf.

1584 e. Proof of payment of local business taxes in compliance with
1585 Seminole County Code Chapter 45, Part 1, Local Business Taxes.

1586 f. An acknowledgment to provide the "Transient Occupation
1587 Information" binder in all vacation rental units.

1588 (2) Other required forms and attachments include:

1589 a. Acknowledgment to comply with Section 30.6.16.3(a) of the
1590 Seminole County Land Development Code regarding maximum occupants and guests authorized
1591 to occupy the vacation rental unit.

1592 b. For a vacation rental with five (5) or more bedrooms, a survey,
1593 scaled sketch or photograph of the vacation rental property identifying the location(s) and
1594 dimensions of the required parking spaces assigned to and reserved specifically for the vacation
1595 rental on the same parcel as the rental, pursuant to Section 30.6.16.3(a)(5) of the Seminole County
1596 Land Development Code.

1597 (c) The registration in the third-party Vacation Rental Registry shall be valid for one
1598 year from the date of application approval or until any of the following circumstances occur:

1599 (1) A change in ownership of the vacation rental; or

1600 (2) A change to the sleeping rooms in the vacation rental.

1601 (d) The following changes/events must be submitted through the Responsible Party's
1602 Vacation rental registration account online via the County's third-party vendor but does not require
1603 an additional fee:

- 1604 (1) A notice of change of the Responsible Party (non-owner); and
1605 (2) A change to the parking spaces for a vacation rental.
1606 (e) Annual renewal of the vacation rental registration with Seminole County's third-
1607 party vendor shall be required. All or a portion of the County's proceeds from the registration fees,
1608 as determined by resolution of the Board of County Commissioners, may be allocated to an
1609 Affordable Housing Trust Fund

1610 30.6.16.3 Minimum vacation rental standards to be verified by ~~self-certification through~~
1611 ~~registration~~ inspection performed by Seminole County Code Enforcement Division.

- 1612 (a) Minimum standards:
1613 (1) Maximum occupants and guests. The maximum amount of transient
1614 occupants authorized to stay overnight at any individual vacation rental shall be limited to two (2)
1615 persons per sleeping room. Additionally, a maximum of four (4) persons under the age of thirteen
1616 (13) shall also be authorized to stay overnight, not to be counted against the maximum occupancy.
1617 The maximum amount of persons allowed to visit as non-overnight guests of the transient
1618 occupants shall not exceed two (2) times the amount of maximum occupants authorized to stay
1619 overnight.

1620 (2) Local telephone service. At least one (1) telephone (landline or cellular)
1621 with the ability to contact Seminole County Emergency 911 Communications Center on a 24-hour,
1622 7-day-a-week basis shall be provided in the main common area of the vacation rental and be clearly
1623 marked as the Emergency Communications Center contact telephone.

1624 (3) Fire extinguisher. At least one (1) fully charged, portable, multi-purpose,
1625 dry chemical ABC fire extinguisher shall be installed and maintained in a clearly marked location
1626 in a centrally located area near sleeping rooms on each floor of the vacation rental. Additionally,

1627 at least one (1) Class K fire extinguisher shall be installed and maintained in a clearly marked
1628 location in a centrally located area near the kitchen of the vacation rental.

1629 (4) Transient occupant information. A binder, book, or file folder clearly
1630 labeled "Transient Occupant Information" with the full address of the vacation rental must be
1631 located in a conspicuous area of the vacation rental, and must contain, at a minimum, all
1632 regulations with which transient occupants and their guests must comply, including:

1633 a. Chapter 165 Noise, Seminole County Code of Ordinances;

1634 b. Section 30.16.2 Noise, Seminole County Land Development Code;

1635 c. Section 30.11.1 Off-street parking requirements, Dwelling
1636 Structures, Seminole County Land Development Code;

1637 d. Section 30.6.16.3(a)(5) Parking Standards, Seminole County Land
1638 Development Code;

1639 e. Chapter 228 Sexual offenders and sexual predators, Seminole
1640 County Code of Ordinances;

1641 f. Chapter 235 Solid Waste, Seminole County Code of Ordinances;

1642 g. Chapter 258 Urban Bear Management, Seminole County Code of
1643 Ordinances, with Map;

1644 h. The 24-hour, 7-day-a-week telephone number of the Responsible
1645 Party;

1646 i. A copy of the survey, scaled sketch, or picture depicting the
1647 location(s) of parking spaces reserved for the vacation rental with a statement that the transient
1648 occupant parking is limited to the area(s) identified on the graphic; and

1649 j. The locations of all nearby hospitals, walk-in clinics, and free-
1650 standing emergency room(s).

1651 (5) Parking standards:

1652 a. Per Section 30.11.3 of the Seminole County Land Development
1653 Code, the minimum required amount of parking spaces for a single-family dwelling, duplex halves,
1654 or multi-family dwelling is two (2). In addition to the minimum requirement of Section 30.11.3 of
1655 the Seminole County Land Development Code, for each sleeping room in excess of four (4), one
1656 (1) additional parking space must be provided.

1657 b. All required parking spaces must comply with minimum net area,
1658 length, and width standards set forth in Section 30.11.3 of the Seminole County Land Development
1659 Code and may be provided in carports, garages, parking lots, or on paved driveways or a driveway
1660 with a stabilized surface that is not part of landscaping. Spaces shall not be provided, nor parking
1661 allowed, in any drainage swale, on a public sidewalk, in the street right-of-way where parking is
1662 not otherwise permitted, in a pedestrian way, bicycle path, or hiking trail.

1663 (6) Non-compliance inspections. In cases of reasonable indication of non-
1664 compliance with the above standards, Seminole County, through Code Enforcement, reserves the
1665 right to perform an inspection of the vacation rental to ensure compliance within the bounds of
1666 applicable law.

1667 (b) Posting of parking information and emergency information.

1668 (1) There shall be posted on the interior of the main egress door of the vacation
1669 rental, the following information:

1670 a. For a vacation rental unit with five (5) or more bedrooms, a survey
1671 or scaled sketch showing the location(s) of all parking spaces assigned to the vacation rental, both

1672 on the property where the vacation rental is located, and any parking spaces that are located on a
1673 separate property pursuant to a signed, notarized agreement with the owner of that separate
1674 property, or within a shared parking lot or structure, pursuant to a letter from those responsible for
1675 the shared parking; and

1676 (2) There shall be posted on the interior of the main egress door and the inside
1677 of the doors of all sleeping rooms, a poster labeled "Emergency Information" in capital letters and
1678 BOLDFACE type, with the following emergency information:

- 1679 a. The full street address for the vacation rental;
- 1680 b. The location of the vacation rental's telephone to reach the Seminole
1681 County 911 Emergency Communications Center;
- 1682 c. The 24-hour, 7-day-a-week telephone number of the Responsible
1683 Party; and
- 1684 d. The location of the "Transient Occupant Information".



1685 30.6.16.4 Violations procedure.

1686 (a) The response to a potential violation of Section 30.6.16.1, Section 30.6.16.2, or
1687 Section 30.6.16.3 of the Seminole County Land Development Code may, without limitation, be
1688 addressed by the provisions of Sections 53.14 and 53.24, regarding violations procedure, Seminole
1689 County Code of Ordinances.

1690 (b) Complaints of violations of these Sections are to be filed by affected members of
1691 the general public with the Code Enforcement Division. ~~Officer. Code violations can be reported~~
1692 ~~to the Seminole County Sheriff's Office at (407) 665-6650 or online~~
1693 ~~at <https://www.seminolesheriff.org/forms/ReportCodeViolation.aspx>.~~

1694 (c) The regulations of vacation rentals as set forth in Sections 30.6.16.1 through
1695 30.6.16.3 of the Seminole County Land Development Code do not authorize persons to violate
1696 applicable restrictive covenants or homeowner association rules and regulations. The County does
1697 not police or enforce private restrictive covenants or homeowner association rules and regulations.
1698 Persons obtaining a Vacation Rental registration certificate under Sections 30.6.16.1 through
1699 30.6.16.3 of this Code are solely responsible for compliance with all applicable restrictive
1700 covenants and homeowner association rules and regulations.

1701 * * *

1702 **30.6.20. Live-work Units.**

1703 **(a) General Requirements.**

1704 (1) Must be consistent with Florida Building Code as follows:

1705 a. The maximum total area of a live/work unit is 3,000 square feet;

1706 b. The nonresidential area shall be limited to 50 percent of the total

1707 area;

1708 c. The nonresidential function shall be limited to the first or main floor

1709 of the structure only;

1710 d. Not more than five (5) employees may occupy the nonresidential

1711 area at any one time;

1712 (2) A live-work unit may be a detached structure, an attached structure, or a

1713 unit within a multi-unit structure; and

1714 (3) Access to each unit must be clearly separated from other live-work units.

1715 (b) Use Regulations. The non-residential component of the unit shall be limited to the

1716 uses permitted in the underlying zoning district, except for the following prohibited uses.

1740 (a) The water's edge of a pool shall be located a minimum distance of ten (10) feet
1741 from the side and rear property line of a lot, parcel, or piece of land upon which it is located. It
1742 shall not be located any closer to the front lot line of a lot, parcel, or piece of land than the main
1743 or Principal Building or residence. For the purpose of this Section, any corner lot shall be treated
1744 as having front yards on any side abutting a road right-of-way.

1745 (b) Any pool screen enclosure shall comply with the side yard setback requirement for
1746 the Principal Building and shall be located a minimum distance of five (5) feet from the rear
1747 property line. It shall not be located nearer to the front lot line of a lot, parcel, or piece of land than
1748 the Principal Building. For the purpose of this Section, any corner lot shall be treated as having
1749 front yards on any side abutting a road right-of-way.

1750 (c) In the case of double frontage lots and where there is a conforming six (6) foot high
1751 minimum solid fence or wall at the rear of the property, a swimming pool shall be no closer than
1752 ten (10) feet to the rear property line and the pool screen enclosure no closer than five (5) feet to
1753 the rear property line.

1754 (d) Refer to Section 30.7.2.3 for specific setback standards for pools near a Natural
1755 Water Body.

1756 (e) Pool grading shall not affect adjacent properties, and the pools shall be designed so
1757 that the backwash discharges to the street unless otherwise approved by the Public Works Director
1758 or designee. All pool construction and maintenance must comply with Chapter 270, Part 9, Storm
1759 Sewer System Discharges, of the Seminole County Code of Ordinances and Chapter 2.6, Erosion
1760 and Sediment Control, of the Public Works Department Engineering Manual.

1761 (f) Pool screen enclosures may exceed the height of the principal structure, but be no
1762 taller than permitted by the applicable zoning district.

1763 30.7.2.5 Yards. On double-frontage lots, the required front yard shall be provided on each
1764 street. Whenever a lot abuts upon an alley, one half (1/2) of the alley width may be considered as
1765 a portion of the required rear yard.

1766 * * *

1767 30.7.2.11 Easements. Any structures or fences, temporary or permanent, shall not impede
1768 the intended purpose of an easement. Any structures, fences, or objects placed in an easement that
1769 impedes the intended purpose of the easement shall be removed by the property owner at the
1770 expense of the property owner.

1771 **Sec. 30.7.3. Dimensional Standards Table.**

1772 30.7.3.1 Dimensional and other standards associated with conventional residential zoning
1773 districts and select Special Zoning districts are described in the table below.

1774 30.7.3.2 Dimensional and other standards associated with conventional non-residential
1775 zoning districts and select Special Zoning districts are described in the table below.



Development Standards																	
Area and Dimension Regulations	RESIDENTIAL																Unit of Measure
	Single- and Two-Family Dwelling Districts									Multiple Family Dwelling Districts			Mobile Home Districts			Other	
	RC-1	R-1AAAA	R-1AAA	R-1AA	R-1A	R-1	R-1B	R-1BB	R-2	R-3	R-3A	R-4	RM-1	RM-2	RM-3	RP	
Min. Lot Area Required	43,560	21,780	13,500	11,700	9,000	8,400	6,700	5,000	9,000				7,000	5,000	1,500 or 2,400 ⁽¹⁴⁾	9,000	Sq. Feet
Min. Parcel/Lot Width at Building Line	120	100	100	90	75	70	60	50	75				70	50 ⁽⁶⁾	30 or 40 ⁽¹⁴⁾	75	Feet
Min. Front Yard Requirement	35	25-20	25-20	25-20	25-20	25-20	20	20	25	25 ⁽¹³⁾	25 ⁽¹³⁾	25	20 ⁽⁸⁾	20	25 ⁽⁹⁾	25	Feet
Min. Side Yard Requirement	20	10	10	10-5	7.5-5	7.5-5	7.5-5	5	10	25 ⁽¹³⁾	25 ⁽¹³⁾	25 ⁽⁵⁾	10 ⁽⁸⁾	10	25 ⁽⁹⁾	10	Feet
Min. Side Yard abutting street or road	35	25-15⁽³⁾	25-15⁽³⁾	25-15⁽³⁾	15 ⁽³⁾	15 ⁽³⁾	15 ⁽³⁾	15 ⁽³⁾	15 ⁽³⁾				20 ⁽⁸⁾	20	25 ⁽⁹⁾	25	Feet
Min. Rear Yard Requirement	35	30-20	30-20	30-20	30-20	30-20	25-20	20	30	25 ⁽¹³⁾	25 ⁽¹³⁾	25 ⁽⁵⁾	20 ⁽⁸⁾	15	25 ⁽⁹⁾	30	Feet
Open Space ^(11, 12)	-	-	-	-	-	-	-	-	-	25%	25%	35%	25%	25%	25%	25%	% of Parcel Area
Maximum Building Height	35	35	35	35	35	35	35	35	35	35	35	60 ⁽⁴⁾	35	35	35	1 Story ⁽⁷⁾	Feet
Minimum Living Area Per Unit:	700	700	700	700	700	450	450	450	450	-	-	-	-	-	-	-	Sq. Feet
Accessory Structures⁽¹⁾																	
Min. Front Yard Requirement	(10)	(10)	(10)	(10)	(10)	(10)	(10)	(10)	(10)	(2)	(2)	(2)	(2)	(2)	(2)	(10)	Feet
Min. Side Yard Requirement	20	(2)	(2)	(2)	(2)	(2)	(2)	(2)	(2)	(2)	(2)	(2)	(2)	(2)	(2)	(2)	Feet
Min. Rear Yard Requirement	20	10	10	10	10	10	10	10	10	(2)	(2)	(2)	(2)	(2)	(2)	(2)	Feet

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Footnotes:

- (1) Accessory buildings exceeding 200 sq. ft. in size and/or 12 feet in height, and any accessory dwelling unit, regardless of size, shall meet all of the district setbacks and other requirements applicable to the main residential structure located on the same parcel.
- (2) Yard requirements shall be the same as those for the primary structure.
- (3) Greater setbacks may be required on intersections with geometric restrictions or other sight limitations. If corner sight obstructions or restrictions exist due to the horizontal or vertical controls, each case shall be individually reviewed and approved by the Traffic Engineer to ensure a safe design in accordance with the A.A.S.H.T.O. requirements.
- (4) No building or structure shall exceed sixty (60) feet in height, and F.A.A. approval shall be obtained for buildings exceeding thirty-five (35) feet in height.
- (5) Increased an additional ten (10) feet for each story over one (1) story.
- (6) Each mobile home residence space shall be not less than five thousand (5,000) square feet and have a minimum average width of fifty (50) feet.
- (7) For new construction only.
- (8) A setback of fifty (50) feet shall be provided from lot lines and any street right-of-way which borders the RM-1 Mobile Homes District.
- (9) The entire park, except for access and egress, shall be set back twenty-five (25) feet from any property line.
- (10) Structure shall not project forward of the front building line of the principal structure.
- (11) Natural lakes and/or conservation areas within a development site shall not be credited to a combined maximum of more than fifty (50) percent of the required open space.
- (12) Open space features and configuration shall be consistent with the requirements of Part 14, Chapter 30.
- (13) In the R-3 and R-3A Multi-Family Dwelling Districts, minimum setbacks shall be established from each dwelling structure to the overall project boundary.
- (14) Each dependent travel trailer or tent camping site shall be not less than an average width of thirty (30) feet and fifteen hundred (1,500) square feet of area. Each independent travel trailer site shall be not less than an average width of forty (40) feet and twenty-four hundred (2,400) square feet

Development Standards															
Area and Dimension Regulations	AGRICULTURE				COMMERCIAL						INDUSTRIAL			Other	Unit of Measure
	A-10	A-5	A-3	A-1	OP	CN	CS	C-1	C-2	C-3	M-1A	M-1	M-2	PLI	
Min. Parcel Area Required	10 Acres	5 Acres	3 Acres	1 Acre	15,000	⁽⁷⁾	⁽⁷⁾	⁽⁷⁾	⁽⁷⁾	⁽⁷⁾	N/A	N/A	N/A	-	Sq. Feet
Min. Parcel Width at Building Line	150	150	150	150	100	-	-	-	-	-	-	-	-	-	Feet
Min. Front Yard Requirement	50	50	50	50	25	50	50	25	25	25	50 ⁽⁹⁾	50 ⁽⁹⁾	50 ⁽⁹⁾	25	Feet
Min. Side Yard Requirement	10 ⁽³⁾	10 ⁽³⁾	10 ⁽³⁾	10 ⁽³⁾	10 ⁽⁶⁾	10 ⁽⁶⁾	10 ⁽⁶⁾	10 ⁽⁶⁾	10 ⁽⁶⁾	10 ⁽⁶⁾	10 ⁽¹⁰⁾	10 ⁽¹⁰⁾	10 ⁽¹⁰⁾	25	Feet
Min. Side Yard abutting street or road	50	50	50	50	10 ⁽⁶⁾	10 ⁽⁶⁾	10 ⁽⁶⁾	10 ⁽⁶⁾	10 ⁽⁶⁾	10 ⁽⁶⁾	10 ⁽¹⁰⁾	10 ⁽¹⁰⁾	10 ⁽¹⁰⁾	25	Feet
Min. Rear Yard Requirement	30 ⁽³⁾	30 ⁽³⁾	30 ⁽³⁾	30 ⁽³⁾	10	10 ⁽⁸⁾	10 ⁽⁸⁾	10 ⁽⁸⁾	10 ⁽⁸⁾	10 ⁽⁸⁾	10	10	10	25	Feet
Open Space ⁽¹¹⁾	-	-	-	-	25%	25%	25%	25%	25%	25%	25%	25%	25%	25%	% of Parcel Area
Maximum Building Height	35 ⁽¹⁾	35 ⁽¹⁾	35 ⁽¹⁾	35 ⁽¹⁾	35	35	35	35	35	35	35	35	35	35	Feet
Structures Accessory to Residences⁽⁴⁾															
Min. Front Yard Requirement	(2, 3)	(2, 3)	(2, 3)	(2, 3)	(5)	(5)	(5)	(5)	(5)	(5)	(5)	(5)	(5)	(5)	Feet
Min. Side Yard Requirement	10 ⁽³⁾	10 ⁽³⁾	10 ⁽³⁾	10 ⁽³⁾	(5)	(5)	(5)	(5)	(5)	(5)	(5)	(5)	(5)	(5)	Feet
Min. Rear Yard Requirement	10 ⁽³⁾	10 ⁽³⁾	10 ⁽³⁾	10 ⁽³⁾	(5)	(5)	(5)	(5)	(5)	(5)	(5)	(5)	(5)	(5)	Feet

1794 Footnotes:

1795 (1) Silos, granaries, windmills, barns, and other structures concurrent to the operation of an agriculture enterprise may exceed the height limit.

1796 (2) Setback shall be equal to or greater than the main residence unless setback is equal to or greater than 100 feet.

1797 (3) Barns & structures for livestock, structures for agricultural use shall have minimum 50 ft. front, side and rear setbacks be distanced a minimum of 100 ft. from any residential structure on an adjacent lot or parcel.

1798 (4) Accessory buildings exceeding 200 sq. ft. in size and/or 12 feet in height, and any accessory dwelling unit, regardless of size, shall meet all of the district setbacks and other requirements applicable to the main residential structure located on the same parcel.

1799 (5) Yard requirements shall be same as the primary structure

1800 (6) Side yard setback may be reduced to zero (0) feet except when a side lot line abuts property assigned a residential zoning classification or land use designation.

1801 (7) No minimum building site area required; however, adequate space will be provided for off-street parking, loading, and landscaping requirements.

1802 (8) Rear yard setback shall be a minimum of ten (10) feet unless a rear lot line abuts property assigned a residential zoning classification or land use designation.

1803 (9) Front yards shall be not less than fifty (50) feet in depth as measured from the front property line to any building. The twenty-five (25) feet of such yard nearest to the front property line shall remain unpaved except for normal entrance drives, and shall be landscaped as required in Part 14. The remaining twenty-five (25) feet of such yard may be used for the parking of passenger vehicles only. Front setbacks for property located internal to an industrial park may utilize a front yard setback of not less than twenty-five feet (25') in depth from the front property line if not less than ten feet (10') of such yard nearest to the front property line is retained as a landscaped green area which is unpaved except for normal entrance drives, and sufficient area for the loading and unloading of vehicles is provided, consistent with generally accepted engineering practices and principles.

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1807 (10) Rear. A rear yard of not less than ten (10) feet shall be provided, except that, on a lot having a double frontage, the front yard requirements shall apply on both streets. Rear yards may be reduced to zero (0) when the rear property line coincides with a railroad siding; however, no trackage shall be located nearer than three hundred (300) feet to any residential district.

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1809 (11) Natural lakes and/or conservation areas within a development site shall not be credited to a combined maximum of more than fifty (50) percent of the required open space

1810 * * *

1811 **PART 8. SPECIAL ZONING DISTRICTS**

1812 **Sec. 30.8.1. Description of Special Zoning Districts.**

1813 * * *

1814 **Sec. 30.8.3. MM Missing Middle District and Alternative Standards.**

1815 30.8.3.1 Intent and Purpose. The purpose of the Missing Middle District and Alternative
1816 Standards is to encourage a wider range of housing choices in central locations accessible to
1817 services. This includes permitting smaller units and more compact site plans to increase
1818 affordability without subsidies.

1819 30.8.3.2 Definitions. Missing Middle Housing is defined as residential units meeting any
1820 of the following definitions which may be alone or in groupings of multiple typologies:

1821 (a) *Small Lot Single-Family*: Single-family homes on small sized lots designed to
1822 increase yield while remaining detached. These types often use unconventional lot dimensions and
1823 site plans responsive to the specific unit design and layout.

1824 (b) *Cottage Court*: A group of small, detached structures arranged around a shared
1825 court visible from the street. The shared court replaces the function of a rear yard. Unit entrances
1826 should be from the shared court.

1827 (c) *Duplex—Side-by-Side*: A duplex with units ~~detached structure that consists of two~~
1828 ~~(2) dwelling units~~ arranged side-by-side with an entry from the street. This type has the appearance
1829 of a small-to-medium single-unit house.

1830 (d) *Duplex—Stacked*: A duplex with units ~~detached structure that consists of two (2)~~
1831 ~~dwelling units~~ arranged one above the other, each with an entry from the street. This type has the

1832 appearance of a small-to-medium single-unit house and fits on narrower lots than the side-by-side
1833 duplex.

1834 (e) *Townhouse*: ~~An attached structure that consists of four (4) to six (6) multi-story~~
1835 ~~dwelling units placed side-by-side. Entries are on the narrow side of the unit and typically face a~~
1836 ~~street or courtyard. A single-family dwelling constructed as a part of a series of dwellings, all of~~
1837 which are either attached to the adjacent dwelling or dwellings by party walls or are located
1838 immediately adjacent thereto with no visible separation between walls or roofs.

1839 (f) *Triplex—Stacked*: A detached structure that consists of three (3) dwelling units
1840 typically stacked on top of each other on consecutive floors, with an entry for the ground floor unit
1841 and a shared entry for the units above.

1842 (g) *Fourplex—Stacked*: A detached structure with four (4) dwelling units, two (2) on
1843 the ground floor and two (2) above, with shared or individual entries from the street. This type has
1844 the appearance of a medium-sized single-unit house.

1845 (h) *Six-plex*: A detached structure that consists of six (6) dwelling units arranged side-
1846 by-side and/or stacked, typically with a shared entry from the street.

1847 (i) *Courtyard Building*: A medium-sized (1 to 3.5-story) detached structure consisting
1848 of multiple side-by-side and/or stacked dwelling units oriented around a courtyard or series of
1849 courtyards. Each unit is accessed from the courtyard or a public sidewalk and shared stairs each
1850 provide access to up to three (3) units.

1851 (j) *Live-Work Unit*: ~~An attached or detached structure consisting of one dwelling unit~~
1852 ~~above or behind a fire-separated flexible ground floor space that can accommodate a range of non-~~
1853 ~~residential uses. The flex space and residential unit typically have separate street entrances. A~~

1854 dwelling unit which includes a nonresidential use that is operated by the tenant and is consistent
1855 with the definition in the Florida Building Code for the same.

1856 30.8.3.3 Review of Development Proposals

1857 (a) ~~Final Development Conceptual Plan Required with application. At the time of~~
1858 ~~application for rezoning to Missing Middle, Prior to subdivision or site plan approval the applicant~~
1859 ~~must submit a final development conceptual plan consistent with the development criteria of Sec.~~
1860 ~~30.8.3. to illustrate the general configuration of the proposed project. and limitations in the Missing~~
1861 ~~Middle and Alternative standards and any conditions of approval. This plan must be reviewed and~~
1862 ~~approved by the Development Services Director or designee. The conceptual plan may include, at~~
1863 a minimum, the following components:

1864 (1) Overall Site Boundary and Orientation. Show property boundaries, major
1865 adjacent streets, and general orientation (north arrow and scale).

1866 (2) Typology or Mixture of Typologies. Indicate the general location, size, and
1867 relationship of proposed land use areas (e.g., residential, commercial, open space, recreation, or
1868 conservation). Each typology shall be labeled with:

1869 a. Proposed use category;

1870 b. Maximum development intensity or density (dwelling units per acre
1871 or FAR); and

1872 c. Approximate acreage.

1873 (3) Access and Circulation Concept. Identify primary vehicular access points,
1874 internal circulation patterns, and general pedestrian or bicycle connections. Street names are not
1875 required, but overall connectivity should be demonstrated.

1876 (4) Open Space and Environmental Features. Show the general location and
1877 proportion of open space, greenways, parks, natural areas, or stormwater features intended to serve
1878 the development.

1879 (5) Transition and Compatibility Areas. Illustrate how the development will
1880 transition to adjacent land uses (e.g., the use of buffers, step-downs in density, or open space
1881 separations).

1882 (6) Phasing Concept. If the development is proposed to be developed in phases,
1883 show general phase boundaries and describe the order of development.

1884 (7) Context Relationship Diagram. Include a small inset map or diagram
1885 illustrating the project’s relationship to surrounding zoning, major roads, and nearby public
1886 facilities or amenities.

1887 (8) A summary table identifying total acreage, typology mix, gross density,
1888 maximum building heights, and open space percentages.



1889 The conceptual plan is intended to demonstrate that the site can accommodate the
1890 Missing Middle design standards, but the overall plan may be adjusted at any time prior to
1891 development as long as the design requirements are still met.

1892 (b) Building Elevations Required. Prior to subdivision or site plan approval, the
1893 applicant must submit building elevations for all proposed Missing Middle Housing Typologies
1894 for review by the Development Services Director or designee.

1895 30.8.3.4 Applicability

1896 (a) Missing Middle (MM) standards may be applied in the following conditions:

1897 (1) MM Zoning District: Where the MM District is applied, typologies within
1898 a proposed development or development types are limited by the applicable Future Land Use

1899 District as described in Table 8.3-A. A development within the MM Zone may include single-
1900 family development consistent with R-1BB standards subject to compliance with Chapter 35.

1901 (2) PD Zoning District: Missing Middle Housing may be approved as part of a
1902 new PD application or a substantial change to an existing PD. Allowable typologies within a PD
1903 are limited by the applicable Future Land Use District as described in the Seminole County
1904 Comprehensive Plan.

1905 30.8.3.5 Specified Zoning Districts. Missing Middle and Alternative Standards may be
1906 used in the zones and under the conditions specified in Table ~~5.2~~8.3-A with limitations on
1907 typology and development type as described.

1908 (a) Missing Middle Development Types:

1909 (1) Missing Middle Development: A development in which only Missing
1910 Middle Typologies are proposed.



1911 (2) Mixed Housing Development: A development in which both Missing
1912 Middle Typologies and Typologies otherwise permitted in the underlying zone are proposed.

1913 30.8.3.6 Allowable Typologies and Densities

1914 (a) Typologies are permitted where described in this Section. The net density of a
1915 proposed development must be consistent with the applicable Future Land Use District.

Table 8.3-A: Permitted Missing Housing -Middle <u>Housing</u> Types										
Applicable Zoning	Permitted Types					Type of Development				
	Small lot Single-Family	Cottage Court	Duplex	Triplex / Quadplex	Townhouse	Sixplex	Courtyard	Live-work	Mixed Housing Development	Missing middle development
In Centers & Corridors:										
R-1, R-1A	●	●	○*	○*					●	●

R-1B, R-1BB	●	●	●	○*	○				●	●
In-USA (Urban Service Area)										
R-2	●	●	●	○**					●	●
R-3, R-3A, R-4	●	●	●	●	●	●	●	●	●	●
C-1, C-2				●	●	●	●	●	●	
OP								●	●	●
MUCD	●	●	●	●	●	●	●	●	●	●
MM or PD Rezoning by FLU										
LDR	●	●	●						●	●
MDR	●	●	●	●	●	●	●		●	●
HDR	●	●	●	●	●	●	●	●	●	●
MXD	●	●	●	●	●	●	●	●	●	●
Commercial				●	●	●	●	●	●	●
Notes: ● Permitted ○ Permitted with a maximum of two (2) Stories * Maximum Living Area per Building: 3,000 SF ** Maximum Living Area per Building: 4,000 SF										

1916
 1917 (b) In addition to the uses and typologies described in Table 8.3-A, any other permitted
 1918 use in the underlying zoning district is allowed within a Missing Middle Development or a Mixed-
 1919 Housing Development. Other permitted uses may be horizontally or vertically integrated with any
 1920 of the allowable typologies subject to meeting the site and building requirements of this Section.
 1921 Live-work units are subject to the limitations of Sec. 30.6.20.

1922 (c) Where the Comprehensive Plan limits percentage of a property that can be
 1923 residential, any lot or land area that is devoted to a mixed-use or live/work building or supporting
 1924 parking areas shall be considered non-residential. Buildings must meet all Florida Building Code
 1925 requirements associated with the designation.

1926 30.8.3.7 Site Regulations:

- 1927 (a) Missing Middle typologies may be clustered or distributed throughout the project.
- 1928 (b) No single Missing Middle typology may exceed five (5) acres of developable land.

1929 (c) Development includes a connected street grid which is accomplished by meeting
1930 the following conditions:

1931 (1) No portion of the project may be gated.

1932 (2) Existing or new streets/drives, whether public or private, shall divide the
1933 site into blocks. Block perimeters must not exceed two thousand (2,000) feet except where access
1934 management criteria for existing County roadways require greater lengths. The block perimeter is
1935 measured as the total length of a line enclosing the block along thoroughfare rights-of-way, internal
1936 streets, and civic spaces.

1937 (3) Sidewalks are required on both sides of every street.

1938 (4) ~~Dead end streets, hammerheads, and culs-de-sac are prohibited except~~
1939 ~~where specifically approved by the Development Services Director when wetlands, water bodies,~~
1940 ~~or infrastructure corridors prevent connections.~~ Connection to adjacent streets is required where
1941 feasible. Feasibility will be determined by the presence of wetlands, waterbodies, infrastructure
1942 corridors, or other features that may limit or prohibit connectivity. Dead end streets, hammerheads,
1943 and culs-de-sac may be allowed where specifically approved by the Development Services
1944 Director, and pedestrian connectivity is provided.

1945 (5) ~~The development must provide connections to all adjoining public streets~~
1946 ~~and trails and existing "stub-outs" on adjacent properties.~~

1947 (6) ~~The development must provide "stub-outs" for future connectivity to~~
1948 ~~adjacent vacant lots.~~

1949 (7)(5) Pedestrian or vehicular connections to existing commercial uses should be
1950 provided where feasible.

1951 (d) Restrictions near development boundaries:

1952 (1) Buildings are limited to two stories within one hundred (100) feet of a
1953 district boundary with an existing single-family development or single-family residential zone.

1954 (2) The lowest intensity typologies within the project shall abut boundaries with
1955 an existing single-family development or single-family residential zone.

1956 30.8.3.8 Additional Site and Building Requirements:

1957 (a) Open Space: Where Open Space is required in the applicable zoning district, those
1958 standards shall be applied. If Open Space is not otherwise required, the standards below shall
1959 apply.

1960 (1) For lots with greater than eight (8) units and a minimum of two (2) acres, a
1961 minimum eight (8) percent of net buildable acreage shall be set aside as Open Space that meets
1962 the standards described below.

1963 (2) Open Space may be provided in multiple locations subject to the following
1964 requirements. Each qualifying Open Space must be:

1965 a. Bordered by streets, stormwater ponds, natural lakes, or commonly
1966 accessible pedestrian pathways.

1967 b. A minimum of .20 contiguous acres.

1968 c. A minimum of forty (40) feet in width, except that open space areas
1969 adjacent to a stormwater pond or natural lake must be a minimum of twenty (20) feet in width
1970 from the top of berm to the public right of way or lot line or a dog park.

1971 d. Open Space shall be proximate to Missing Middle units.

1972 (b) Street Trees. Street trees are required in Missing Middle Developments and on all
1973 streets abutting Missing Middle Typologies in Mixed-Use Developments. Street trees must meet
1974 the following standards:

1975 (1) Be planted an average of forty (40) feet on center on both sides of internal
1976 streets and on existing rights of ways adjoining the site.

1977 (2) Be located in a planting strip or tree well with a minimum width of eight (8)
1978 feet. Tree wells or planting strips less than ten (10) feet in width must incorporate a root barrier at
1979 the edge of pavement.

1980 (3) Be selected from the list of approved Canopy Street Trees (30.14.15(j)).

1981 (4) Meet the standards of Sec. 30.14.16. - General provisions for all landscaped
1982 areas.

1983 (c) Minimum Parking Requirements:

1984 (1) Two parking spaces are required per unit except that parking for units less
1985 than 1000 sq. ft. may be reduced to 1.5 spaces per unit.

1986 (2) On-street parking is required on streets adjacent to missing middle units.

1987 (3) Required parking may be located in common areas or on-street provided
1988 that such parking is within 150 feet of the unit.

1989 (d) Building Frontage:

1990 (1) Buildings not fronting on a street must front on a common open space, a
1991 pedestrian pathway or a multi-use trail.

1992 (2) Buildings not fronting on a street must be part of a common emergency
1993 access plan or be adjacent to an alley built to emergency access standards.

1994 (3) Up to six (6) lots may be accessed by a commonly held easement drive that
1995 is non-gated and designed to allow fire access (aka parking court).

1996 30.8.3.9 Missing Middle Dimensional Standards. Designated Missing Middle Units must
1997 meet the alternative design and dimensional standards described in this Section and in Table 8.3-
1998 B.

1999 (a) Garages, carports, open or screened porches or breezeways may not be counted
2000 toward the Minimum Living Area requirement in Table 8.3-B.

2001 (b) Duplexes, Cottage Court, and High-Density Single-Family structures may be
2002 located on a common lot. Where units are located on a common lot, minimum separation between
2003 structures must be ten (10) feet.

2004 (c) Minimum lot size requirements are not applicable to Missing Middle units

Table 8.3-B: Missing Middle Dimensional Standards								
	Small lot Single-Family	Cottage Court	Duplex	Townhouse	Triplex / Quadplex	Sixplex	Courtyard	Live-work
Minimum Yards in feet:								
o Front	10	10	10	10	10	10	10	15
o Side	5	5	5	5	5	5	10	7.5
o Street Side	10	10	10	10	10	10	10	15
o Rear	5	5	5	5	5	5	5	5
Rear (Accessory Structure)	5	5	5	5	5	5	5	5
Min. Living Area Per Unit (sq. Ft)	400	400	400	400	400	400	400	400
Max Height (in feet)	35	35	35	40	40	40	40	40

2005 * * *

2006 **Sec. 30.8.5. PD Planned Development.**

2007 30.8.5.1 Intent and purpose. The Planned Development (PD) District is intended to
2008 promote flexibility and innovation to meet the needs of County residents and businesses by
2009 facilitating innovative design solutions and development plans, that may be difficult to achieve

2010 under conventional zoning regulations. Planned developments shall promote flexibility and
2011 creativity in addressing changing social, economic and market conditions, especially where they
2012 are used to implement adopted policies of the Comprehensive Plan.

2013 Examples of development concepts that may be appropriate for PD zoning include, but are
2014 not limited to, enhanced protection of natural resource areas, mixed use or transit-oriented
2015 development, and infill development or redevelopment. An increase in density or intensity alone
2016 shall not be a sufficient justification for seeking an alternative to conventional zoning districts.

2017 Development standards to be applied within a planned development shall be established by
2018 the Board of County Commissioners (BCC) at the time of rezoning. Such rezoning shall be
2019 conditioned upon a master development plan and a written development order. Specific criteria for
2020 the development may address, but are not limited to, compatibility with surrounding land uses,
2021 road access, availability and efficient use of utility capacity, coordination with transit, etc.
2022 Architectural and other appearance-related design elements should be included as approval
2023 conditions where the BCC finds they will support goals, such as economic development,
2024 neighborhood compatibility, or aesthetic or environmental enhancement of an area.

2025 General standards of this Code that are not specific to any zoning district, such as parking,
2026 stormwater management, lighting, and landscaping, shall apply within a planned development
2027 unless variations are approved through a PD master development plan and/or development order.

2028 30.8.5.2 Permitted uses—(PD). Except as stated herein, no use shall be specifically
2029 permitted or prohibited within a planned development by requirement of this Part. Uses which are
2030 permitted, permitted subject to conditions, or prohibited within an individual planned development
2031 shall be noted as such through the master development plan and/or development order. In all cases,
2032 allowable uses, including density and intensity limits, shall be consistent with the Comprehensive

2033 Plan. ~~Any use requiring licensing or other approval by the State of Florida or the Federal~~
2034 ~~government shall obtain such approval as a condition for inclusion within any planned~~
2035 ~~development.~~

2036 (a) Accessory dwelling units within any single-family residential lots in a PD may be
2037 administratively approved by the Planning Manager subject to the requirements of Section
2038 30.6.1.3.

2039 (b) For properties seeking Planned Development approval in the Higher Intensity
2040 Planned Development - Airport Future Land Use Designation, the following uses shall be
2041 considered airport-supportive and permitted:

2042 (1) Commercial kennels

2043 (2) Fire stations

2044 (3) Hotels & motels (excluding Bed & breakfast)

2045 (4) Hospitals

2046 (5) Rental car facilities

2047 (6) Light commercial

2048 (7) Industrial trade schools

2049 (8) Flight schools

2050 (9) Light Industrial (See Sec. 30.5.3.)

2051 (10) Manufacturing, Light (See Sec. 30.5.3.)


2052 (11) Office uses (See Sec. 30.5.3.)

2053 (12) Restaurants (standard and drive-through)

2054 (13) Multifamily units such as condominiums, apartments, townhouses and
2055 above-store "flat" housing units are permitted in mixed-use developments only. The provision of

2056 multifamily uses is limited to twenty (20) percent of the total net buildable area of any development
 2057 site and forty-nine (49) percent of the maximum allowed total floor area for the development.

2058 (c) For properties seeking Planned Development approval in the Higher Intensity
 2059 Planned Development- Target Industry Land Use Designation, the following uses shall be
 2060 considered permitted:

<u>Category</u>	<u>Industries</u>
<u>Manufacturing</u>	<u>Plastics and Commercial Printing</u> <u>Electronics/Mechanical Assembly</u> <u>Auto Parts</u> <u>Fasteners/Spacers</u> <u>Construction Products</u> <u>Food Processing</u> <u>Machinery</u> <u>Transport Aircraft</u> <u>Maintenance and Modification</u> <u>Aircraft Manufacturing</u> <u>Aerospace equipment</u>
<u>Advanced Technologies</u>	 <u>Research & Development</u> <u>Space Technology</u> <u>Simulation & Training</u> <u>Laser Technology</u> <u>Robotics</u>
<u>Technical and Research Services*</u>	<u>General Management Consulting</u> <u>Marketing</u> <u>Interior Design</u> <u>Graphic Design Services</u> <u>Human Resources and Executive Search</u> <u>Environmental Engineering and Consulting</u> <u>Precision Instruments</u> <u>Civil Engineering</u> <u>Surveying and Mapping</u> <u>Telecommunications</u> <u>Industrial Design</u> <u>Lasers and Photonics</u>
<u>Distribution</u>	<u>Food Products</u> <u>Consumer Products</u> <u>Restaurant/Commissary</u> <u>Airline Services</u> <u>Aircargo/Mail Services</u> <u>Durable Goods Distribution</u> <u>Non Durable Goods Distribution</u>

<u>Financial and Information Services*</u>	<u>Legal Services</u> <u>Architectural Services</u> <u>Publishers</u> <u>Associations</u> <u>CPA's</u> <u>Headquarters</u> <u>Insurance</u> <u>Banks</u> <u>Telemarketing Bureaus</u> <u>Financial Transactions Processing</u> <u>Public Relations Agencies</u> <u>Credit Bureaus</u> <u>Advertising Agencies</u> <u>Consumer Lending</u> <u>Title Companies</u> <u>Computer Software and Design</u>
<u>Life Sciences*</u>	<u>Hospitals and Medical Education</u> <u>Diagnostic Imaging Centers</u> <u>Medical Laboratories</u> <u>Agriscience Facilities</u> <u>Outpatient Facilities</u> <u>Blood and Organ Banks</u> <u>Research Laboratories</u> <u>Nursing Care Facilities</u> <u>Veterinary Services</u> <u>Pharmaceuticals Manufacturing and Research</u>
<u>Digital Media*</u>	<u>Motion Picture and Video Production</u> <u>Simulation and Training</u> <u>Teleproduction</u> <u>Graphic Design</u> <u>Computer Hardware/Software Design and Development</u> <u>Animation</u>
<u>Other</u>	<u>Long Stay Tourism</u> <u>Hotels and Lodging</u> <u>International Trade</u> <u>Sports Associated Industries</u> <u>Other basic businesses and industries with high annual average wages</u>
<u>*SeminoleWAY Industry and Facility Analysis: Real Estate Research Consultants, Inc.; May 1, 2008.</u>	

2062 (a) Comprehensive Plan Consistency. In approving a planned development, the Board
2063 of County Commissioners shall affirm that the proposed development is consistent with the
2064 Comprehensive Plan, and effectively implements any performance criteria that the Plan may
2065 provide.

2066 (b) Greater Benefit and Innovation Criteria. In addition, PD zoning may be approved
2067 only when the Board determines that the proposed development cannot be reasonably implemented
2068 though existing provisions of this Code, and that a PD would result in greater benefits to the County
2069 than development under conventional zoning district regulations. Such greater benefits must
2070 include two or more of the following:

- 2071 (1) Natural resource preservation.
- 2072 (2) ~~Crime Prevention (CPTED).~~ Undergrounding of all utilities within the
2073 development and, if feasible, at the property boundaries.
- 2074 (3) Neighborhood/community amenities.
- 2075 (4) Provision of affordable or workforce housing.
- 2076 (5) Reduction in vehicle miles traveled per household.
- 2077 (6) Transit-oriented development.
- 2078 (7) Provision of new multimodal connectivity.
- 2079 (8) Innovation in water or energy conservation such as use of Florida Water
2080 Star practices.
- 2081 (9) Innovative development types not currently provided within the County but
2082 consistent with the goals of the Comprehensive Plan.

2083 (10) Demonstrate consistency with DarkSky International Five Principles for
2084 Responsible Outdoor Lighting through the development including the use of DarkSky Approved
2085 Luminaires or equivalent for outdoor lighting fixtures.

2086 (11) Additional landscaping, above that which is required, consists of a
2087 substantial proportion of native plants as identified in the IFAS Florida-Friendly Landscaping™
2088 Plant Guide and is accompanied by a maintenance plan.

2089 (c) In addition, any proposed development under the PD ordinance must address the
2090 following goals:

2091 (1) Meet or exceed the arbor, tree preservation, and tree planting requirements
2092 of this Code on a project-wide basis.

2093 (2) Minimize transportation impacts through design elements, which may
2094 include but are not limited to: multimodal connectivity; electric vehicle charging; infrastructure of
2095 pedestrian or bicycle infrastructure exceeding the minimum standards; shared transportation
2096 parking or devices; pedestrian-oriented architectural design; ~~accommodation or neighborhood~~
2097 ~~electric vehicles~~; transportation demand management; or permitting complementary uses.

2098 (3) If the proposed development falls within an overlay, the development must
2099 comply with the standards of that overlay.

2100 (d) The PD application shall include a narrative addressing the following:

2101 (1) How the proposed development addresses the goals of the Comprehensive
2102 Plan.

2103 (2) ~~Why~~How the proposed development provides a use or design approach that
2104 cannot be achieved under an existing conventional or special zoning district.

2105 (3) How the proposed development provides an innovative approach to land
2106 development.

2107 (4) A description of the greater benefits to the County as described in (b).~~that~~
2108 ~~cannot be achieved under the existing provisions of this Code.~~

2109 ~~(e) Residential PD Design Standards:~~

2110 ~~(1) If lot width is less than forty five (45) feet, homes must be rear loaded,~~
2111 ~~unless otherwise approved by the Board of County Commissioners.~~

2112 ~~(2) Front-facing garage doors must be set back a minimum of twenty (20) feet.~~

2113 ~~(3) Minimum front and rear setbacks at project boundaries shall be twenty five~~
2114 ~~(25) feet, or twenty (20) feet for accessory structures not exceeding one story.~~

2115 ~~(4) Required setbacks adjacent to existing residential development will increase~~
2116 ~~based on elevation/grade changes between developments and proposed building heights, as~~
2117 ~~determined by the Board of County Commissioners.~~

2118 ~~(f) Required Residential Neighborhood Improvements:~~

2119 ~~(1) Street trees are required in generous planting strips to provide for the health~~
2120 ~~of the trees. The street trees may count towards required open space. Street trees shall:~~

2121 ~~a. Be planted an average of forty (40) feet on center on both sides of~~
2122 ~~internal streets and on existing rights-of-way adjoining the site.~~

2123 ~~b. Be in a planting strip or tree well with a minimum width of eight (8)~~
2124 ~~feet. Planting strips less than ten (10) feet in width must include a root barrier.~~

2125 ~~c. Be selected from the "Approved Plant Species List: Canopy Trees,"~~
2126 ~~except that Laurel Oaks may not be used as street trees.~~

2127 d. ~~Meet the standards of Section 30.14.16, General provisions for all~~
2128 ~~landscaped areas.~~

2129 (2) ~~Fifty (50) percent of pond frontage must be open to streets or community~~
2130 ~~parks.~~

2131 a. ~~Where pond frontage is along a park, a walkway (minimum five (5)~~
2132 ~~feet in width) is required unless adjacent to a street with a sidewalk.~~

2133 b. ~~Landscaped areas must comply with the provisions of Section~~
2134 ~~30.14.16 (General provisions for all landscaped areas) and (Water efficient landscaping design~~
2135 ~~requirements).~~

2136 (g)(e) Common Useable Open Space:

2137 (1) ~~In addition to the t~~Twenty-five (25) percent minimum open space
2138 ~~requirements listed in Section 30.8.3.8, commonly accessible open space is required subject to the~~
2139 ~~following standards: criteria of Section 30.14.2.~~

2140 a. ~~Minimum eight (8) percent of net buildable acreage utilized for open~~
2141 ~~space.~~

2142 b. ~~Open Space may be provided in multiple locations however each~~
2143 ~~location must be:~~

2144 1. ~~Bordered by streets, stormwater ponds, natural lakes, or~~
2145 ~~commonly accessible pedestrian pathways.~~

2146 2. ~~Not less than 0.25 contiguous acres. Dog parks and tot lots~~
2147 ~~that are a minimum of seventy five (75) square feet per dwelling unit are also exempt from this~~
2148 ~~requirement and may count towards open space. Dog parks must contain waste disposal~~
2149 ~~receptacles and appropriate signage.~~

2150 3. ~~A minimum of forty (40) feet in width. Except that open~~
2151 ~~space areas adjacent to a stormwater pond or natural lake may be a minimum of twenty (20) feet~~
2152 ~~in width from the top of berm to the public right-of-way or lot line.~~

2153 * * *

2154 30.8.5.8 PD ~~revisions~~ amendments.

2155 (a) Any proposed substantial change to an approved PD, including, but not limited to,
2156 revisions: affecting the intent and character of the development; affecting land use patterns;
2157 affecting phasing that will impact off-site infrastructure; changing the location or dimensions of
2158 major streets or access points; adding property to the PD representing a substantial increase in
2159 density or intensity; or which involve similar substantial changes, shall be considered major
2160 amendments and shall require approval by the Board of County Commissioners. A major
2161 amendment shall be treated as rezoning from PD to PD, revising the development criteria for the
2162 PD zoning, and the associated development order shall be revised or re-issued accordingly.

2163 (b) Non-substantial changes to an approved planned development shall be considered
2164 minor amendments and may be approved by the Development Services Director. Multiple
2165 revisions may be proposed which cumulatively cause the Director to deem them a major
2166 amendment. Minor amendments shall be accomplished through addendum to the development
2167 order and/or a developer's commitment agreement. Minor amendments may include, but are not
2168 limited to, the following:

2169 (1) Additions to structures that do not exceed ten (10) percent of the overall
2170 density or intensity approved within the PD. Additions of ten (10) percent or greater may be
2171 granted as provided in Section 5.19(b)(1).

2172 (2) The addition of accessory structures if the location of such structures does
2173 not interfere with approved site layout (e.g. circulation, parking, loading, storm water management
2174 facilities, open space, landscaping or buffering).

2175 (3) Additions to parking areas that do not encroach into required buffer areas
2176 or otherwise interfere with the approved site layout.

2177 (4) Additional clearing that does not exceed five thousand (5,000) square feet
2178 in area or ten (10) percent of the site. Greater amounts may be approved consistent with Section
2179 5.19(b)(1).

2180 (5) Adjustment of internal property lines or tract boundaries, setback lines,
2181 realignment of internal roads and driveways consistent with the approved site layout and
2182 development concepts.

2183 (6) The removal of property from the PD, provided such removal does not have
2184 a substantial impact on the density or intensity of the PD or on elements of the PD such as buffering
2185 and open space. Property removed from a PD must be rezoned immediately upon such removal.

2186 (7) Other amendments that would not be deemed substantial as described in
2187 subsection 30.8.5.8(a).

2188 (c) Property owners within a planned development may not make incremental
2189 revisions to an approved development plan that adversely affect existing owners or to avoid
2190 classification as a major amendment. Where amendments are allowed under this Section, such
2191 amendments must remain compatible with the balance of the project and consistent with the overall
2192 concept(s) and greater benefits referenced in Section 30.8.5.3, under which the development was
2193 initially approved. Amendment to the PD zoning shall not be pursued to reduce the benefits that
2194 justified the original assignment of PD zoning without replacement of an equivalent benefit.

2195 30.8.5.9 Planned development time limitations. The criteria to determine whether or not
2196 substantial development has occurred within a planned development will be set forth in the
2197 development order approving the planned development. In instances where the development order
2198 does not address the criteria for substantial development, the Development Services Director shall
2199 make a determination based on the current available capacity and infrastructure to support the
2200 remaining development approved by the development order. If substantial development, ~~as~~
2201 ~~determined by the Development Services Director,~~ has not begun within eight (8) years after
2202 approval of the master development plan, the approval of the planned development will be
2203 reviewed by the Planning and Zoning Commission to determine the appropriateness of the planned
2204 ~~unit~~ development zoning classification for the subject property. The Board of County
2205 Commissioners shall consider the recommendations of the Planning and Zoning Commission and
2206 may move to rezone the property to a more appropriate zoning classification or shall extend the
2207 deadline for the start of construction. If an extended deadline granted by the Board is not met, the
2208 foregoing procedures shall reapply.

2209 30.8.5.10 Binding nature of approved development plan. An approved master or final
2210 development plan along with any associated conditions of approval shall be binding upon the
2211 applicant or any successors in interest in the planned development. Deviations from an approved
2212 development plan not in accordance with Section 30.8.5.8 above shall constitute a violation of this
2213 Part and may be subject to code enforcement procedures.

2214 30.8.5.11 Development standards for planned developments. The development standards
2215 for planned developments are as follows:

2216 (a) Relation to Zoning Districts. An approved PD shall be considered to be a separate
2217 zoning district in which the master development plan and PD development order, as approved by

2218 the Board of County Commissioners, or the Development Services Director as permitted in this
2219 Part, establishes the restrictions, regulations, and district description according to which the
2220 development shall occur. Upon approval, the official zoning map will be changed to indicate the
2221 area as PD and the master development plan and PD development order shall be filed with the
2222 Clerk to the Board of County Commissioners and a copy retained within the Planning and
2223 Development Division.

2224 Density and Intensity. The density based on net residential acreage permitted in each PD
2225 shall be established by the Board of County Commissioners, upon recommendation of the Planning
2226 and Zoning Commission. The criteria for establishing the appropriate density includes surrounding
2227 density of existing and approved development, adequacy of existing and proposed public facilities
2228 and services, conformance with the Comprehensive Plan, and site characteristics. Dwelling units
2229 approved in the master development plan for a given tract may be shifted within the PD subject to
2230 the approval of the Development Services Director.

2231 Intensity of commercial or industrial uses within a Planned Development shall be measured
2232 in terms of Floor Area Ratio (FAR) and shall be consistent with the maximum FAR for the
2233 development site established in the Comprehensive Plan. The Board of County Commissioners
2234 may approve such development with a lesser intensity in order to achieve compatibility with
2235 adjoining uses.

2236 (b) Phasing

2237 (1) Where a planned development is to be built in phases, the PD application
2238 shall include a proposed phasing plan for the site, including a schedule for completion of all
2239 improvements shown on the approved master development plan. Once a phasing plan has been

2240 approved, no land may be used and no building may be occupied except in accordance with such
2241 plan.

2242 (2) The purpose of a phasing plan is to ensure that crucial features serving the
2243 development are provided as needed and not delayed to the detriment of property owners and other
2244 users of the site. Such features may include, but are not limited to, buffers, stormwater retention,
2245 road access points and transit shelters. Phase configurations shall be logical and consistent with
2246 the purposes of the approved PD master plan. The Board of County Commissioners may stipulate
2247 that any or all portions of required landscaping and/or buffering, or other improvements and
2248 amenities be provided during the first phase of development, even though some buffer areas,
2249 improvements, or amenities or portions thereof lie outside the phase.

2250 (3) Each phase, at a minimum, must include adequate parking, stormwater
2251 management facilities, landscaping, and all other features needed to serve that portion of the
2252 development. In order to ensure the efficient implementation of the approved PD master
2253 development plan concepts, the Board may require that selected site improvements be constructed
2254 at a faster rate than the overall development. These improvements may be related to engineering
2255 design, general requirements of this Code, or other provisions of the approved master development
2256 plan and may include, but are not limited to parking, stormwater management facilities, erosion
2257 control measures, buffering, and supporting retail or other employment uses. Where the applicant
2258 agrees to provide off-site improvements, such as traffic signals, turn lanes, and sewer lines, the
2259 Board of County Commissioners may require such improvements to be in place upon completion
2260 of any phase of the development.

2261 (4) Where a planned development must achieve a minimum density or intensity
2262 due to requirements of the Comprehensive Plan or other considerations, each phase shall

2263 individually achieve such density or intensity unless the master development plan or PD
2264 development order provide otherwise. Where a PD has been approved as a specific type of
2265 development in support of Comprehensive Plan policies (e.g., including but not limited to transit
2266 oriented development, mixed use in the MXD future land use), each phase shall substantially
2267 advance the approved concepts for the overall development.

2268 (c) Dimensional, bulk and height restrictions. The location of all proposed building
2269 sites shall be as shown on the master development plan subject to the minimum lot sizes, setback
2270 lines, lot coverage, maximum/minimum building height, or floor area, specified in the master
2271 development plan and/or PD development order, as approved by the Board of County
2272 Commissioners.

2273 (d) Commonly Accessible Open space. Open space area requirements for planned
2274 developments ~~shall be provided as indicated below, and unless otherwise stated within the master~~
2275 ~~development plan or PD development order, shall meet the criteria of Section 30.14.2. unless~~
2276 otherwise approved within the master development plan or PD development order.

2277 ~~(1) A minimum eight (8) percent of net buildable acres shall be designed as~~
2278 ~~commonly accessible open space, which shall be included as a part of total open space~~
2279 ~~requirements.~~

2280 ~~(2) Open Space may be provided in multiple locations however each location~~
2281 ~~must be:~~

2282 a. ~~Bordered by streets, stormwater ponds, natural lakes, or commonly~~
2283 ~~accessible pedestrian pathways.~~

2284 b. ~~Not less than 0.25 contiguous acres.~~

2285 e. ~~— A minimum of forty (40) feet in width. Except that open space areas~~
2286 ~~adjacent to a stormwater pond or natural lake may be a minimum of twenty (20) feet in width from~~
2287 ~~the top of berm to the public right-of-way or lot line. Dog parks and tot lots that are a minimum of~~
2288 ~~seventy-five (75) square feet per dwelling unit are also exempt from this requirement and may~~
2289 ~~count towards open space. Dog parks must contain waste disposal receptacles and appropriate~~
2290 ~~signage.~~

2291 (3) ~~— Required sidewalks may be incorporated into the park areas as ADA-~~
2292 ~~compliant pathways subject to Crime Prevention Through Environmental Design (CPTED) design~~
2293 ~~principles (pathways should not be obscured behind hedges, utility structures, or other large~~
2294 ~~objects).~~

2295 (4) ~~— Stormwater ponds must be amenitized as follows:~~

2296 a. ~~— Stormwater ponds must be open to the community and not fenced.~~

2297 b. ~~— Fifty (50) of pond frontage must be open to streets or parks. Where~~
2298 ~~pond frontage is along a park, a walkway (minimum five (5) feet in width) is required unless~~
2299 ~~adjacent to a street with a sidewalk.~~

2300 e. ~~— Landscaped areas must comply with the provisions of Section~~
2301 ~~30.14.16 (General provisions for all landscaped areas) and (Water efficient landscaping design~~
2302 ~~requirements).~~

2303 (e) Access and parking

2304 (1) All streets, thoroughfares, and accessways shall be designed to be consistent
2305 with the roadway functional classification system and other policies of the Transportation Element
2306 of the Comprehensive Plan.

2307 (2) Off-street parking shall be provided in accordance with Section 30.11.2
2308 and/or Section 5.19, unless the applicant can demonstrate the appropriateness of alternate
2309 standards. Such standards must be enumerated in the development order and approved by the
2310 Board of County Commissioners in order to be used within a planned development.

2311 (3) Pedestrian, bicycle and vehicular traffic circulation systems shall be
2312 designed to integrate the proposed development into the surrounding community and to provide
2313 safe and convenient access to public use, common use and other community services, facilities
2314 and activities located both within the proposed development and beyond the boundaries of the
2315 proposed development. Local residential streets shall be designed to discourage travel speeds in
2316 excess of the posted speed and to discourage or restrict their use by through traffic.

2317 (4) ~~Hammerhead turnarounds shall be prohibited.~~ Connection to adjacent
2318 streets is required where feasible. Feasibility will be determined by the presence of wetlands,
2319 waterbodies, infrastructure corridors, or other features that may limit or prohibit connectivity.
2320 Dead end streets, hammerheads, and culs-de-sac may be allowed where specifically approved by
2321 the Development Services Director, and pedestrian connectivity is provided.

2322 (f) Perimeter requirements

2323 (1) Planned developments shall utilize the buffering standards of Part 14 to
2324 maintain compatibility with adjoining properties and uses. ~~However, the Board of County~~
2325 ~~Commissioners may vary these standards as appropriate to meet the unique needs of the proposed~~
2326 PD. A planned development may not decrease any buffer requirement except in accordance with
2327 the following:

2328 a. Reduced Buffer Widths. Required buffers may be adjusted to add or
2329 subtract land area, or to modify specific requirements for structures or landscape plantings. Buffers

2330 having less than the standard widths established in Sec. 30.14.6 “Standard buffers” shall be subject
2331 to an increased landscape planting requirement as per the following:

<u>Opacity</u>	<u>Buffer Width (ft.)</u>	<u>Number of Plant Groups per 100 feet</u>	<u>Enhancement Required</u>
<u>0.3</u>	<u>10</u>	<u>3.00</u>	<u>3' hedge</u>
<u>0.4</u>	<u>10</u>	<u>2.50</u>	<u>3' open metal fence and 3' hedge</u>
<u>0.5</u>	<u>15</u>	<u>3.25</u>	<u>6' masonry wall*</u>
<u>0.6</u>	<u>20</u>	<u>4.00</u>	<u>6' masonry wall*</u>
<u>0.7</u>	<u>30</u>	<u>3.50</u>	<u>6' masonry wall*</u>

*May be reduced to 3' open metal fence and 3' hedge adjacent to a street.

2332 b. Reduced Buffer Widths may not be applied to required buffers
2333 within a specific overlay.

2334 (2)(3) Increased setbacks from the PD perimeter may also be imposed to maintain
2335 compatibility with adjacent existing uses.

2336 (g) Residential PD Design Standards:

2337 (1) If lot width is less than forty-five (45) feet, homes must be rear loaded to
2338 avoid undue frequency of conflicts with pedestrians on the sidewalk, unless the access is from a
2339 private street and the Development Services Director determines that rear access is not feasible
2340 due to site constraints.

2341 (2) Front-facing garage doors must be set back a minimum of twenty (20) feet
2342 from the back of the sidewalk in order to maintain sufficient space for a vehicle to park without
2343 blocking the sidewalk.

2344 (3) Minimum front and rear setbacks at project boundaries shall be twenty-five
2345 (25) feet, or twenty (20) feet for accessory structures not exceeding one story, unless otherwise
2346 approved by the Board of County Commissioners.

2347 (4) Required setbacks adjacent to existing residential development will increase
2348 based on elevation/grade changes between developments and proposed building heights, as

2349 determined by the Development Services Director and approved by the Board of County
2350 Commissioners.

2351 (5) Street trees are required in planting strips to provide for the health of the
2352 trees. The street trees may count towards required open space. Street trees shall:

2353 a. Be planted an average of forty (40) feet on center on both sides of
2354 internal streets and on existing rights-of-way adjoining the site.

2355 b. Be in a planting strip or tree well with a minimum width of eight (8)
2356 feet. Planting strips less than ten (10) feet in width must include root barriers.

2357 c. Be selected from the Approved Plant Species List: Canopy Trees in
2358 Figure 14.1 except that Laurel Oaks may not be used as street trees.

2359 d. Meet the standards of Section 30.14.16, General provisions for all
2360 landscaped areas.



2361 30.8.5.12 Control of area following completion

2362 (a) After completion of a planned development, the use, modification or alteration of
2363 any buildings, structures, or land areas within the development shall be in accordance with the
2364 approved master development plan and the PD development order. Notwithstanding subsequent
2365 platting or other forms of dividing ownership of the planned development, the entire site shall be
2366 subject to the approved master development plan and PD development order.

2367 (b) Amendments to the approved master development plan and/or PD development
2368 order shall be in accordance with Section 30.8.5.8.

2369 * * *

2370 **Sec. 30.8.7. UC University Community District.**

2371 Sec. 30.8.7.1. - Description of district.

2372 The purpose of the University Community District (UC) shall be to provide for the
2373 appropriate development and arrangement of land uses for the community area comprising and
2374 surrounding a university, college, theological school, or other institutions of higher learning; to
2375 assure a land use development pattern which is compatible with university operations; to further
2376 encourage the grouping of those land uses having specific interrelationships; and to protect and
2377 promote the long-term stability of both the university and its surrounding area.

2378 Sec. 30.8.7.2. - Permitted uses.

2379 The following uses shall be permitted within the University Community District:

2380 (a) Universities, colleges, theological schools, or other institutions of higher learning,
2381 including buildings owned or leased for administrative and faculty offices, classrooms,
2382 laboratories, chapels, auditoriums, lecture halls, libraries, observatories, heating and power plants,
2383 laundries, parking facilities, student and faculty centers, athletic facilities, dormitories, fraternities
2384 and sororities, and such other facilities normally provided by a college or university. These uses
2385 shall not be construed to include trade schools or colleges operated for a profit or to include use of
2386 any building, stadium, or other facility for commercial purposes other than under jurisdiction of a
2387 university or college administration.

2388 (b) Public and private schools.

2389 (c) Churches, including educational buildings, kindergartens, voluntary
2390 prekindergarten education programs, and child care facilities, when operated by said church.

2391 (d) Research laboratories or building devoted to commercial, industrial, or scientific
2392 research.

2393 (e) Institutional headquarters for educational, professional, or religious nonprofit
2394 organizations.

2395 (f) Libraries or museums.

2396 (g) Open land uses, including botanical gardens, game preserve, golf courses, and
2397 noncommercial parks and outdoor recreation areas.

2398 (h) Hospitals, public or private, providing health services primarily for inpatients,
2399 medical or surgical care of the sick or injured, and including related facilities, such as, laboratories,
2400 out-patient departments, training facilities, central service facilities, staff offices, and staff housing
2401 which are integral parts of the facility.

2402 Public or private hospitals shall have provision for such of the following facilities as may
2403 be required in order to be accredited by the Joint Commission on Accreditation of Hospitals
2404 sponsored by the American.

2405 College of Physicians, American College of Surgeons, American Hospital Association, and
2406 the American Medical Association.



2407 Emergency facilities, pediatric and obstetric facilities, surgical facilities, pathology and
2408 radiology facilities, pharmacy facilities, dietary department, medical records facilities, medical
2409 library facilities, laundries, and other services and facilities.

2410 Hospitals shall provide for a minimum of one hundred (100) beds, exclusive of bassinets,
2411 and shall have a minimum gross floor area of six hundred (600) square feet per bed. The minimum
2412 site area shall be thirty (30) acres, and the minimum width of the site shall be six hundred (600)
2413 feet

2414 Hospital may consist of a main building and necessary auxiliary buildings.

2415 (i) Medical centers, consisting of a group of facilities providing health services,
2416 including medical research and other related facilities, such as, laboratories, in-patient and out-

2417 patient departments, training facilities, central service and living quarters operated as integral parts
2418 of said centers.

2419 (j) Rehabilitation centers, operated for the primary purpose of assisting in the
2420 rehabilitation of disabled persons and in which a coordinated approach by many professions is
2421 made to the physical, mental, and vocational evaluation of such persons and for the furnishing of
2422 such services as are required.

2423 (k) Public health centers, primarily utilized for the provision of public health services,
2424 including related facilities, such as, laboratories, clinics, and administration offices operated in
2425 connection therewith.

2426 (l) Schools of nursing where affiliated with hospitals or universities.

2427 (m) Offices or clinics (medical, dental, psychiatric, child guidance, and medical
2428 research).



2429 Sec. 30.8.7.3. - Special uses.

2430 The following special uses may be permitted, subject to review of a site plan by the
2431 Planning and Zoning Commission to determine that the proposed location and site arrangement
2432 shall make the uses compatible with adjacent established uses and the existing utility and
2433 transportation systems are adequate to accommodate the proposed development:

2434 (a) Single-family dwellings.

2435 (b) Multi-family dwellings.

2436 (c) Neighborhood commercial developments, designed as a unit to service adjacent
2437 land uses, consisting of such commercial uses as are permitted in the C-1, Retail Commercial
2438 District, except no alcoholic beverages may be sold.

2439 Sec. 30.8.7.4. - Review of development proposals.

2440 Prior to issuance of any building permit within a UC District, a complete site plan, in
2441 accordance with the provisions contained in Chapter 40, shall be reviewed and approved by the
2442 Planning and Zoning Commission.

2443 Sec. 30.8.7.5. - Lapse of development plan approval. _____

2444 Any approval granted by the Planning and Zoning Commission, for any site plan or special
2445 use, shall expire at the end of six (6) months if building permits incorporating the proposal have
2446 not been issued.

2447 Sec. 30.8.7.6. - Site regulations, permitted uses.

2448 (a) Minimum lot size—Ten thousand (10,000) square feet, unless otherwise specified.

2449 (b) Open space requirements—See Part 14, Chapter 30.

2450 (c) Maximum height—One hundred (100) feet.

2451 (d) Setbacks—Minimum of twenty-five (25) feet from all property lines.

2452 (e) Buffer requirements—Part 14, Chapter 30 shall apply.

2453 Sec. 30.8.7.7. - Site regulations, special uses. _____

2454 (a) All single-family development shall comply with the R-1AA Single-Family
2455 Dwelling District Development Standards.

2456 (b) All multi-family developments shall comply with the R-3A Multi-Family Dwelling
2457 District Development Standards. Number of dwelling units, including breakdown of units by
2458 bedroom type, shall be established at time of site plan approval.

2459 (c) All commercial development shall comply with the development standards and
2460 permitted uses contained in the C-1 Retail Commercial District; however, the sale of alcoholic
2461 beverages is prohibited.

2462 Sec. 30.8.7.8. - Off-street parking.

2463 Off-street parking and landscaping shall comply with the requirements contained in Sec. 30.11.6,
2464 Part 11, Chapter 30.

2465 **PART 9. SUPPLEMENTAL REGULATIONS**

2466 * * *

2467 **Sec. 30.9.5. Boat Dock Requirements.**

2468 30.9.5.1 General Regulations.

2469 (a) Where boat docks or boathouses are a permitted use the following requirements
2470 must be met prior to issuance of any applicable permit:

2471 (1) The lot upon which the structure will be developed must have a minimum
2472 thirty (30) feet of frontage on the subject water body.

2473 (2) The lot upon which the structure will be developed must be a legal lot of
2474 record and must meet minimum lot size requirements.

2475 (3) The lot upon which the structure is located must have adequate off-street
2476 parking for at least two (2) vehicles.

2477 (4) The applicant must demonstrate compliance with all local, state and federal
2478 regulations and permit requirements.

2479 (b) No boat dock or boathouse may be rented or leased, and no vessel can be rented
2480 from a residential dock or boathouse.

2481 (c) A boathouse may not be higher than fifteen (15) feet above the normal high water
2482 elevation, as measured in accordance with the definition of "building, height of" in Chapter 2,
2483 Section 2.3 of this Code. The Board of County Commissioners may permit a taller boathouse upon
2484 a determination that the view of the water body from neighboring properties will not be adversely
2485 affected.

2486 (d) No more than three vessel slips per single residential dock and no more than three
2487 vessels moored at any single residential dock or boathouse.

2488 30.9.5.2 Waterfront residential lots. Each residential lot is permitted one (1) boat dock and
2489 one (1) associated boathouse when accessory and incidental to the principal dwelling.

2490 30.9.5.3 Boat dock and floating boat dock setback requirements; permit required.

2491 (a) Setbacks applicable to docks - Side yard accessory use setbacks are applicable to
2492 all boat docks and floating boat docks except for docks at common property lines if approved by
2493 the Planning Manager, or designee, based upon sound and generally accepted land use and
2494 planning principles.

2495 (b) It is unlawful to construct, accomplish construction work, or place at a location any
2496 boat dock or floating boat dock without obtaining a building permit and all required State permits
2497 prior to such activity



2498 ~~30.9.5.4 Dogs in Public food establishments.~~ **Sec. 30.9.6. Dogs in Public food**
2499 **establishments.**

2500 * * *

2501 **Sec. 30.9.7. Alternative density option for affordable housing.**

2502 30.9.7.1 Purpose and intent.

2503 (a) The alternative density option (hereinafter referred to as the "ADO"), is designed
2504 to encourage maximum private sector participation in the development of affordable housing
2505 opportunities within the County. It is the intent of the ADO to reduce development costs by
2506 permitting flexibility in the application of design and development standards where such flexibility
2507 can be reasonably made without reducing the overall quality of life for present and future residents

2508 of the County. It is also the intent of the ADO to reduce the time required for development review
2509 to further facilitate private sector development of affordable housing.

2510 (b) In order to meet the intent of this Part, unless the property is located in an area
2511 designated as a CDBG Target Area designated by the Board of County Commissioners, the
2512 percentage of dwelling units which are provided as very low and low income housing units within
2513 an ADO development ~~shall be not less than ten (10) percent and the number of low income units~~
2514 subject to the deed restriction provided shall not exceed ~~thirty (30)~~ fifty (50) percent of the total.
2515 This provision is intended to ensure that ~~low income~~ affordable units are mixed in with other
2516 income units to prevent concentrated pockets of low income households and to maintain
2517 neighborhood viability.

2518 30.9.7.2. Applicability; compliance. The ADO is not a separate zoning classification, but
2519 is a development option for properties with zoning that permits residential development, assigned
2520 ~~the R-1, R-1A, R-1AA, R-1AAA, R-1AAAA, R-2, R-3, R-3A, and R-4 zoning classifications.~~ An
2521 applicant may submit plans and an application for development approval pursuant to the standards
2522 for the property's assigned these zoning classifications as set forth in this Code ~~or may submit~~
2523 ~~plans and applications for development approval pursuant to the standards and procedures set out~~
2524 ~~in this Part.~~ To the extent that the provisions of this Part are in conflict with other provisions of
2525 this Code, the provisions of this Part shall prevail. Election to use the ADO permits the submission
2526 and review of plans and applications for development approval using the procedures and standards
2527 in this Part. Failure to comply with all mandatory provisions of this Part shall be cause for
2528 revocation of any approvals which have been issued and shall result in transfer of the review to
2529 the conventional process, and shall require compliance with all applicable provisions of this Code
2530 as if the ADO had not been used.

2531 30.9.7.3 Procedure.

2532 (a) It is the intent of this Part that the procedure for submission, review, and
2533 consideration of a proposed development under the ADO provisions of this Part be streamlined to
2534 facilitate rapid and efficient review and consideration. Accordingly, the submission, review, and
2535 procedure set forth below incorporate the procedures established in this Code for subdivision
2536 review and site plan review with limited changes. The applicant may elect to pursue approval of a
2537 development under the provisions of this Part through use of following procedures:

2538 (1) Pre-application meeting. Prior to submittal of a subdivision or site plan, the
2539 applicant shall request a pre-application meeting. Such meeting shall be coordinated by the
2540 Development Services Director and with appropriate Development Review Committee staff. At
2541 this meeting, the applicant shall informally, but comprehensively, review his plans and each
2542 agency represented shall discuss procedures and regulations which shall apply. In addition to
2543 submission and review requirements under this Code, all specific requirements of this Part shall
2544 be discussed. The purpose of the meeting shall be to expedite the preparation and review of plans.
2545 Failure of a review department to inform the applicant of a specific requirement at the pre-
2546 application meeting shall not authorize non-compliance with that requirement.

2547 ~~(2) Staff review coordinator. The Development Services Director shall assign~~
2548 ~~a staff review coordinator to facilitate the review process. It shall be the staff review coordinator's~~
2549 ~~responsibility to ensure that all reviews are completed in an expeditious manner and that~~
2550 ~~information from the review process is conveyed to the applicant on a timely basis. The staff~~
2551 ~~review coordinator shall advise the Development Services Director and other reviewers of any~~
2552 ~~deadlines for the review, as well as any relevant new information. The staff review coordinator~~

2553 ~~shall also be responsible for arranging any meetings of the Development Review Committee and~~
2554 ~~for keeping central records on the review process for the application.~~

2555 ~~(3)(2) Preliminary s~~Preliminary subdivision plan, master development plan, development or
2556 site plan review. Following the pre-application meeting, the applicant shall submit a preliminary
2557 subdivision plan, master development plan, or a site plan as set forth in this Code. In addition to
2558 the other required submittals in this Code, the applicant shall provide the following:

2559 a. A description of the dwelling unit types, sizes and prices (or price
2560 ranges) projected for the development;

2561 b. A description of the recreational and community facilities to be
2562 included within the development, and the services to be provided in conjunction with those
2563 facilities;

2564 c. A description of the phasing of the development, including the mix
2565 of dwelling units and facilities to be included within each phase;

2566 d. A draft affordability agreement guaranteeing limitations on the sale
2567 or rental prices to be charged for the housing;

2568 e. A description of the ~~tenants and/or~~ property owners or homeowners
2569 association(s) to be formed along with an explanation of the means which will be used to ensure
2570 adequate maintenance of any common land or facilities which will become the responsibility of
2571 the residents of the development;

2572 f. The ~~development~~ preliminary subdivision, master development
2573 plan, or site plan and documents required shall be reviewed and approved as provided in this Code.

2574 The draft affordability agreement and additional documents required herein shall be reviewed by

2575 the ~~Development Review Committee~~ Community Services Director and by the County Attorney's
2576 Office.

2577 ~~(4)~~(3) Board review and approval of preliminary ~~plats~~ subdivision plan, master
2578 development plan, and final site plans. After review and approval of the preliminary subdivision
2579 plan and/or the site plan by the ~~Development Review Committee~~ Planning and Development
2580 Division, the ~~application~~ affordability agreement shall be submitted for consideration by the Board
2581 as a consent item. Issuance of a development order and execution of the affordability agreement
2582 will occur upon approval by the Board of County Commissioners.

2583 ~~(5)~~(4) Waivers. ~~Any substantive requirement or standard of this Part may be~~
2584 ~~waived by the Board at the time of preliminary subdivision plan and site plan approval if such~~
2585 ~~waiver is permitted by state law and upon the Board finding that such waiver will result in the~~
2586 ~~construction of affordable housing in the County, except that~~ ~~†~~The minimum provisions for mix of
2587 affordable housing as set forth in this Code shall not be waived. All development permits and
2588 inspection fees may be waived by the Board for applications meeting the minimum requirements
2589 of the ADO if the Board finds that said waiver advances the provision of affordable housing in
2590 Seminole County.

2591 ~~(6)~~(5) Final ~~plan~~ Plat. The applicant shall have ~~one (1)~~ two (2) years from the date
2592 of preliminary subdivision plan approval to file for final ~~plan~~ plat approval for all of the areas
2593 covered in the preliminary subdivision plan or the ~~preliminary~~ approval shall lapse. An extension
2594 of the preliminary subdivision plan approval may be granted by the Board of County
2595 Commissioners for good cause upon written request of the applicant and the Board finding that
2596 good cause has been demonstrated by the applicant.

2597 30.9.7.4 Affordability agreement. Upon approval of an ADO, the applicant shall execute
2598 an affordability agreement in a form acceptable to the County. Such agreement shall include, but
2599 is not limited to, the following:

2600 (a) Assurance that the mix of affordable housing units will be implemented as required
2601 in this Code and that the initial sales prices or rental amounts will be set within a range which is
2602 consistent with the definitions of affordable housing;

2603 (b) Provision that there will be no modification of any portion of the approval without
2604 review of all portions to ensure that the purposes of this Part are complied with.


2605 30.9.7.5 ~~Development~~ Density standards table.

2606 Within the LDR, MDR, HDR, and MXD Future Land Use Designations, the density bonus
2607 shall be established based on the quantity of affordable units provided. For example: for each very
2608 low income unit provided, two (2) additional market rate units may be permitted for a project with
2609 a Low Density Residential designation.



2610 In no case shall the density exceed the maximum density permitted by the Comprehensive
2611 Plan. The maximum bonus shall be calculated according to the table below:

<u>Density Standards Table</u>			
<u>FLU Designation and Unit Type</u>	<u>Quantity of affordable units</u>	<u>Quantity of bonus market rate units</u>	<u>Example project using 10 acres of buildable area</u>
<u>Low Density Residential (LDR)</u>			
Maximum density without bonus: 4 units per net buildable acre			
Maximum density with bonus: 7 units per net buildable acre			
<u>Low Income Units</u>	<u>1</u>	<u>1.5</u>	<u>12 affordable units = 18 extra market rate (max 70 units) (40 units without bonus)</u>
<u>Very Low Income Units</u>	<u>1</u>	<u>2</u>	<u>10 affordable units = 20 extra market rate (max 70 units) (40 units without bonus)</u>

<u>Medium Density Residential (MDR)</u>			
<u>Maximum density without bonus: 10 units per net buildable acre</u>			
<u>Maximum density with bonus: 12 units per net buildable acre</u>			
<u>Low or Very Low Income Rental</u>	<u>1</u>	<u>1</u>	<u>10 affordable units = 10 extra market rate (max 120 units)</u> <i>(100 units without bonus)</i>
<u>Low or Very Low Income Ownership</u>	<u>1</u>	<u>3</u>	<u>5 affordable units = 15 extra market rate (max at 120 units)</u> <i>(100 units without bonus)</i>
<u>High Density Residential (HDR)</u>			
<u>Maximum density without bonus: 20 units per net buildable acre</u>			
<u>Maximum density with bonus: 22 units per net buildable acre</u>			
<u>Low Income Units</u>	<u>1</u>	<u>1</u>	<u>10 affordable units = 10 extra market rate (max 220 units)</u> <i>(200 units without bonus)</i>
<u>Very Low Income Units</u>	<u>1</u>	<u>3</u>	<u>5 affordable units = 15 extra market rate (max at 220 units)</u> <i>(200 units without bonus)</i>
<u>Mixed Development (MXD)</u>			
<u>Maximum density without bonus: 30 units per net buildable acre</u>			
<u>Maximum density with bonus: 50 units per net buildable acre</u>			
<u>Low Income Units Rental</u>	<u>1</u>	<u>1.5</u> 	<u>80 affordable units = 120 extra market rate (max 500 units)</u> <i>(300 units without bonus)</i>
<u>Very Low Income Units Rental</u>	<u>1</u>	<u>3</u>	<u>50 affordable units = 150 extra market rate (max 500 units)</u> <i>(300 units without bonus)</i>
<u>Low Income Units Ownership</u>	<u>1</u>	<u>3</u>	<u>50 affordable units = 150 extra market rate (max 500 units)</u> <i>(300 units without bonus)</i>
<u>Very Low Income Units Ownership</u>	<u>1</u>	<u>4</u>	<u>40 affordable units = 160 extra market rate (max 500 units)</u> <i>(300 units without bonus)</i>

2612 (a) — Minimum size of project/location of project. A parcel must be at least five (5)
 2613 acres and under single ownership or control or be located within a CDBG Target Area
 2614 designated by the Board of County Commissioners.

2615 (b) — ~~Uses. Residential uses shall be permitted, subject to the provisions of this Code.~~
2616 ~~Residential dwelling types which may be permitted include: single family dwellings (including~~
2617 ~~zero lot line dwellings), duplex dwellings, triplex dwellings and quadraplex dwellings. It is the~~
2618 ~~intent of this Part to provide for livable communities with appropriate ancillary community uses~~
2619 ~~and services. Accordingly, other non residential uses may be approved by the Board at the time~~
2620 ~~of approval of the preliminary subdivision plan or final site plan. These uses may include:~~

2621 (1) — ~~Day care facilities;~~

2622 (2) — ~~Community centers; or~~

2623 (3) — ~~Houses of worship.~~

2624 (c) — ~~Location of uses. Multifamily and non residential uses shall be located near to the~~
2625 ~~center of the development to be accessible to the internal circulation system and so as to be~~
2626 ~~remote from adjoining development. Limited passive recreational areas such as walkways and~~
2627 ~~other low intensity recreational activities may be incorporated in residential areas near the~~
2628 ~~periphery of the development to act as a buffer from surrounding neighborhoods, subject to~~
2629 ~~Board approval. In permitting these uses, the Board shall consider the location, character, and~~
2630 ~~extent of the uses and the degree to which noise, light, glare, traffic, or other impacts of the uses~~
2631 ~~or access facilities will adversely impact on the development or surrounding areas.~~

2632 (d) — ~~Density and dimensional regulations.~~

2633 (1) — ~~The overall density of development permitted in an ADO project shall be~~
2634 ~~the same as established for the zoning district in which it is located, provided that the density~~
2635 ~~may be increased as follows if low income housing is provided:~~

Percentage of Low Income Housing Units	Maximum Dwelling Units (DUS) Per Buildable Acre
10 to 15 percent	5 DUS/acre
15 to 20 percent	6 DUS/acre
20 to 30 percent	7 DUS/acre

2636 (2) Table 1 in an attachment to this Part sets forth the density, lot and bulk
2637 standards applicable to specific types of development under the provisions of this Part. These
2638 standards are designed to ensure usable rear yards for zero lot line and duplex structures and
2639 adequate open space between triplex and quadruplex units to maintain the livability of ADO
2640 units. Innovative lot design and alternative lot, yard and unit sizes may be approved on a case-
2641 by case basis upon the Board finding that the proposed design meets the intent of this provision.

2642 (e) Compatibility with adjacent development. Where an ADO development abuts an
2643 existing single family use and development, certain additional restrictions apply. Table 2 in an
2644 attachment to this Part shows which specific uses are permitted in areas immediately adjacent to
2645 the boundary of the development when an ADO abuts a single family district. For the purposes
2646 of this Section, setbacks shall be measured from property line separating the developments and
2647 lot widths shall refer to the lot dimension along the property line with the adjacent development.

2648 (1) Lot widths. A wide divergence of lot widths provides the needed
2649 flexibility for developing affordable housing units. Lot widths, however, should be controlled on
2650 periphery lots adjacent to single family neighborhoods to maintain compatibility. The number of
2651 units visible from the adjacent backyards should be the same to maintain compatibility.

2652 Minimum lot widths shall be as follows:

Minimum Lot Width Standards	
Adjacent Neighborhood	ADO Project
150 feet	100 feet

100 feet	90 feet
90 feet	75 feet
75 feet	70 feet
70 feet	60 feet
60 feet	50 feet

2653 (2) ~~Minimum house size. Affordable housing units may be smaller than~~
 2654 ~~typical single family units. For single family and zero lot line units on peripheral lots, minimum~~
 2655 ~~house sizes to adjacent units shall be as follows:~~

Minimum House Size	
Adjacent Neighborhood	ADO Project
A-1	1,300 square feet
RC1	1,300 square feet
R1AAAA	1,100 square feet
R1AAA	1,100 square feet
R1AA	700 square feet
R1A	700 square feet
All Other Single-family Residential Districts	700 square feet

2656 (f) ~~Parking. Each dwelling unit shall be provided with not less than two (2) off street~~
 2657 ~~parking spaces. In addition, one (1) or more separate areas may be set aside in each development~~
 2658 ~~for supplemental parking of motor vehicles. Such area(s) shall provide for adequate space for~~
 2659 ~~vehicles which might otherwise park on streets, but shall not exceed four (4) spaces for each ten~~
 2660 ~~(10) dwelling units. Such common parking areas shall be located within four hundred (400) feet~~
 2661 ~~of the units they serve.~~

2662 (g) ~~Subdivision standards. Upon making findings that it would be in the best interests~~
 2663 ~~of the public and that the inventory of affordable housing in the County will increase as a result~~
 2664 ~~of a waiver, the Board may waive appropriate subdivision standards. The developer is~~

2665 encouraged to utilize innovative techniques that can reduce the costs of housing. The County
2666 shall review such proposals on a case by case basis.

2667 (h) — Common recreation areas. Each ADO project, except those located within CDBG
2668 Target Areas designated by the Board of County Commissioners, shall provide common
2669 recreational facilities to serve development residents. Neighborhood parks shall be provided for
2670 all ADO projects and community centers may be required for projects which exceed twenty (20)
2671 acres in size. At a minimum, neighborhood parks of a minimum of one half (½) acre in size shall
2672 be located within walking distance (1,320 feet) of each residential unit. Depending on the
2673 configuration and size of the ADO project, these parks may be located centrally or may be
2674 required to consist of two (2) or more parks located throughout the development. Each park shall
2675 be equipped with play equipment, benches, lighting and minimum landscaping and be readily
2676 accessible from sidewalk and pedestrian ways. This requirement may be satisfied if the units are
2677 within walking distance (one thousand three hundred twenty (1,320) feet) of an existing or
2678 planned off-site public recreational facility.

2679 (i) — Community facilities. A community center area may be created to serve the
2680 development. This area shall be located near the physical center of the development and where it
2681 can be served by the internal principal street system. The community center area shall be under
2682 the management responsibility of the residents association. The community center area may
2683 provide facilities for day care, meetings and activities, and a common recreation area.

2684 (j) — Owners associations/community associations. An association or associations shall
2685 be established in connection with any development under these ADO provisions except for those
2686 developments located within CDBG Target Areas as designated by the Board of County
2687 Commissioners. The purpose of such associations shall be to enable the residents of the project


2688 to achieve the maximum benefit therefrom, to facilitate the management of the project in the
 2689 mutual interests of the residents and to maximize the continuing overall quality of the
 2690 development. Those portions of a development which consist of rental housing shall provide for
 2691 a tenants association. Those portions of a development which consist of non rental units shall
 2692 provide for a homeowners association. Where a development includes both rental and non rental
 2693 units, a separate umbrella association covering all residents shall be provided in addition to
 2694 separate associations for owners and renters, except that a single association may represent all
 2695 interests if less than ten (10) percent of the units are in either the rental or home sales category.

TABLE 1: SEMINOLE COUNTY UNIT TYPE DESIGN STANDARDS							
Use	Minimum Lot Size	Minimum Lot Width	Yards			Minimum House Size	Maximum Coverage
			Front	Rear	Side		
Single-family	11,700	90	25	30	10	1,300 s.f.	—
Single-family	9,000	75	25	30	10	1,100 s.f.	—
Single-family	8,400	70	25	30	10	700 s.f.	30%
Single-family	6,700	60	25	30	10	700 s.f.	30%
Single-family	5,000	50	25	30	10	700 s.f.	40%
Zero Lot Line:	Same standards apply except one yard may be 0 feet wide with other side yard will be twice the standard.						
Two Family Dwelling Units							
—1. (Duplex) Units on same parcel	9,000	75	25	30	10	700 s.f.	30%
—2. (Twins) Units on different parcels	9,000*	37.5	25	30	10	700 s.f.	40%
Three Family Dwelling Units							
—1. Units on same parcel	10,000	100	25	30	10	700 s.f.	30%
—2. Units on different parcels	12,000*	34	25	30	10	700 s.f.	30%

Four Family Dwelling Units							
—1. Units on same parcel	12,000	100	25	30	10	700 s.f.	30%
—2. Units on different parcels	14,000*	34	25	30	10	700 s.f.	30%

2696

*Total for ALL units.

TABLE 2: SEMINOLE COUNTY PERIPHERAL COMPATIBILITY						
Uses Permitted	Adjoining Zoning District					
	R-1B	R-1	R-1A	R-1AA	R-1AAA	R-1AAAA
A. Single Family Detached	R-1BB	R-1B	R-1	R-1A	R-1AA	R-1AAA
B. SFD Zero Lot Line*	Yes	Yes	Yes	Yes	Yes	Yes
C. Two Family Dwelling Units						
—1. Duplex Units on same parcel						
—2. Twin Units on separate parcels	Yes	Yes	No	No	No	No
D. Three Family Dwelling Units	Not permitted without rezoning approval.					
E. Four Family Dwelling Units	Not permitted without rezoning approval.					

2697

*Built to the above conventional standards.

2698

Source: Florida Planning Group, Inc., 1991.

2699

* * *

2700

PART 10. OVERLAY DISTRICTS

2701

* * *

2702

Sec. 30.10.2. Scenic Corridor Overlay Zoning District.

2703 * * *

2704 30.10.2.5 Establishment of scenic corridors.

2705 (a) Scenic corridors, in addition to those designated in subsection (b) of this Section,
2706 shall be established by the Board of County Commissioners pursuant to the procedures for
2707 designating land uses on the future land use map of the Comprehensive Plan and as an amendment
2708 to this Code.

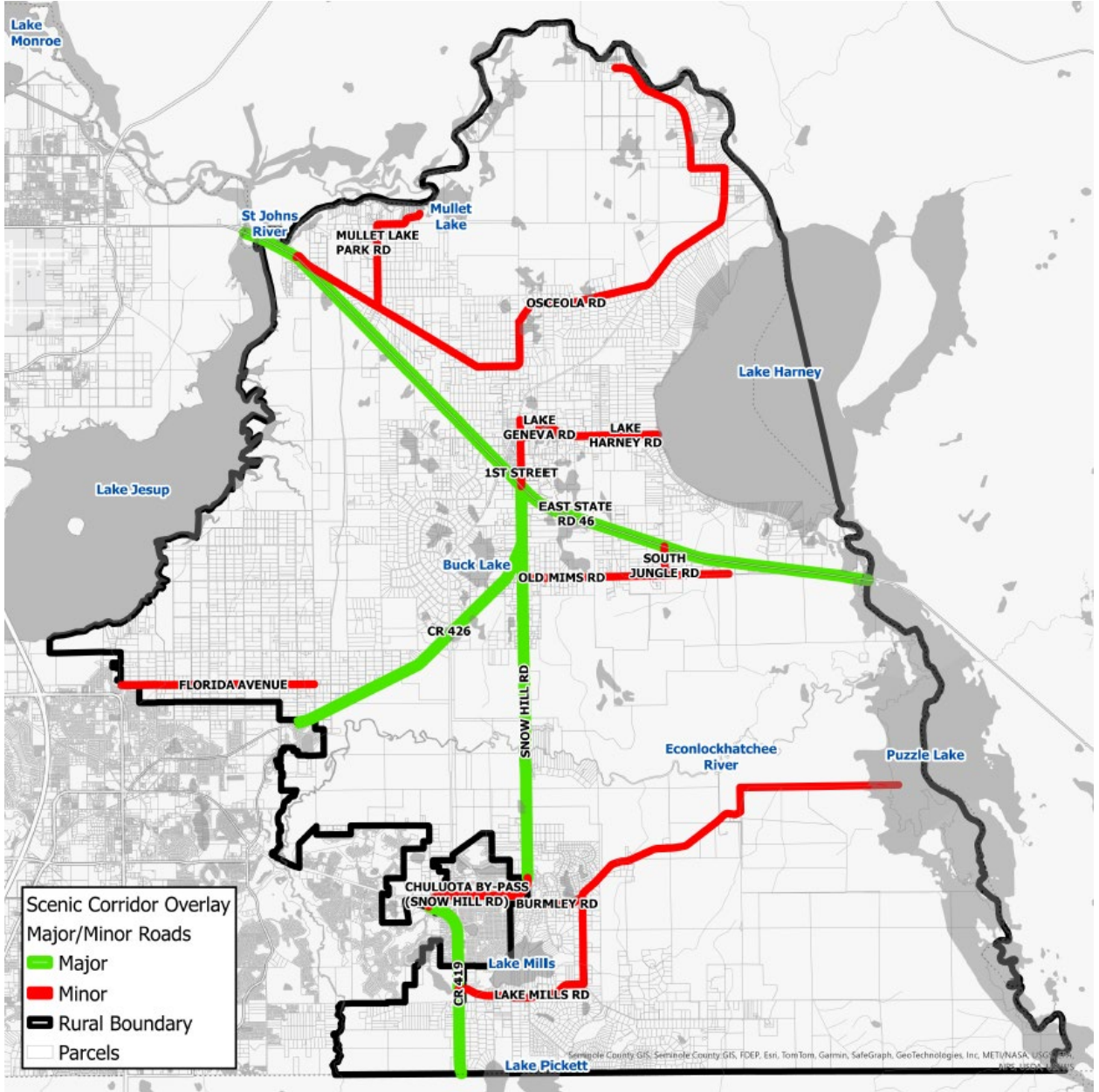
2709 (b) The following scenic corridors are hereby designated within the East Area Study
2710 Boundary of Seminole County as depicted in the map below:

2711 (1) Major roads (as the term is used in this Part): County Road 419 from Lockwood
2712 Road to the Seminole County line, State Road 46 from Lake Jesup to the Seminole County line,
2713 County Road 426 from State Road 434 east to the Seminole County line, and the entire length of
2714 Snowhill Road.



2715 (2) Minor roads (as the term is used in this Part): The entire length of Florida
2716 Avenue, Lockwood Road, Lake Mills Road/Brumley Road that "loops" Lake Mills, the Chuluota
2717 By-Pass, Lake Geneva Road, 1st Street, Lake Harney Road, Old Mims Road/Jungle Road south
2718 of State Road 46, Osceola Road, and Mullet Lake Park Road.

2719 ~~Scenic Corridor~~



2722

2723 * * *

2724 **Sec. 30.10.3. Lake Mary Boulevard Gateway Corridor Overlay Standards**

2725 **Classification.**

2726 * * *

2727 30.10.3.2 Purpose. The purpose of this Part is to ~~insure~~ ensure that the designated Gateway

2728 Corridor is developed in a manner which:

- 2729 (a) ~~Insures~~Ensures the roadway is developed into a well landscaped, scenic gateway;
- 2730 (b) Provides uniform design standards to establish high quality development;
- 2731 (c) Prevents visual pollution caused by unplanned and uncoordinated uses, buildings
2732 and structures;
- 2733 (d) Maximizes traffic circulation functions from the standpoint of safety, roadway
2734 capacity, vehicular and non-vehicular movement;
- 2735 (e) Maintains and enhances property values;
- 2736 (f) Preserves natural features to the extent practicable; and
- 2737 (g) Recognizes and makes allowances for existing uses and buildings

2738 * * *

2739 30.10.3.7 Signage. Signs shall be erected or installed according to the following criteria:

2740 (a) Wall signs. The maximum allowable wall sign area shall be one and one-half (1.5)
2741 square feet per one (1) linear foot of building frontage. Total sign area shall be the sum of all sign
2742 areas excluding window signs or opening banners. No individual wall sign shall exceed one
2743 hundred (100) square feet in size for a building with less than two hundred (200) linear feet of
2744 building frontage. For buildings with building frontage exceeding two hundred (200) linear feet,
2745 no individual sign shall exceed two hundred (200) square feet in size.


2746 (b) Ground signs.

2747 (1) Only one (1) ground sign shall be allowed per parcel with four hundred
2748 (400) feet or less road frontage. If a parcel's road frontage exceeds four hundred (400) feet and is
2749 less than seven hundred (700) feet then a maximum of two (2) ground signs shall be allowed, but
2750 no closer than three hundred (300) feet apart. If a parcel's road frontage exceeds seven hundred
2751 (700) feet, then a maximum of three (3) ground signs shall be allowed, but no closer than three

2752 hundred (300) feet apart. For the purpose of this Part, a parcel does not have to be a legally
2753 subdivided lot.

2754 (2) Vertical structural supports for ground signs shall be concealed in an
2755 enclosed base. The width of such enclosed base shall be equal to at least two-thirds ($\frac{2}{3}$) the
2756 horizontal width of the sign surface. A planter structure shall enclose the foot of the base. The
2757 planter shall be between two (2) and three (3) feet in height above the ground, with a minimum
2758 length equal to the width of the sign and a minimum width of three (3) feet. The base and planter
2759 shall be of brick or alternative materials such as rock, stone, or metal as may be approved by the
2760 Planning Manager if determined that the alternative material would be architecturally compatible.

2761 (3) Any external above ground light source shall be located and hidden within
2762 the planter bed. Light sources located outside the planter bed shall be in a burial fixture.

2763 (4) The maximum height of the entire sign structure shall be fifteen (15) feet
2764 above the elevation of the nearest sidewalk. 

2765 (5) The planter setback shall be a minimum of five (5) feet from the right-of-
2766 way.

2767 (6) The maximum allowable ground sign area shall be one and one-half (1.5)
2768 square feet per one (1) linear foot of building frontage but shall not exceed one hundred (100)
2769 square feet. Ground sign base, sides and top are excluded from the sign area calculation.

2770 (c) Maximum total sign area. In no case shall the sum of total wall sign square footage
2771 plus total ground sign square footage exceed two (2) square feet per one (1) linear foot of building
2772 frontage on any given parcel.

2773 (d) Movement. No ground sign nor its parts shall move, rotate or use flashing lights.

2774 (e) Illumination. Sign lights shall be focused, directed, and so arranged as to prevent
2775 glare or direct illumination or traffic hazard from said lights onto residential districts or onto the
2776 abutting roadways. No flashing or pulsating lights shall be permitted on any sign.

2777 (f) Prohibited signs. Off-premises signs, portable signs, pole signs, and temporary
2778 signs except for advertising on or attached to bus shelters.

2779 (g) Exempted signs. Temporary signs. ~~Real estate signs.~~

2780 (h) Flags. A maximum of three (3) flags may be placed on any parcel. The maximum
2781 size of each flag shall be thirty-five (35) square feet. ~~Flags are permitted as follows: a maximum~~
2782 ~~of one (1) state, one (1) federal and one (1) local/County flag per parcel, each a maximum of thirty-~~
2783 ~~five (35) square feet.~~

2784 (i) Opening banners. Opening banners shall be allowed from two (2) weeks prior to
2785 opening until one (1) month after opening



2786 * * *

2787 **Sec. 30.10.8. Airports.**

2788 * * *

2789 30.10.8.16 Noise.

2790 (a) Where an airport authority or other governing body operating a public-use airport
2791 has conducted a noise study in accordance with 14 CFR Part 150, or where a public-use airport
2792 owner has established noise contours pursuant to another public study approved by the Federal
2793 Aviation Administration, incompatible uses, as established in the noise study in 14 CFR Part 150,
2794 Appendix A or as a part of an alternative Federal Aviation Administration-approved public study,
2795 within the noise contours established by any of these studies, shall be prohibited except if such

2796 uses are specifically contemplated by such study with appropriate mitigation or similar techniques
2797 described in the study.

2798 (b) ~~Airport Avigation Easement Boundary and Noise Level Contours (DNL). In~~
2799 ~~accordance with Policy FLU 5.7 and Policy TRA 2.2.12, Seminole County Comprehensive Plan,~~
2800 ~~any new residential development within the Avigation Easement Boundary, as set forth in the~~
2801 ~~Seminole County Comprehensive Plan Exhibit FLU: Orlando Sanford International Airport~~
2802 ~~Avigation Easement Boundary and Noise Level Contours (DNL), will be required to inform~~
2803 ~~potential purchasers of the impact of aircraft overflights and potential noise via an avigation~~
2804 ~~easement recorded in the Public Records of Seminole County, Florida at the expense of the~~
2805 ~~applicant. New residential developments within the Orlando Sanford International Airport~~
2806 ~~Avigation Easement Boundary, as set forth in the Seminole County Comprehensive Plan, are~~
2807 ~~required to record, in the public records of Seminole County, Florida, an avigation easement over~~
2808 ~~the property to inform potential residences of the impact of aircraft overflights. The avigation~~
2809 ~~easement shall be in a form approved by the County, and the costs associated with preparation and~~
2810 ~~recording of the easement are the responsibility of the applicant.~~

2811 * * *

2812 **Sec. 30.10.11. Creation of State Road 46 Gateway Corridor Overlay Standards**

2813 **Zoning Classification/description of corridor and property affected/applicability.**

2814 (a) Code requirements heretofore and hereafter established, there is hereby created an
2815 overlay zoning classification known as the "State Road 46 Gateway Corridor Overlay Standards
2816 Zoning Classification".

2817 (b) The State Road 46 gateway corridor ("corridor" throughout this Part) subject to the
2818 provisions of this Part shall encompass the area of State Road 46 lying between the CSX Railroad

2819 right-of-way immediately east of the intersection of State Road 46 and Airport Boulevard to North
2820 Center Road, which is located approximately eight hundred (800) feet west of the intersection of
2821 State Road 46 and Orange Boulevard including all property within three hundred twenty (320) feet
2822 of the centerline of State Road 46 throughout such area including intersecting roadways to the
2823 same depth.

2824 (c) The provisions of this Part, except for the provisions relating to burial of utility
2825 service lines, wall requirements and building setback requirements shall not apply to parcels
2826 assigned a single family residential zoning classification or with an existing residential use.

2827 30.10.11.1 Purpose/application of other Code provisions.

2828 (a) The purposes of this Part are to ~~insure~~ensure that the designated State Road 46
2829 gateway corridor is developed in a manner which:

2830 (1) Ensures the development of the corridor as a well landscaped and scenic
2831 gateway.



2832 (2) Provides uniform design standards to establish high quality development.

2833 (3) Prevents visual pollution caused by unplanned and uncoordinated uses,
2834 buildings and structures.

2835 (4) Maximizes traffic circulation functions from the standpoint of safety,
2836 roadway capacity, vehicular and non-vehicular movement.

2837 (5) Maintains and enhances property values.

2838 (6) Preserves natural features to the maximum extent practicable.

2839 (7) Recognizes and makes allowances for existing uses and buildings.

2840 (b) Unless otherwise set forth in this Part, the general provisions and procedures of this
2841 Code shall apply. General variances shall be determined in accordance with the procedures and

2842 provisions of Section 30.3.3 and variances to the design standards of this Part shall be determined
2843 in accordance with the procedures and standards set forth in Part 10 of Chapter 40 pertaining to
2844 site plan requirements.

2845 * * *

2846 30.10.11.6 Signage.

2847 (a) All ~~point-of-sale signs~~ and subdivision signs shall be ground signs in the corridor.
2848 Such ground signs shall be erected or installed according to the provisions of subsection 30.13.3(a)
2849 and the following criteria, whichever is more restrictive.

2850 (b) Total wall sign area shall be computed by adding the square footage of all wall sign
2851 areas on the building, excluding window signs and opening banners. The maximum permissible
2852 wall sign copy area shall not exceed one hundred (100) square feet in size on a building with less
2853 than two hundred (200) linear feet of building frontage. For buildings with building frontage
2854 exceeding two hundred (200) linear feet, no wall sign shall exceed two hundred (200) square feet
2855 in size. For the purposes of this subsection, a parcel need not be a legally subdivided lot if it is
2856 permitted to allow a unified use.

2857 (c) Vertical structural supports for ground signs shall be concealed in an enclosed base.
2858 The width of such enclosed base shall be equal to at least two-thirds ($\frac{2}{3}$) the horizontal width of
2859 the sign surface. A planter structure shall enclose the foot of the base. The planter shall be between
2860 two (2) feet and three (3) feet in height above the ground, with a minimum length equal to the
2861 width of the sign and a minimum width of three (3) feet. The base and planter shall be constructed
2862 of brick, or alternate features such as rock, stone and metal structures may be approved if the
2863 Planning Manager determined that the alternative would be consistent with the purposes set forth
2864 in Section 30.10.11.1. Any external above ground light source shall be located and hidden within

2865 the planter bed. Light sources located outside the planter bed shall be in a burial fixture. The
2866 maximum height of the entire sign structure shall be fifteen (15) feet above the elevation of the
2867 nearest sidewalk. The planter setback shall be a minimum of five (5) feet from the right-of-way.

2868 (d) The maximum permissible ground sign copy area shall be one hundred (100) square
2869 feet. Ground sign base, sides and top shall be excluded from the sign area calculation.

2870 (e) The total maximum permissible copy area on a parcel for both wall signs and
2871 ground signs shall be two (2) square feet for each linear foot of building frontage.

2872 (f) Pole signs, portable signs, temporary signs, off-premise signs and all other forms
2873 of signage are prohibited except that signs on or attached to bus shelters with or without kiosks,
2874 real estate signs, political signs, outdoor advertising signs, one (1) construction sign per project,
2875 banner signs consistent with ~~Subparagraph 30.1243(2)~~ Section 30.13.3, and signs to mitigate
2876 impacts of road construction projects shall be permitted. (Note: In the case of Dick Baird, Inc.
2877 d/b/a Baird Ray Nissan vs. Seminole County (Eighteenth Judicial Circuit Court, March 6, 1995,
2878 Case Number 93-118, certiorari denied, Fifth District Court of Appeal, November 16, 1995) a
2879 three judge panel of the Circuit Court ruled that the Land Development Code's limitation of the
2880 number of American flags displayed on a parcel was invalid.)

2881 * * *

2882 **Sec. 30.10.12. Oxford Place Overlay District.**

2883 * * *

2884 30.10.12.8 Special exceptions. The Board of County Commissioners may permit any of
2885 the following uses upon making the findings of fact required by Section ~~30.1.5(a)~~ 30.3.1.5 of this
2886 Code:

2887 (a) Communication towers; and

2888 (b) Auto-oriented business, such as, but not limited to, convenience stores, gas stations,
2889 car washes, businesses, and restaurants with a drive-through are limited to properties adjacent to
2890 the SR 436 and US 17-92 corridors.

2891 * * *

2892 30.10.12.13 Open space, buffering, and landscaping.

2893 (a) Open Space.

2894 (1) Open space shall be provided at a minimum of fifteen (15) percent of the
2895 gross project site for each development parcel and in compliance with Section 30.14.2.4 of this
2896 Code unless otherwise stated.

2897 (2) Open space areas shall not contain mechanical units and equipment, storage
2898 areas, or other service-related functions.

2899 (3) For development west of Oxford Road open space areas may include up to
2900 seventy-five (75) percent of stormwater retention ponds subject to Section ~~30.14.2.4(f)~~
2901 30.14.2.3(D).

2902 (4) Open Space within any development site must include continuous
2903 walkways linking buildings together and at least two (2) of the following features:

- 2904 a. Outdoor patio/cafe seating areas;
- 2905 b. Pedestrian plazas/kiosk areas;
- 2906 c. Water features with seating areas;
- 2907 d. Rain gardens and/or bioswales;
- 2908 e. Stormwater planters.

2909 (5) Open Space areas not containing hardscape, specific amenities, or
2910 landscaping shall be sodded.

2911 (b) Buffering.

2912 (1) Buffers within the Overlay District shall be required as follows:

2913 a. On development sites adjacent to the District perimeter boundary
2914 not facing US 17-92 and SR 436, buffering shall be provided along the boundary in accordance
2915 with Chapter 30 ~~Part 67~~ Part 14, except that no such buffer shall have an opacity of less than 0.3
2916 as specified in Section ~~30.14.5(b)(1)~~ 30.14.6(a).

2917 b. On development sites adjacent to the District perimeter boundary
2918 facing US 17-92 and SR 436 shall provide the following buffering facing said roadways:

2919 1. Adjacent to overhead utilities:

2920 Five (5) understory trees per one hundred (100) feet of roadway
2921 frontage.

2922 Five (5) shrubs per one hundred (100) feet of roadway frontage.

2923 Three (3) foot tall continuous hedge.

2924 2. No overhead utilities:

2925 Five (5) canopy trees per one hundred (100) feet of roadway
2926 frontage.

2927 Five (5) shrubs per one hundred (100) feet of roadway frontage.

2928 Three (3) foot tall continuous hedge.

2929 c. On any development site, including parcels internal to the District,
2930 buffering may be required by the Board of Adjustment as a condition of approval for a variance or
2931 by the Board of County Commissioners for a special exception pursuant to Section 30.3.1.5.

2932 (c) General Landscaping.

2933 (1) Landscaping not associated with buffers or parking lots shall be provided
2934 within required open space areas, and meet the following criteria:

2935 a. Required plantings per one thousand (1,000) square feet of building
2936 footprint area:

2937 One (1) canopy tree.

2938 Two (2) understory trees.

2939 Seventeen (17) shrubs.

2940 At the applicant's discretion, two (2) understory trees may be substituted for
2941 each one (1) required canopy tree.

2942 b. General landscaping shall be provided on the ground, and/or in tree
2943 wells, pots or raised planter boxes, within a specified distance from a building as follows:

Canopy trees	20 feet
Understory trees	10 feet
Shrubs	10 feet

2944 c. All general landscape plantings shall be visible from a public or
2945 private street, bicycle path, or pedestrian walkway.

2947 * * *

2948 30.10.12.15 Signage.

2949 (a) [Existing signs.] Business signs which conform to Part 65 Sign Regulations,
2950 SCLDC existing as of the effective date of the Oxford Place Overlay District Ordinance may
2951 continue in place and shall not require alternation or removal until such time as the property is
2952 redeveloped. Existing signs may be repaired, maintained or replaced in accordance with Part 65
2953 Sign Regulations, SCLDC.

2954 (b) [New signs.] New signs within the Oxford Place Overlay District shall comply with
2955 the standards of Chapter 30, Part 13, except for wall signs, which shall meet the following
2956 standards:

2957 (1) Wall ~~(building)~~ Signs.

2958 a. ~~Wall signs may not be used in conjunction with blade signs; Must~~
2959 comply with the requirements of Sec. 30.13.3(3).

2960 b. ~~Commercial uses (retail, office and restaurant):~~ One sign per tenant
2961 space; area to be calculated at 0.5 square feet per linear foot of public street frontage with a
2962 maximum of thirty (30) square feet;

2963 ~~c. Second floor commercial uses may also be permitted one second-~~
2964 ~~floor wall sign per tenant space per public street frontage; area to be calculated at 0.25 square feet~~
2965 ~~per linear foot of second floor frontage along that public street;~~

2966 ~~d.c.~~ Live-work and home occupations: One sign limited to an area of
2967 eight (8) square feet maximum.

2968 ~~e.d.~~ May encroach a maximum of twelve (12) inches over a sidewalk
2969 while maintaining a vertical clearance of eight (8) feet from the finished sidewalk;

2970 ~~f. Wall signs should not obscure windows, grill work, piers, pilasters,~~
2971 ~~and ornamental features. Typically, wall signs should be centered on horizontal surfaces (i.e., over~~
2972 ~~a storefront opening); and~~

2973 ~~g. Wall signs may be internally or externally lit. Cutoff fixtures shall~~
2974 ~~be angled toward the face of the wall sign and shall complement the design of the building through~~
2975 ~~style, material and color.~~

2976 **Figure 9: Wall (Building) Sign Illustrative Examples**



2977

(2) ~~Window Signs.~~

2978

a. ~~Window signs may be used in conjunction with other signs;~~

2979

b. ~~Limited to thirty (30) percent of the window area; and~~

2980

c. ~~The following shall be exempt from this limitation:~~

2981

i. ~~Addresses, closed/open signs, hours of operation, credit card~~

2982

~~logos, real estate signs, and now hiring signs shall be limited to ten (10) percent of the window~~

2983

~~area.~~

2984

Figure 10: Window Signs Illustrative Examples

2985



2986

(3) ~~Blade Signs.~~

2987

a. ~~Blade signs may not be used in conjunction with wall signs;~~

2988

b. ~~Shall be permitted for all commercial uses only (retail, restaurant, and~~

2989

~~office);~~

2990

c. ~~Maximum four (4) square feet per sign face;~~

2991

d. ~~May encroach a maximum of three (3) feet over a public sidewalk/R-O-~~

2992

~~W; and~~

2993

e. ~~Blade signs may be attached to the building or hung under the soffit of an~~

2994

~~arcade or under a canopy/awning while maintaining a vertical clearance of eight (8) feet from the~~

2995

~~finished sidewalk.~~

2996

2997 **Figure 11: Blade Signs Illustrative Examples**



- 2998
- 2999 (4) — Awning Signs.
- 3000 a. — Awning signs may not be used in conjunction with canopy signs;
- 3001 b. — The character height shall not exceed two thirds ($\frac{2}{3}$) of the height of
- 3002 the face (vertical or near vertical part) of the awning;
- 3003 c. — When possible, signs shall be horizontally and vertically centered
- 3004 on the face of the awning; and
- 3005 d. — The sign shall not exceed one square foot per linear foot of canopy
- 3006 face length.

3007 **Figure 12: Awning Signs Illustrative Examples**



- 3008
- 3009 (5) — Canopy Signs.
- 3010 a. — Canopy signs may not be used in conjunction with awning signs;
- 3011 b. — The placement of this type of sign shall be limited to the canopy face
- 3012 length;
- 3013 c. — No sign shall project beyond the perimeter of the canopy; and
- 3014 d. — The sign shall not exceed one square foot per linear foot of canopy
- 3015 face length.

3016 **Figure 13: Canopy Signs Illustrative Examples**



3017

(6) — ~~Menu Board Signs.~~

3018

a. — ~~One menu board shall be allowed per street address;~~

3019

b. — ~~Menu boards shall not exceed eight (8) square feet in size and shall~~

3020

~~be positioned so as to be adjacent to the restaurant or business listed on the board and information~~

3021

~~on the board shall advertise exclusively the goods and services of the business and be placed in a~~

3022

~~manner which is clearly visible to pedestrian traffic and in compliance with all Americans with~~

3023

~~Disabilities Act (ADA) regulations;~~

3024

c. — ~~Menu boards shall not be placed in the right-of-way;~~

3025

d. — ~~All standing menu signs shall be removed at the end of each business~~

3026

~~day; an~~

3027



e. — ~~All wall menu signs shall be securely anchored to a wall.~~

3028

Figure 14: ~~Menu Board Signs Illustrative Examples~~

3029



3030

(7) — ~~Wayfinding Signs.~~

3031

a. — ~~Internal development wayfinding signs may provide location maps,~~

3032

~~directions, general information and special notices to add liveliness of the development, as shown~~

3033

~~on Figure 15. The signs shall be designed to match the site architecture and be integrated into the~~

3034

~~layout of pedestrian circulation areas.~~

3035

3036 b. ~~Wayfinding signs may be placed on private property or within~~
3037 ~~public right of way with a Right of Way Use Permit but shall not block site lines or impede safe~~
3038 ~~American with Disabilities Act (ADA) access.~~

3039 **Figure 15: Wayfinding Signs Illustrative Examples**



3040
3041 (8) ~~Gateway Feature Entrance Signs.~~

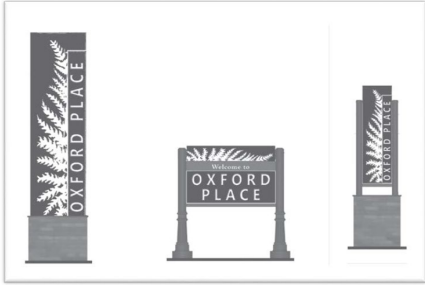
3042 a. ~~Gateway Feature Entrance signs are permitted at the main entrances~~
3043 ~~of Oxford Place at the intersections of:~~

- 3044 i. ~~US Hwy 17 92 and the Fern Park Boulevard Extension;~~
3045 ii. ~~US Hwy 17 92 and Fernwood Boulevard; and~~
3046 iii. ~~SR 436 and Oxford Road~~

3047 b. ~~Gateway Feature Entrance Signs may be placed on private property or~~
3048 ~~within public right of way with a Right of Way Use Permit.~~

3049 c. ~~Gateway Feature Entrance Signs shall not block site lines or impede safe~~
3050 ~~American with Disabilities Act (ADA) access.~~

3051 **Figure 16: Gateway Feature Entrance Signs Illustrative Examples**



3052

3053

* * *

3054

Sec. 30.10.14. Overlay Areas of the Urban Centers and Corridors Overlay.

3055

30.10.14.1. Creation of Overlay Areas.

3056

(a) The Seminole County Comprehensive Plan requires the Core Area be established

3057

within the Land Development Code.

3058

(b) This section establishes the criteria for the Core Area.

3059

(c) Properties located within the Core Area are eligible for density and intensity

3060

incentives per the Urban Centers and Corridors Bonus Program, which is outlined in the

3061

Comprehensive Plan.

3062

(d) Properties located in the Urban Centers and Corridors but not within the Core Area

3063

shall be known as the “Remainder Area.”

3064

30.10.14.2. Purpose.

3065

The purpose of the Core Area is to:

3066

(a) Encourage phased, infill, and redevelopment in a compact and walkable form;

3067

(b) Promote a mix of jobs and housing;

3068

(c) Support multimodal transportation and reduce sprawl; and

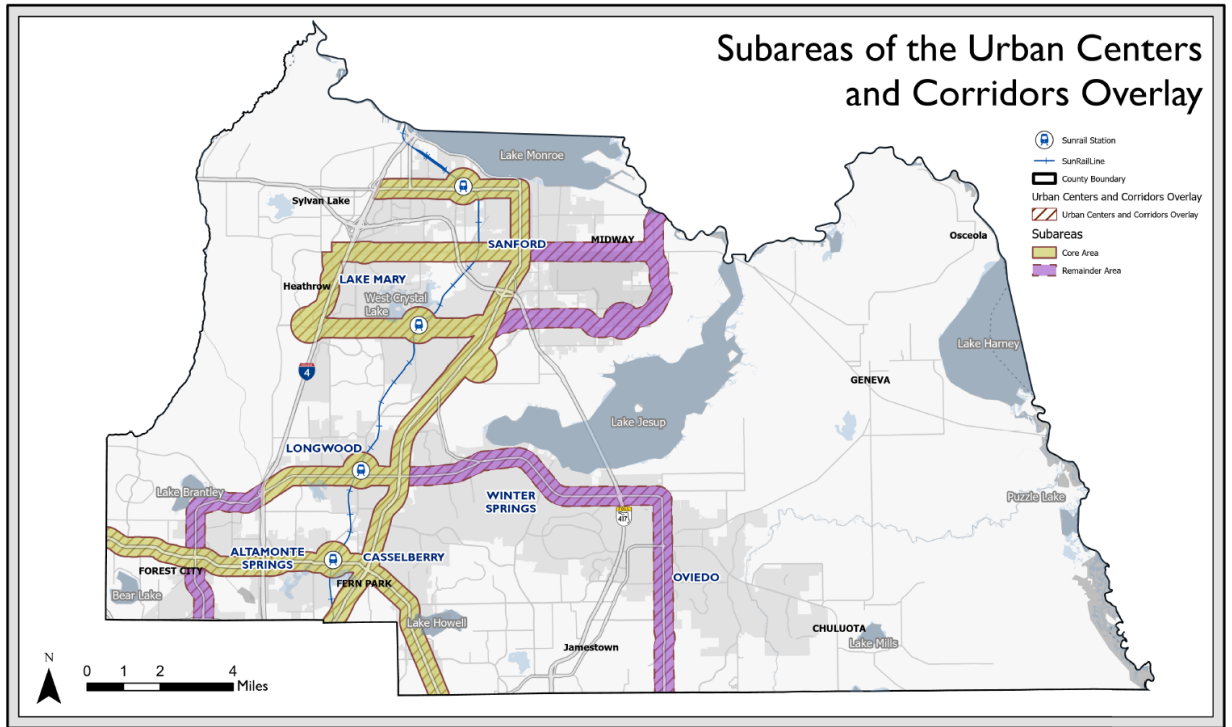
3069

(d) Incentivize affordable and workforce housing by the private sector.

3070

30.10.14.3. Core Area Map.

3071 The Core Area Map illustrates those portions of the Urban Centers and Corridors Overlay
3072 that are part of the Core Area. All areas not designated as part of the Core Area are consider the
3073 “Remainder Area” and subject to the standards thereof.



3074
3075 Core Area Overlay Map

3076 **PART 11. PARKING AND LOADING REGULATIONS**

3077 * * *

3078 **Sec. 30.11.4. Parking reductions and exceptions.**

3079 30.11.4.1 Administrative variances. Consistent with sound engineering practices or federal
3080 or state law, the Development Services Director may approve a variance to the following off-street
3081 parking standards under the following conditions:

3082 (a) When granting such variance would protect and encourage the preservation of large
3083 canopy, specimen or historic trees, or significant areas of existing native vegetation or preserve
3084 existing historic buildings:

3085 (1) Reduction of the number of required off-street parking spaces. A maximum
3086 reduction of one (1) parking space or five (5) percent of the total number of parking spaces
3087 required, whichever is greater, may be permitted.

3088 ~~(2) Reduction of the size of required off street parking spaces. Up to fifty (50)~~
3089 ~~percent of the total required two hundred (200) square feet with a minimum width of ten (10) feet~~
3090 ~~and a minimum length of twenty (20) feet ninety degree parking spaces may be reduced to a stall~~
3091 ~~size of nine (9) feet by eighteen (18) feet to encourage the preservation of significant trees and~~
3092 ~~native vegetation.~~

3093 ~~(3)~~(2) Reduction of the amount of paved area. Paving requirements may be
3094 reduced up to twenty-five (25) percent of the total number of required parking spaces. All unpaved
3095 parking spaces shall be clearly delineated on the site plan and should be located at the periphery
3096 of the building site or otherwise located where such spaces are unlikely to be used on a continuing
3097 basis. The unpaved portion shall have a gravel, mulch, grass, turf block or any durable dust-free
3098 surface placed atop Geoweb or another structural component to ensure vehicles are supported as
3099 approved by the Public Works Director or County Engineer. The area waived from paving
3100 requirements shall not be credited as part of the required landscaped area or open space and
3101 stormwater management standards shall apply.

3102 (b) ~~For existing developed properties on small sites when granting such a variance~~
3103 ~~would preserve existing infrastructure:~~

3104 (1) For existing developed properties of less than three (3) acres when granting a variance
3105 would preserve existing infrastructure: if complying with the requirements of this Part would
3106 render the property unusable for the continuation of uses similar to the historic use of the property
3107 or require demolition of existing buildings to achieve an economically viable use, the Development
3108 Services Director may grant a reduction in parking or parking lot landscaping requirements
3109 sufficient to continue economic viability of the property without the need to demolish buildings
3110 on the property or adjacent sites.

3111 * * *

3112 **~~Sec. 30.11.5. Electrical vehicle (EV) readiness.~~**

3113 ~~30.11.5.1 Purpose. The requirements of this Part are intended to provide electric vehicle~~
3114 ~~charging abilities distributed throughout the County to serve public mobility needs, prepare for~~
3115 ~~emerging electric vehicle technologies, improve air quality, and achieve County sustainability~~
3116 ~~goals.~~



3117 ~~30.11.~~

3118 ~~Applicability. The requirements of this Part shall apply to new development or substantial~~
3119 ~~enlargement of structures. Only the new parking spaces added as part of a substantial enlargement~~
3120 ~~are subject to the requirements of this Section.~~

3121 ~~30.11.5.3 General Requirements.~~

3122 ~~(a) EV Readiness requirements are categorized in two levels as follows:~~

3123 ~~(1) EV Capable: These parking spaces prepare for future Electric Vehicle~~
3124 ~~Supply Equipment (EVSE) installation by providing dedicated electrical capacity sufficient for~~
3125 ~~Level 2 charging or greater and conduit to the EV Capable space. These spaces do not require~~
3126 ~~wiring to the space or a receptacle.~~

3127 (2) — EVSE Installed: These parking spaces are reserved for EVs and provide
 3128 drivers the opportunity to charge electric vehicles using EV charging stations rated sufficient for
 3129 Level 2 charging or greater. These spaces should be installed per the requirements of the National
 3130 Electrical Code (NFPA 70) as adopted and amended by the State of Florida.

3131 **30.11.5.4 Number of Spaces Required.**

3132 (a) — The EV parking requirements are based on a percentage of the minimum required
 3133 parking spaces of this Part.

TYPE	EV Capable**	EVSE Installed (threshold)**
Certified Affordable Multi-Family Housing	20%	N/A
Structured Parking (except Certified Affordable Multi-Family Housing)	20%	2% (requirement begins at 50 spaces)
Surface Parking:		
-Multi-Family and Hotel	20%	2% (requirement begins at 50 spaces)
Commercial* (office, retail, and public, recreational & institutional uses)	10%	2% (requirement begins at 250 spaces)
Industrial (employee parking only)	10%	2% (requirement begins at 250 spaces)
*Commercial projects for fuel retailers in which automotive services is the primary use are excluded from requirements contained in this Section.		
**All partial space requirements are rounded down. Percent of required parking spaces.		

3134
 3135 **30.11.5.5 Location.**

3136 (a) — For Planned Developments and major PD amendments, the number of EV Capable
 3137 and EVSE Installed required spaces must be indicated on the MDP and placement must be
 3138 identified during the final engineering/site plan approval. For all other projects the placement of
 3139 the EV Capable and EVSE Installed required spaces must be identified during the final
 3140 engineering/site plan approval process.

3141 **30.11.5.6 Design.**

3142 (a) — Charging equipment must be mounted on the wall or on a structure at the end of the
 3143 electric vehicle parking space provided.

3144 ~~(b) — No charging devices may be placed within the dimensions of a space, on the sides,~~
3145 ~~or entrance to a space.~~

3146 ~~(c) — When cords and connectors are not in use, they shall be retracted or stored~~
3147 ~~sufficiently high above the pedestrian surface and the parking lot as to prevent conflicts with~~
3148 ~~pedestrians and vehicles.~~

3149 ~~(d) — Cords, cables, and connector equipment shall not extend across the path of travel~~
3150 ~~in any sidewalk or walkway.~~

3151 ~~(e) — Equipment mounted on structures such as pedestals, lighting posts, bollards, or~~
3152 ~~other devices shall be located in a manner that does not impede pedestrian, bicycle, or transit travel.~~

3153 ~~(f) — Alternative designs may be approved by the Planning Manager.~~~~(g) Additional~~
3154 ~~landscape screening may be required for mechanical equipment such as transformers associated~~
3155 ~~with charging equipment, consistent with mechanical equipment screening requirements.~~

3156 ~~**30.11.5.7 Accessibility.** A minimum of one (1) EVSE installed space must be ADA~~
3157 ~~accessible. For projects with more than 25 EVSE installed spaces, additional accessible stations~~
3158 ~~must be provided at a rate consistent with accessibility standards for general parking.~~

3159 ~~**30.11.5.8 Signage.** All EVSE installed parking spaces shall be designated with signage~~
3160 ~~consistent with MUTCD standards.~~

3161 * * *

3162 **Sec. 30.11.7. Miscellaneous design standards.**

3163 (a) Hours of operation. Non-residential uses with after-hour deliveries or service for
3164 late-night customers can generate noise and light during evening hours which may adversely
3165 impact adjoining residences. When these activities occur on the side of a building site adjoining
3166 residences, the hours of operation may be limited during the development approval process to any

3167 combination of hours between 7:00 a.m. and 11:00 p.m. as determined on a case-by-case basis by
3168 the Planning Manager prior to issuance of any building permit for new construction, a building
3169 addition, or a change in use; provided that in no event shall the Development Services Director
3170 limit the hours of operation to less than twelve (12) consecutive hours. In the case of a rezoning to
3171 Planned Development (PD), the Board of County Commissioners shall make the appropriate
3172 findings for such limitations.

3173 (b) Cross-access easements. All development except single-family residential and
3174 duplex uses, with parking lots or other direct access to a public road shall, as part of the
3175 development approval process, establish cross-access easements which provide for the internal
3176 connection of the parcel to adjacent parcels unless the Public Works Director makes a finding that
3177 such joint-access is not feasible or practicable based upon circumstances unique to the properties.

3178 (c) Setbacks and clearance of residential garages.

3179 (1) Front-loaded garages on residential lots must be set back a minimum of
3180 twenty (20) feet, or the minimum setback of the applicable zoning district, from the property line
3181 that the garage door faces

3182 (2) Garage doors facing a rear alley

3183 a. If on-street parking is allowed, then the garage door, facing an alley,
3184 must be set back from the edge of alley pavement as follows:

3185 1. Less than eight (8) feet or;

3186 2. More than twenty (20) feet.

3187 b. If on-street parking is not allowed, then the garage door, facing an
3188 alley, must be set back more than twenty (20) feet from the edge of alley pavement

3189 (3) Attached single-family units with garages on public streets are required to
3190 be served by an alley regardless of unit size, unless otherwise approved by the Board of County
3191 Commissioners. On private streets, the Development services director may waive this based on
3192 compatibility with surrounding area and configurations of the lots.

3193 * * *

3194 **PART 13. SIGN REGULATIONS**

3195 * * *

3196 **Sec. 30.13.3. Sign standards.**

3197 (a) On-premise permanent signs.

3198 (1) Permanent. In general.

3199 a. *Point of sale.* Maximum copy area.

3200 1.——Maximum allowable copy area for wall and ground/pole
3201 signs, unless otherwise specified, shall be a total sign area of two (2) square feet for each linear
3202 foot of primary building frontage. For buildings with a secondary frontage, a sign may be placed
3203 on the secondary building frontage with a maximum copy area of one (1) square foot per linear
3204 foot of the secondary frontage, unless prohibited by ~~located within~~ a special overlay district.

3205 2.——The total point-of-sale sign copy area on any site shall be the
3206 sum of all wall signs, ground/pole signs, and window signs located on the subject property and
3207 designed to be viewed from off the premises.

3208 b. Location Restrictions. Signs shall not be erected, constructed or
3209 maintained so as to obstruct any fire escape or any window or door or opening used as a means of
3210 egress or so as to prevent free passage from one part of a roof to any other part thereof. A sign

3211 shall not be attached in any form, shape or manner to a fire escape, nor be placed in such manner
3212 as to interfere with any opening required for ventilation.

3213 c. Multi-Faced Signs. On any sign with more than one face, the
3214 maximum number of surfaces visible from any location will be counted; provided, however, that
3215 all surfaces of a multi-faced sign shall be equal in size and height and contained within a common
3216 perimeter.

3217 d. Illumination. Sign lights shall be focused, directed, and so arranged
3218 as to prevent glare or direct illumination or traffic hazard from said lights onto residential districts
3219 or onto the abutting roadways. No flashing or pulsating lights shall be permitted on any sign. Lights
3220 shall not exceed .5-foot candles at the property line.

3221 e. Visibility. No freestanding sign shall extend or be located within the
3222 sight triangle.



3223 (2) Freestanding signs.

3224 a. ~~3.~~ Ground/Pole Signs.

3225 1. ~~aa.~~ Only one ground/pole sign shall be allowed per parcel
3226 with four hundred (400) feet or less road frontage. If a parcel's road frontage exceeds four hundred
3227 (400) feet and is less than seven hundred (700) feet, then a maximum of two (2) ground signs shall
3228 be allowed, but no closer than three hundred (300) feet apart. If a road frontage of a parcel exceeds
3229 seven hundred (700) feet, then a maximum of three (3) ground/pole signs shall be allowed, but no
3230 closer than three hundred (300) feet apart. Ground/pole signs shall not be placed on lots with less
3231 than forty (40) feet of road frontage.

3232 2. ~~bb.~~ The maximum height of the entire ground/pole sign
3233 structure shall be fifteen (15) feet above the elevation of the crown of the road that the sign is
3234 facing and intended to be viewed from including highways (e.g., Interstate 4).

3235 3. ~~ee.~~ No ground/pole sign nor its parts shall move, rotate, use
3236 animation or flashing lights. Electronic message centers, including time and temperature displays
3237 shall not display messages that give an illusion of motion and shall maintain each displayed
3238 message for a minimum of five (5) seconds.

3239 4. ~~dd.~~ The sign pole or base must be set back a minimum of ten
3240 ~~structure may be erected at the property line provided no part of the sign projects over the line and~~
3241 ~~is no closer than ten-~~(10) feet ~~to from~~ the property line.

3242 5. Vertical structural supports for ground signs shall be
3243 concealed in an enclosed base. The width of such enclosed base shall be equal to at least two-thirds
3244 ($\frac{2}{3}$) the horizontal width of the sign face. A planter structure shall enclose the foot of the base. The
3245 planter shall be between two (2) and three (3) feet in height above the ground, with a minimum
3246 length equal to the width of the sign and a minimum width of three (3) feet.

3247 4. ~~Sign lights shall be focused, directed, and so arranged as to~~
3248 ~~prevent glare or direct illumination or traffic hazard from said lights onto residential districts or~~
3249 ~~onto the abutting roadways. No flashing or pulsating lights shall be permitted on any sign. Lights~~
3250 ~~shall not exceed .5 foot candles at the property line.~~

3251 b. Shopping center signs.

3252 1. Shopping Centers and Commerce Centers have a
3253 concentration of businesses and non-commercial enterprises that may draw customers from
3254 throughout the region. This section of code authorizes additional freestanding sign area beyond

3255 the limits of the base allowable copy area in Section 30.13.3(A)(1)(a). This sign area shall be based
3256 on the total building area within the shopping centers as follows:

3257 Community Shopping Centers and Commerce Centers with a
3258 building area of 150,000—399,999 sq. ft. shall be allowed an additional 150 sq. ft. of copy area
3259 for a freestanding sign.

3260 Regional Shopping Centers and Commerce Centers with a building
3261 area of 400,000 sq. ft. or more shall be allowed an additional 200 sq. ft. of copy area for a
3262 freestanding sign.

3263 2. Shopping Center Signs are not counted towards maximum
3264 sign copy area. The maximum copy area calculation shall be used to allot wall signage for each
3265 tenant.

3266 b.c. Subdivision signs.



3267 1. May be located in any district, provided the development is
3268 a permitted or approved use in such a district.

3269 2. Such signs shall not be located nearer than ~~twenty five (25)~~
3270 five (5) feet from any intersection of the street right-of-way the property line, and shall be located
3271 outside of any Sight Distance Triangle.

3272 3. Subdivision entrance gates and walls used as subdivision
3273 signs may exceed the height limitations otherwise established when approved by the Board of
3274 County Commissioners, provided same does not create a traffic hazard.

3275 4. In Residential Districts, there shall be no flashing or
3276 animated signs. ~~Also, sign lights shall be so focused, directed, and so arranged as to prevent glare~~

3277 ~~or direct illumination or traffic hazard from said lights onto abutting property or adjacent streets~~
3278 ~~or roads. Lights shall not exceed .5 foot candles at the property line.~~

3279 5. Subdivision signs shall not exceed forty-eight (48) square
3280 feet in area or a maximum height of fifteen (15) feet above the elevation of the crown of the road.

3281 e.d. Flags. A maximum of four (4) flags may be placed on any parcel.
3282 The maximum size of each flag shall be thirty-five (35) square feet. Should the property owner
3283 desire, one (1) large flag, a flag not exceeding one hundred forty (140) square feet may be flown
3284 in lieu of the four (4) smaller flags.

3285 e. Wayfinding Signs.

3286 1. Internal development wayfinding signs may provide
3287 location maps, directions, general information and special notices to the development.

3288 2. One (1) sign per access point or internal driveway
3289 intersection is permitted.

3290 3. If less than four (4) square feet, wayfinding signs do not
3291 count towards maximum sign copy area.

3292 **Figure 13.3A Wayfinding Signs Illustrative Examples**



3293
3294 (3) Wall signs

- 3295 a. Wall signs are subject to the maximum allowable copy area
3296 calculation but are limited to a maximum of 200 square feet;
- 3297 b. Wall signs may be used in conjunction with blade signs;
- 3298 c. Wall signs should not obscure windows, grill work, piers, pilasters,
3299 or ornamental features. Typically, wall signs should be centered on horizontal surfaces;
- 3300 d. Electronic messaging associated with wall signs is not permitted;
3301 and
- 3302 e. Awning and canopy signs shall follow the same provisions as wall
3303 signs.

3304 **Figure 13.3B Wall sign Illustrative Examples**



3306 **Figure 13.3C Awning Signs Illustrative Examples**



3308 **Figure 13.3D Canopy Signs Illustrative Example**



3309

3310 (4) Window graphics and signs.

3311 a. Window graphics and signs may be used in conjunction with other
3312 signs;

3313 b. Window graphics and signs are limited to thirty (30) percent of the
3314 window area. The following shall be exempt from this limitation: Addresses, closed/open signs,
3315 hours of operation, credit card logos, real estate signs, and now hiring signs.

3316 **Figure 13.3E Window Signs Illustrative Examples**



3317

3318 (5) Blade signs.

3319 a. Blade signs may be used in conjunction with wall signs;

3320 b. Blade signs shall be permitted for uses allowed in the Commercial
3321 and Industrial Districts;

3322 c. Only one blade sign per establishment is permitted;

3323 d. The maximum allowable copy area for the blade sign shall be four
3324 (4) square feet per sign face and does not count towards the maximum allowable copy area for on-
3325 premise permanent signs;

3326 e. A blade sign may encroach up to three (3) feet over a private
3327 sidewalk, measured horizontally from the face of the wall, while maintaining a vertical clearance
3328 of eight (8) feet from the finished sidewalk.

3329 **Figure 13.3F Blade Signs Illustrative Examples**



3330
3331 ~~(2)~~(b) On-premise Temporary signs. 

3332 ~~a.~~(1) Trailer signs.

3333 ~~1.~~a. Each property owner, or his properly licensed agent shall prior to
3334 displaying each sign upon any premise, secure a permit for each sign from the Building Division
3335 of Seminole County. A permit shall not be valid for longer than a period of thirty (30) days, after
3336 which time, the trailer sign shall be removed from the premises. A permit cannot be renewed nor
3337 can a permit be obtained for the same business within a period of sixty (60) days after the removal
3338 of a trailer sign from the premises. No more than three (3) permits may be issued to the same
3339 business location in any one calendar year. Any business failing to remove a trailer sign from their
3340 premises, within five (5) days after the expiration or revocation of their permit, will be prohibited

3341 from obtaining a permit for a trailer sign at that business location, for a period of one hundred
3342 twenty (120) days following the removal of the sign.

3343 ~~2.~~b. Trailer signs may be placed at the property line provided no traffic
3344 hazard is created, in which case, they shall be set back a minimum of ten (10) feet, and providing
3345 they are no closer than ten (10) feet to the paved surface of the road.

3346 ~~3.~~c. The placement of a trailer sign in a parking space that is required to
3347 meet the minimum parking requirements shall be prohibited.

3348 ~~4.~~d. The placement of a trailer sign in the public right-of-way will be
3349 cause for the revocation of the permit.

3350 ~~5.~~e. Trailer signs, exclusive of the transportation mechanism, shall not
3351 exceed the exterior measurements of eight (8) feet in height or fourteen (14) feet in length, and
3352 shall not exceed a maximum of one hundred (100) square feet in area per face.

3353 ~~6.~~f. Trailer signs shall be limited to commercial and industrial districts.

3354 ~~7.~~g. There shall be a maximum of one (1) trailer sign per business
3355 location with a minimum spacing of two hundred (200) feet between any two (2) trailer signs on
3356 the same side of the road and no more than three (3) trailer signs every one thousand (1,000) feet
3357 on the same side of the road. Business location refers to a legally subdivided parcel of land on
3358 which there may be one or more separate businesses. By way of illustration, a shopping center
3359 with multiple tenants, is classified as one business location.

3360 ~~8.~~h. Each trailer sign, when in use, shall, in some manner, be securely
3361 fastened to a permanent structure or the ground; further, each trailer sign shall have its wheels
3362 locked so that only the person renting, leasing, owning, or providing the sign shall have the
3363 capability of unlocking the wheels.

3364 ~~9~~.i. All incandescent bulbs in, on, or attached to any trailer sign shall be
3365 P.A.R.-rated outdoor lamps of not more than one hundred (100) watts; however, spot-type bulbs
3366 shall be prohibited on all trailer signs.

3367 ~~10~~.j. Each trailer sign shall have permanently affixed and prominently
3368 displayed the name, business address, and/or phone number of the owner of the sign.

3369 ~~11~~.k. The owner of any business location, with multiple tenants, may elect
3370 to provide the tenants a reasonable opportunity to utilize temporary advertising for special sales or
3371 promotions by entering into an agreement with Seminole County whereby all trailer signs would
3372 be restricted from the property and permanent changeable copy ground signs could be installed. In
3373 order to utilize this option, the owner of the business location shall sign a development order that
3374 would prohibit trailer signs from being placed on the property. The development order would
3375 permit the property owner to erect permanent, changeable copy reader board ground signs on the
3376 property. One (1) reader board ground sign, up to a maximum of three (3) signs per site may be
3377 authorized for each three hundred (300) feet, or fraction thereof, of the business location frontage
3378 along the primary road adjacent to the site. Each reader board ground sign shall be enclosed in a
3379 brick or masonry base, or other material as approved by the current Planning Division, whose
3380 exterior dimensions shall not exceed a height of eight (8) feet or a length of fourteen (14) feet. The
3381 copy area of the sign will not be counted against the allotted point-of-sale copy area, and the sign
3382 shall maintain a one hundred (100) feet separation from any ground/pole sign on the property.

3383 ~~b~~.(2) *Real estate signs.*

3384 ~~1~~.a. In residential districts signs shall not exceed six (6) square feet in
3385 area unless the tract size is in excess of two (2) acres. If the tract size is in excess of two (2) acres,
3386 signs shall not exceed sixty-four (64) square feet.

3387 ~~2.~~b. In residential districts where a subdivision is being developed or
3388 offered for sale, a combination of real estate and subdivision sign, maximum size of two hundred
3389 (200) square feet, may be erected on the property which is being developed or offered for sale until
3390 such time as the subdivision is completed.

3391 ~~3.~~c. In residential districts, no sign over six (6) square feet shall be
3392 erected closer than one hundred (100) feet from the nearest existing house.

3393 ~~4.~~d. In commercial, agricultural, and industrial districts, real estate or
3394 combination real estate and subdivision signs shall not exceed three hundred (300) square feet.

3395 ~~5.~~e. No more than one (1) real estate sign or combination real estate and
3396 subdivision sign may be erected on any one road frontage for each tract or parcel of land offered
3397 for sale or lease.

3398 ~~6.~~f. The maximum height of the sign structure shall not exceed fifteen
3399 (15) feet above the elevation of the crown of the road.

3400 ~~e.~~(3) *Construction signs.*

3401 ~~4.~~a. No more than two (2) signs denoting the owner, architect, engineer,
3402 financial institution, or contractor may be erected on a lot or parcel of land under construction. The
3403 total copy area of both signs shall not exceed one hundred (100) square feet. The sign must be
3404 removed prior to the issuance of the certificate of occupancy.

3405 ~~2.~~b. Such signs must be set back in accordance with the building setback
3406 requirements of the district.

3407 ~~d.~~(4) *Banners, pennants, balloons, streamers, and similar displays.* Banners,
3408 pennants, balloons, streamers, and similar displays shall be allowed:

3409 ~~1.a.~~ One (1) time only for a new business, from two (2) weeks prior to
3410 the opening/grand opening until one (1) month after the opening/grand opening.

3411 ~~2.b.~~ For ~~noncommercial~~ activities on parcels or lots in residential
3412 districts, from one (1) month prior to the activity until two (2) weeks after the activity.

3413 ~~e.(5)~~ *Motor vehicle sign.* A motor vehicle sign as hereinbefore defined shall not
3414 be parked and left unattended when utilized primarily as a means of promotion or advertising.

3415 ~~f.(6)~~ *Inflatable advertisement.* Inflatable advertising signs shall be allowed only
3416 one (1) time per year for any business location or shopping center. The permit shall be valid for
3417 no more than seven (7) days, and said sign shall not exceed a height of thirty (30) feet nor exceed
3418 a maximum of three hundred (300) square feet of copy area.

3419 ~~g.(7)~~ *Signs to mitigate impacts of road construction projects.* Temporary signs
3420 shall be allowed on properties assigned a commercial or industrial zoning classification during the
3421 time period in which a road construction project impairs access to or visibility of a parcel and the
3422 commercial enterprise located thereon. Such signage shall be temporary in design and construction
3423 and shall not be permanently affixed to any structure of whatsoever type or nature. Such signage
3424 shall not exceed thirty-two (32) square feet in size per parcel and may consist of banners or trailer
3425 signs. The permit issued for such signage shall be valid for during the period which active road
3426 construction is occurring as determined by the Planning Manager in conjunction with the County
3427 Engineer. Such signage shall be removed not later than five (5) days after active road construction
3428 has permanently ceased for the road construction project as determined by the Planning Manager
3429 in conjunction with the County Engineer.

3430 ~~(b)(c)~~ *Off-premise signs.*

3431 (1) ~~Permanent.~~ Outdoor advertising signs

3432 a. ~~Outdoor advertising signs.~~

3433 ~~1-a.~~ Shall be permitted as specified in the applicable zoning
3434 classifications.

3435 ~~2-b.~~ Shall be setback in accordance with the applicable building setback
3436 requirements for the zoning districts and shall not be located nearer than one hundred (100) feet to
3437 a residential district. All structures shall be of all steel construction and of a monopole design. The
3438 base of each structure shall be surrounded by a five (5) foot deep landscaped bufferyard. The
3439 landscaped bufferyard shall be planted with suitable landscaped material, and maintained so as to
3440 ensure a minimum landscape screen of six (6) feet in height and seventy-five (75) percent opacity
3441 with one (1) year of planting.

3442 ~~3-c.~~ On all limited access roads, except the circumferential toll
3443 expressway, commonly referred to as The Beltway, such signs shall be no closer than two thousand
3444 (2,000) feet from any other outdoor advertising sign on the same side of the highway, one thousand
3445 (1,000) feet radial distance from any other outdoor advertising sign on the same road or within five
3446 hundred (500) feet of an exit or on ramp. Outdoor advertising signs, except for FDOT "Logo"
3447 format signs, shall not be permitted adjacent to the Beltway.

3448 ~~4-d.~~ On all other state and County roads, such signs shall be no closer
3449 than two thousand (2,000) feet from any outdoor advertising sign on the same side of the road, one
3450 thousand (1,000) feet radial distance from any other outdoor advertising sign on the same road,
3451 nor closer than one hundred fifty (150) feet from any ground/pole sign on the same side of the
3452 road.

3453 ~~5-e.~~ "V" signs are permitted, provided they are constructed with an inner
3454 angle not to exceed thirty (30) degrees.

3455 ~~6.f.~~ No single-faced billboard shall have an interior angle from road to
3456 face of sign in excess of forty-five (45) degrees, and shall be installed to minimize a view of the
3457 rear of a sign.

3458 7. g. Maximum size of outdoor advertising signs along limited access
3459 roads shall not exceed a maximum gross area of six hundred seventy-two (672) feet, and the
3460 maximum height of the sign structure shall not exceed thirty (30) feet above the crown of the road
3461 which the sign is designed to serve. On all other state and County roads, the maximum size of
3462 outdoor advertising signs shall not exceed four hundred (400) square feet and the maximum height
3463 of the structure shall exceed thirty (30) feet above the crown of the road on which the sign is
3464 designed to serve.

3465 ~~b.(2)~~ *Public information signs.* Directional signs for public facilities, non-profit
3466 organizations, and civic assembly may be erected on private property in the OP district and any
3467 commercial or industrial district. Such signs may also be placed in the A-1 district, if approved by
3468 the Board of County Commissioners, upon determination that the signs would not be incompatible
3469 with the character of the area or neighborhood. Placement of such signs must be in accordance
3470 with the following restrictions:

3471 ~~1.a.~~ A maximum of two (2) signs per facility, organization, or church
3472 may be permitted. Each sign will be limited to six (6) square feet in area and six (6) feet in height,
3473 and may be located no closer than one hundred (100) feet to any other ground/pole sign.

3474 ~~2.b.~~ Copy of such sign will be limited to the name of the facility,
3475 organization, or houses of worship (civic assembly), and direction to its location.

3476 ~~3.c.~~ No such sign may be erected without verification from the Planning
3477 & Development Division that the sign and its proposed location comply with these regulations.

3478 4.d. A public information sign will be removed when the County makes
3479 a determination that such sign is no longer compatible with adjacent land uses or otherwise not in
3480 conformity with this Part.

3481 ~~e.~~(3) *Advertising benches and shelter.* Benches and shelters, with or without
3482 kiosks, that display advertising may be placed in close proximity to a bus stop, either in the public
3483 right-of-way or immediately adjacent to the right-of-way, and may be maintained in Seminole
3484 County for the use and convenience of the general public. The placement of such benches and
3485 shelters must be in accordance with a written agreement between the firm supplying the benches
3486 and shelters and Seminole County. Such agreement must include, but is not limited to:

- 3487 1.a. Location, size, and construction of benches and shelters;
3488 2.b. Permitting and removal procedures; and
3489 3.c. Maintenance and insurance responsibilities of permit holder.



3490 ~~(2)~~ *Temporary.*

3491 ~~a.~~(4) *Special event signs.* Special event signs may be displayed a maximum of
3492 seven (7) days following the event.

3493 * * *

3494 **Sec. 30.13.5. Prohibited signs.**

3495 The following signs are prohibited:

3496 ~~(1)~~(a) Snipe signs.

3497 ~~(2)~~ *Freestanding signs.*

3498 ~~(3)~~ *Any sign containing statements, words, or pictures of an obscene nature*

3499 ~~(4)~~(b) Any sign which obstructs the view in any direction at a street, road, or access drive.

3500 ~~(5) — Any sign which advertises or announces any activity, business, product, service,~~
3501 ~~special event, or issue which is no longer produced, conducted or at issue.~~

3502 ~~(6)(c)~~ Banners, pennants, flags, balloons and similar displays, unless otherwise provided
3503 for in this Part.

3504 **Sec. 30.13.6. Nonconforming signs.**

3505 Any sign which conformed to the existing zoning regulations when erected and
3506 subsequently is declared nonconforming due to the enactment of this Part or any amendment to
3507 the zoning regulations may continue in place subject to the following provisions:

3508 (a) Outdoor advertising signs.

3509 (1) Signs that are nonconforming due to zoning may not be moved, structurally
3510 altered, or repair work accomplished that would require replacement of more than fifty (50) percent
3511 of any one (1) sign's supporting members without complying with all provisions of this Part.

3512 (2) Signs that are nonconforming on the effective date of Ordinance 90-9 (April
3513 24, 1990), due to size, height or construction requirements shall be brought into compliance with
3514 the size, height and construction standards set forth in this Code prior to February 1, 2001.

3515 (3) Notwithstanding anything provided in subsection (2) to the contrary, in
3516 furtherance of Section 479.15, Florida Statutes, this Section shall not require the alteration or
3517 removal of any signs declared nonconforming by this Part that were lawfully erected along any
3518 portion of the interstate or federal-aid primary highway system. Provided, however, that an
3519 applicant for a permit to construct a new sign located adjacent to the interstate or federal-aid
3520 primary highway system or to rebuild a previously nonconforming sign located adjacent to the
3521 interstate or federal-aid primary highway system shall construct the sign in accordance with the
3522 standards of this Part.

3523 (b) ~~Point of sale signs.~~ All other nonconforming signs.

3524 (1) Any nonconforming sign must be removed when the business or use it
3525 advertises is discontinued. Any replacement sign must conform to all existing regulations.

3526 (2) Any sign nonconforming due to height restrictions shall be brought into
3527 conformity with the height requirements prior to May 1, 1994. In any case where the owner of a
3528 sign or the owner of the property on which the sign is located alleges that the lowering of the sign
3529 would create a unique hardship, such an owner may request that a variance be granted by the Board
3530 of Adjustment. Such request must be filed within thirty (30) days of the sign owner or the property
3531 owner receiving written notice from the Planning Division directing that the sign be lowered. The
3532 Board of Adjustment shall hear the variance request at a public meeting and may grant a variance
3533 after finding that, based on competent and substantial evidence, the lowering of the sign would
3534 create a unique hardship on the owner of the sign or the property owner.

3535 (3) Any sign nonconforming due to the utilization of movement or the illusion
3536 of motion shall be brought into conformity prior to December 1, 1990.

3537 (4) All nonconforming banners, pennants, flags, balloons, streamers, wind
3538 driven devices and similar displays shall be removed prior to June 1, 1990.

3539 (c) No sign shall be construed to be a nonconforming sign if it was erected without a
3540 building permit having been obtained and/or without the prior approval of the Planning Division.

3541 * * *

3542 **Sec. 30.13.16. RP and OP signage regulations.**

3543 ~~30.13.16.1 Each building lot shall be permitted one (1) identification sign, not to exceed~~
3544 ~~sixteen (16) square feet in area. Such sign shall not exceed fifteen (15) feet in height and not be~~

3545 closer than ten (10) feet to any lot line. Except for a single identification sign and the usual address
3546 sign, no other signs shall be permitted.

3547 Freestanding signs are limited to a maximum of twenty-four (24) square feet.

3548 (a) Main entrance. At a main entrance to an office development, one (1) detached pole
3549 sign giving the name of the principal tenant may be permitted. No sign shall exceed one (1) square
3550 foot in area for each one (1) linear foot of lot frontage along the street on which the sign faces and
3551 shall be limited to a total structure height of fifteen (15) feet above grade. A sign may be
3552 illuminated provided the bulbs are not visible; however, no flashing lights or lights giving the
3553 illusion of motion shall be permitted. Sign illumination shall be of low intensity so as not to be a
3554 nuisance to surrounding areas.

3555 (b) Directory sign. A directory sign not intended or designed to be read from a roadway
3556 may be permitted within the office complex.



3557 (c) Prohibited signs. The following types of signs shall be prohibited: Off-premises
3558 advertising signs or billboards, trailer signs, snipe signs, and window signs which are visible from
3559 any residential building or public right-of-way.

3560 * * *

3561 **PART 14. LANDSCAPING, SCREENING, BUFFERING, AND OPEN SPACE**

3562 **Sec. 30.14.1. General Purpose and water efficient landscaping criteria, intent, and**
3563 **definitions.**

3564 (a) The purpose of this Part, in general, is to provide for quality community character,
3565 to shade impervious surfaces, to protect against potential land use conflicts, and to define logical
3566 areas for pedestrian and vehicular circulation.

3567 The purpose of the water-efficient landscaping criteria included herein is to establish
3568 minimum standards for the development, installation, and maintenance of all landscaped areas
3569 required by this Code without inhibiting creative landscape design. Specific water conservation
3570 measures are required, such as the preservation of existing natural vegetation when appropriate.
3571 The establishment of these minimum requirements and the encouragement of resourceful planning
3572 are intended to protect and preserve the appearance, environmental quality, character, and value
3573 of surrounding neighborhoods and thereby promote the public health, safety and general welfare
3574 of the citizens of Seminole County.

3575 (b) Creative site development concepts shall be used in order to promote water
3576 conservation. Water-conserving site development concepts may include, but are not limited to:

- 3577 (1) The preservation of existing plant communities;
- 3578 (2) The use of native plant species;
- 3579 (3) The re-establishment of native plant communities;
- 3580 (4) The use of drought-tolerant plant species;
- 3581 (5) The use of site-specific plant materials;
- 3582 (6) The design, installation, and maintenance of irrigation systems that
3583 eliminate the waste of water due to over-application or loss from damage;
- 3584 (7) The use of shade trees to reduce transpiration rates of lower-story plant
3585 materials;
- 3586 (8) Placement of vegetation in such a way that promotes energy conservation
3587 through shading;
- 3588 (9) The use of pervious paving materials;
- 3589 (10) The use of water efficiency in landscaping;

3590 (11) Other environmentally sensitive site development concepts.

3591 (c) Vegetation protection and preservation objectives are intended to:

3592 (1) Reduce the use of irrigation water in open space areas by promoting the
3593 preservation of existing plant communities;

3594 (2) Prevent the removal of existing vegetation in advance of the approval of
3595 land development plans;

3596 (3) Prevent the removal of existing vegetation when no replacement vegetation
3597 plan has been prepared for the site.

3598 (d) To achieve the objectives of these land development regulations, this Code
3599 incorporates six (6) basic principles of water-efficient landscaping. These principles are set forth
3600 below for the purpose of giving guidance and direction for administration and enforcement:

3601 (1) Planning and design;



3602 (2) Appropriate plant selection;

3603 (3) Practical turf areas;

3604 (4) Efficient irrigation;

3605 (5) Use of mulches;

3606 (6) Appropriate maintenance.

3607 (e) The provisions of this Part shall apply to all real property situated within the
3608 unincorporated areas of Seminole County that are required to be landscaped by this Code.

3609 **Sec. 30.14.2. Open space.**

3610 30.14.2.1 Purpose and Applicability.

3611 (a) The purpose of open space areas within developments is to provide areas for:
3612 ~~purpose of this Part is to provide clear standards for the establishment, function, and maintenance~~
3613 ~~of open space areas within all developments.~~

3614 (1) active and passive recreation for residents, employees, and visitors of the
3615 development;

3616 (2) conservation and restoration of natural systems and wildlife habitats; and

3617 (3) preservation of community character through views of vegetation and
3618 natural features.

3619 (b) Single-family residential development in any zoning district is exempt from this
3620 Section except in the Planned Development (PD) District or where specifically required by another
3621 Section of this Code. Nonresidential uses, where permitted in a single-family district (i.e., by
3622 Special Exception) shall be required to provide open space.

3623 ~~(c) The character of required open space shall be determined by development type.~~
3624 ~~Open space within nonresidential developments shall meet the requirements of Section 30.14.2.2~~
3625 ~~while open space within residential developments shall meet the requirements of Section~~
3626 ~~30.14.2.3. Open space in redevelopment, infill development, or mixed-use developments shall~~
3627 ~~meet the requirements of Section 30.14.2.4.~~

3628 ~~(d)~~(c) The amount of open space required for development shall be determined by the
3629 zoning district, development order, or other provisions of this Code applicable to the subject
3630 property. ~~If not otherwise specified, the minimum open space shall be twenty five (25) percent of~~
3631 ~~the gross site area.~~ The standard open space requirement as required by the zoning district is as
3632 follows:

<u>Zoning District</u>	<u>Open Space Percentage</u>
------------------------	------------------------------

<u>A-1</u>	=
<u>A-3</u>	=
<u>A-5</u>	=
<u>A-10</u>	=
<u>OP</u>	<u>25%</u>
<u>CN</u>	<u>25%</u>
<u>CS</u>	<u>25%</u>
<u>C-1</u>	<u>25%</u>
<u>C-2</u>	<u>25%</u>
<u>C-3</u>	<u>25%</u>
<u>M-1A</u>	<u>25%</u>
<u>M-1</u>	<u>25%</u>
<u>M-2</u>	<u>25%</u>
<u>PD</u>	<u>25%</u>
<u>PLI</u>	<u>25%</u>
<u>RC-1</u>	=
<u>R-1AAAA</u>	=
<u>R-1AAA</u>	=
<u>R-1AA</u>	=
<u>R-1A</u>	=
<u>R-1</u>	=
<u>R-1B</u>	=
<u>R-1BB</u>	=
<u>R-2</u>	=
<u>R-3</u>	<u>25%</u>
<u>R-3A</u>	<u>25%</u>
<u>R-4</u>	<u>25%</u>
<u>RM-1</u>	<u>25%</u>



<u>RM-2</u>	<u>25%</u>
<u>RM-3</u>	<u>25%</u>
<u>RP</u>	<u>25%</u>
<u>UC</u>	<u>25%</u>

3633 30.14.2.2 Nonresidential Open Space:

3634 (a) ~~— The purpose of open space in nonresidential developments is to set aside areas for~~
3635 ~~landscaping, buffering, stormwater retention (subject to paragraph (d) below), recreation, aquifer~~
3636 ~~recharge, and/or preservation of natural resources.~~

3637 (b) ~~— Open space shall be located entirely within the boundaries of the project and may~~
3638 ~~include required landscaped areas and buffers; recreational lands and facilities accessible to~~
3639 ~~employees and visitors to a site; and areas providing natural resource protection for floodplains,~~
3640 ~~wetlands, aquifer recharge areas, wildlife habitat, and other natural features.~~

3641 (c) ~~— Within a single ownership development, open space shall be maintained to~~
3642 ~~preserve its required function(s) by the property owner. Within a subdivision or other form of~~
3643 ~~multiple ownership configuration, open space shall be in common area tracts and maintained by a~~
3644 ~~property owners association.~~

3645 (d) ~~— Stormwater retention ponds may be counted toward the minimum required open~~
3646 ~~space area subject to the following criteria:~~

3647 (1) ~~— The pond shall be sodded or dressed with equivalent ground cover; and~~

3648 (2) ~~— The pond shall be accessible to all employees and visitors and shall be~~
3649 ~~landscaped and configured in a manner that results in a visual amenity for the site and shall include~~
3650 ~~aesthetic features or amenities such as benches and/or picnic tables.~~

3651 (3) — For wet ponds, if reclaimed water is unavailable, then the pond shall be
3652 designed to be utilized for landscape irrigation.

3653 (4) — For wet ponds, littoral zones of ponds shall be vegetated with emergent
3654 native vegetation to the maximum extent possible, provided that maintenance of the pond is not
3655 impeded. Plans shall be reviewed and approved by the Natural Resource Officer or designee.

3656 (e) — Natural lakes may be counted toward the minimum required open space area
3657 subject to the limitation in paragraph (g) below and the following criteria:

3658 (1) — Only that portion of a lake that lies within the legal description of the project
3659 may count toward the required open space area; and

3660 (2) — The lake shall be accessible to all employees or visitors and shall include
3661 other amenities including, but not limited to, trail facilities, boardwalks, fountains, benches, and
3662 picnic tables.



3663 (f) — Conservation areas, defined for the purposes of this Part as 100-year floodplain and
3664 wetlands as delineated by the St. Johns River Water Management District, may be counted toward
3665 the minimum required open space area subject to limitations specified in paragraph (g) below.

3666 (g) — Natural lakes and/or conservation areas within a development site shall not be
3667 credited to a combined maximum of more than fifty (50) percent of the required open space.

3668 (h) — Site features noted in Section 30.14.2.5 may also be counted as open space.

3669 30.14.2.3 Residential Open Space.

3670 (a) — Required open space in residential developments is intended to provide green space
3671 serving as a site amenity; areas for supplemental landscaping; stormwater retention facilities; uses
3672 for aquifer recharge; and/or the preservation of natural resources. Residential open space shall
3673 include only those lands available for the use and enjoyment of all residents of a development and

3674 shall have either an aesthetic or recreational function that shall not conflict with other site features
3675 required by this Code.

3676 (b) — Open space shall be located entirely within the boundaries of the project. In no case
3677 shall the required open space occupy any portion of a privately owned residential lot.

3678 (c) — Types and locations of open space, including recreational lands, recreational
3679 facilities, and natural resource protection areas, shall be clearly shown on a development plan prior
3680 to project approval.

3681 (d) — No dwelling unit shall be located more than seven hundred fifty (750) feet from
3682 designated open space. The Development Services Director may waive this distance requirement
3683 where the developer proposes a major recreational facility that will occupy at least fifty (50)
3684 percent of the required open space for the development. No more than thirty five (35) percent of
3685 the dwelling units in the development may be occupied before this facility is completed and
3686 available for use.



3687 (e) — Where intervening properties separate a dwelling unit from an open space area, the
3688 Development Services Director may require an easement or other means of access for bicycle and
3689 pedestrian traffic to minimize the need to cross or travel on roads carrying motorized vehicles.

3690 (f) — Except as provided in this paragraph, no parcel of property or portion thereof, less
3691 than forty (40) feet wide and seven thousand five hundred (7,500) square feet in size, shall be
3692 counted toward the designated open space requirement. Open space areas less than forty (40) feet
3693 in width containing paved or stabilized paths for pedestrians and/or bicycles shall be exempt from
3694 this requirement if such paths are part of a comprehensive circulation system serving the entire
3695 development. Dog parks and tot lots that are a minimum of seventy five (75) square feet per

3696 dwelling unit are also exempt from this requirement and may count towards open space. Dog parks
3697 must contain waste disposal receptacles and appropriate signage.

3698 (g) — Required open space within a subdivision shall be platted as a common area and
3699 shall be owned and maintained by a homeowners' association.

3700 (h) — Stormwater retention ponds may be counted toward the minimum area requirement
3701 subject to the following criteria:

3702 (1) — The pond shall be sodded or dressed with equivalent ground cover.

3703 (2) — The pond shall have no greater than a 4:1 slope with no fencing.

3704 (3) — The pond shall have a curvilinear shape simulating a natural water body.

3705 (4) — Canopy trees shall be provided at the rate of one (1) per fifty (50) feet of
3706 pond perimeter; however, the required number of trees may be clustered for an improved aesthetic
3707 effect.

3708 (5) — For wet ponds, if reclaimed water is unavailable, then the pond shall be
3709 designed to be utilized for landscape irrigation.

3710 (6) — For wet ponds, littoral zones of ponds shall be vegetated with emergent
3711 native vegetation to the maximum extent possible, provided that maintenance of the pond is not
3712 impeded. Plans shall be reviewed and approved by the Natural Resource Officer or designee.

3713 (7) — The pond shall be landscaped and configured in a manner that results in a
3714 visual amenity for the site and shall include other amenities such as a trail adjacent to the pond,
3715 boardwalks, picnic tables, fountains, pavilions, or gazebos. For wet ponds, a littoral zone with
3716 plantings is required. Other features in addition to or substituting for the aforementioned may be
3717 approved by the Development Services Director consistent with the intent of this Part. The pond
3718 and/or adjacent area shall include a minimum of two of the following features:

- 3719 a. ~~—— Fountain~~
- 3720 b. ~~—— Stabilized walking path~~
- 3721 c. ~~—— Exercise equipment~~
- 3722 d. ~~—— Benches for seating~~
- 3723 e. ~~—— Tot lot or mini park~~

3724 (i) ~~—— Natural lakes may be counted toward the minimum area requirement subject to the~~
3725 ~~limitations in paragraph (k) below and the following criteria:~~

3726 (1) ~~—— The lakeshore shall be accessible to all residents, and shall include one or~~
3727 ~~more visual or recreational amenities including, but not limited to, trail facilities, boardwalks,~~
3728 ~~fountains, and picnic tables.~~

3729 (2) ~~—— Only that portion of a lake that lies within the legal description of the project~~
3730 ~~may count toward the required open space.~~



3731 (j) ~~—— Conservation areas, defined for the purposes of this Part as the 100-year floodplain~~
3732 ~~or wetlands as delineated by the St. Johns River Water Management District, may be counted~~
3733 ~~toward the minimum area requirement subject to limitations specified in paragraph (k) below.~~

3734 (k) ~~—— Natural lakes and/or conservation areas within a development site shall not be~~
3735 ~~credited to a combined maximum area of more than fifty (50) percent of the required open space~~
3736 ~~area.~~

3737 (l) ~~—— Required landscaped areas and buffers may not be credited toward the required~~
3738 ~~open space area.~~

3739 (m) ~~—— Site features noted in Section 30.14.2.5 may also be counted as open space.~~

3740 ~~30.14.2.4 Infill, Redevelopment, and Mixed Use Open Space.~~

3741 (a) — ~~The purpose of open space in infill development, redevelopment, and mixed use~~
3742 ~~developments is to provide areas for supplemental landscaping; buffering; recreational or aesthetic~~
3743 ~~amenities; stormwater retention; aquifer recharge; and/or preservation of natural resources.~~

3744 (b) — ~~Open space shall be located entirely within the boundaries of the project. Open~~
3745 ~~space may include: landscaping and buffers; recreational facilities and amenities accessible to all~~
3746 ~~users of the site; recreational facilities and amenities accessible only to residents; stormwater~~
3747 ~~facilities; and areas providing for natural resource protection.~~

3748 (c) — ~~Types and locations of open space shall be clearly shown on a development plan~~
3749 ~~prior to approval by Seminole County.~~

3750 (d) — ~~No dwelling unit shall be located more than seven hundred fifty (750) feet from~~
3751 ~~designated open space. The Development Services Director may waive this requirement when the~~
3752 ~~developer proposes a major recreational facility that will provide at least fifty (50) percent of the~~
3753 ~~required open space for development.~~



3754 (e) — ~~Open space areas shall not be fenced, unless necessary for safety reasons, and shall~~
3755 ~~not contain mechanical units and equipment, storage areas, or other service related functions.~~

3756 (f) — ~~Stormwater retention ponds may be counted toward the minimum area requirement~~
3757 ~~subject to the following criteria:~~

3758 (1) — ~~The pond shall be sodded or dressed with equivalent ground cover; and~~

3759 (2) — ~~The pond shall be landscaped and configured in a manner that results in a~~
3760 ~~visual amenity for the site, and shall include other amenities such as a trail adjacent to the pond,~~
3761 ~~boardwalks, picnic tables, fountains, pavilions, or gazebos. Other features in addition to or~~
3762 ~~substituting for the aforementioned may be approved by the Development Services Director~~
3763 ~~consistent with the intent of this Part.~~

3764 (g) — Required open space within infill development, redevelopment, or mixed-use
3765 development, which serves primarily the residential portion of a development, shall be platted as
3766 a common area and shall be owned and maintained by a homeowner association or other entity
3767 which is capable of maintaining the function of the open space, as determined by the Development
3768 Services Director. Required open space within infill development, redevelopment, or mixed-use
3769 development which serves primarily the nonresidential portion of the development shall be owned
3770 and maintained by a property owners' association.

3771 (h) — Natural lakes and/or conservation areas within a development site shall not be
3772 credited to a combined maximum of more than fifty (50) percent of the required open space area.

3773 (i) — Open space shall be continuous wherever possible, shall be accessible to all uses
3774 within a development when practical and safe, shall contain pedestrian amenities (including
3775 lighted, accessible walkways with shade trees), and shall include lighted public plazas serving
3776 structures that contain retail and/or office uses. Public plazas shall contain benches with shade
3777 trees or permanent coverings.

3778 (j) — Selected facilities located indoors or on rooftops may be permitted where they serve
3779 as amenities when available for use and enjoyment by all residents or users of a development.
3780 Excluded from eligibility as credited open space are theaters, restaurants, religious facilities, and
3781 retail, commercial uses.

3782 (k) — Site features noted in Section 30.14.2.5 may be counted as open space.

3783 30.14.2.5 Permitted Open Space Features.

Feature	Nonresidential Open Space	Residential Open Space	Mixed Use Infill, Redevelopment
100 year floodplain	Y*	Y*	Y*
Borrow pits	Y**	Y**	Y**

Clubhouse/admin. Offices fitness center	N	Y	Y
Curated art museums/galleries	N	N	Y
Decorative fountain, Interactive fountain	Y	Y	Y
Fitness center internal to the residential portion of a development	N	N	Y
Lakes	Y*	Y*	Y*
Outdoor exercise trail	Y	Y	Y
Outdoor dining/seating areas not limited to patrons of a single business	Y	N	Y
Outdoor recreation facilities	Y	Y	Y
Outdoor sculpture garden	Y	Y	Y
Outparcels	N	N	N
Parking lots	N	N	N
Paved jogging and bicycling path	Y	Y	Y
Plant conservatory	N	N	Y
Platted residential lots	—	N	N
Power line easements	Y	Y****	Y
Power line easements or R/W containing trails or similar rec. amenities	Y	Y	Y
Private roads	N	N	N
Public plazas with benches and shade trees	Y	Y	Y
Public road R/W	N	N	N
Required buffer areas	Y	N	Y
Retention (amenitized per Code)	Y	Y	Y
Retention (not amenitized)	N	N	N
Green roof or rooftop garden with pedestrian access, rooftop recreational features such as swimming pools	Y	Y****	Y
Upland common areas less than 40' in width, without pedestrian, bicycle, or horse trails	Y	N	Y
Upland common areas less than 40' in width developed with pedestrian, bicycle, or horse trails	Y	Y	Y
Upland common areas exceeding 40' in width	Y	Y	Y
Utility easements	Y	Y	Y
Wetlands	Y*	Y*	Y*

3784 Table notes:

3785 ~~Y = Permitted to be counted toward area requirements.~~

3786 ~~N = Not permitted to be counted toward area requirements.~~

3787 ~~*Floodplains, wetlands, and lakes, together or separately, shall be limited to fifty (50)~~
3788 ~~percent of total open space requirement for any development.~~

3789 ~~**Borrow pits may count as open space only if sodded, landscaped, and/or configured as~~
3790 ~~a water feature in compliance with Section 65.8(1).~~

3791 ~~***Permitted in residential developments of five (5) or more units per net buildable acre,~~
3792 ~~where such facilities are located on common property and accessible to all residents.~~

3793 ~~****If allowed by utility company.~~

3794 30.14.2.2 Open Space in General.

3795 (a) Open space shall be located entirely within the boundaries of the development.

3796 For residential subdivisions, in no case shall the required open space occupy any portion
3797 of a residential lot.

3798 (b) Open space shall be maintained to preserve its required function(s) as follows:

3799 (1) Within a single-ownership development, open space shall be maintained to
3800 preserve its required function(s) by the property owner.

3801 (2) Within a subdivision or other form of multiple-ownership configuration,
3802 open space shall be in common area tracts and maintained by a property owners' or
3803 homeowners' association.

3804 (c) Types and locations of open space shall be clearly shown on the site plan, or
3805 earlier as otherwise required by this code.

3806 30.14.2.3 Types of Open Space.

3807 (a) Site features noted in Table 2.3: Permitted Types of Open Space may be counted
3808 as required open space subject to the criteria specified in (b)-(h) and all other standards of this
3809 section:

<u>Table 2.3: Permitted Types of Open Space</u>
<u>100-year floodplain</u>
<u>Borrow pits</u>
<u>Clubhouse / fitness center / pool</u>
<u>Lakes</u>
<u>Landscaped upland areas</u>
<u>Public plazas</u>
<u>Required buffer areas except in single-family residential subdivisions</u>
<u>Retention areas</u>
<u>Undisturbed upland areas</u>
<u>Utility easements</u>
<u>Wetlands</u>



3810 (b) Lakes, wetlands, retention areas, and buffers combined may account for a
3811 maximum of fifty (50) percent of the required Open Space; except that for non-residential
3812 developments of one (1) net buildable acre or less, only natural lakes and wetlands combined may
3813 account for the maximum of fifty (50) percent limitation and retention areas and buffers may
3814 account for up to one hundred (100) percent of the required open space.

3815 (c) Natural lakes may be counted toward the minimum required open space, subject to
3816 the limitation in paragraph (B) and the following criteria:

3817 (1) Only that portion of a lake that lies within the legal description of the project
3818 may count toward the required open space area; and

3819 (2) The lake shall be accessible to all residents, employees, and/or visitors and
3820 shall include other amenities, including, but not limited to, trail facilities, boardwalks, fountains,
3821 benches, and picnic tables.

3822 (d) Stormwater retention ponds may be counted toward the minimum required open
3823 space, subject to the limitation in paragraph (B) and the following criteria:

3824 (1) The pond shall be accessible to all residents, employees and/or visitors.

3825 (2) The pond shall be landscaped and configured in a manner that results in a
3826 visual amenity for the site and shall include other amenities such as a trail adjacent to the pond,
3827 boardwalks, picnic tables, fountains, pavilions, or gazebos.

3828 a. The pond shall have a curvilinear shape simulating a natural water
3829 body.

3830 b. The pond shall have no steeper than a 4:1 slope with no fencing.

3831 c. The pond shall be sodded or dressed with equivalent ground cover.

3832 d. Canopy trees shall be provided at the rate of one (1) per fifty (50)
3833 feet of pond perimeter; however, the required number of trees may be clustered for an improved
3834 aesthetic effect.

3835 e. The pond and/or adjacent area shall include a minimum of two of
3836 the following features when adjacent to a wet pond. When adjacent to a dry pond in a residential
3837 project, a total of four of the following features shall be required:

3838 1. Fountain

3839 2. Stabilized walking path

3840 3. Exercise equipment

3841 4. Benches for seating

3842 5. Tot lot or mini-park
3843 6. Nature interpretation stations
3844 7. Pavilion or other shaded structures
3845 8. Other features in addition to, or substituting for, the
3846 forementioned may be approved by the Development Services Director if consistent with the
3847 intent of this Part.

3848 f. A littoral zone with plantings is required for wet ponds.
3849 1. Littoral zones of ponds shall be vegetated with emergent
3850 native vegetation to the maximum extent possible, provided that maintenance of the pond is not
3851 impeded. Multiple planting depth zones are required.

3852 2. Landscape plans shall be reviewed and approved by the Natural
3853 Resource Officer or designee.



3854 (3) For wet ponds, if reclaimed water is unavailable, then the pond shall be
3855 designed to be utilized for landscape irrigation.

3856 (E) Dry compensating storage areas may be counted towards open space upon a
3857 determination by the Development Services Director that the area will be designed as part of a
3858 park and serve a recreational purpose most of the year. Such areas are not subject to the limitations
3859 of paragraph (B).

3860 (F) Borrow pits must be sodded, landscaped, and/or configured as a water feature in
3861 compliance with Section 65.8(I).

3862 (G) Utility easements can be counted as required open space only if allowed by the
3863 utility company benefiting from the easement.

3864 30.14.2.4 Standards for Open Space.

3865 Areas dedicated as open space must be accessible to all intended users of the development
3866 or the portion of the development for which the open space is counted.

3867 If an applicant intends to limit a portion of the open space to a particular group of users,
3868 then the development must separately demonstrate compliance with open space requirements for
3869 the portion of the development that will not have access to the limited open space.

3870 Open space within a development must meet the following dimensional standards:

3871 (a) Except as provided in this paragraph, no parcel of property or portion thereof, less
3872 than forty (40) feet wide and seven thousand five hundred (7,500) square feet in size, shall be
3873 counted toward the designated open space requirement.

3874 (1) Open space at least twenty (20) feet in width containing paved or stabilized
3875 paths for pedestrians and/or bicycles or horse trails shall be exempt from this requirement if such
3876 paths are part of a comprehensive circulation system serving the entire development or connected
3877 to off-site recreation trails.

3878 (2) Dog parks and tot lots that are a minimum of seventy-five (75) square feet
3879 per dwelling unit may count towards open space. Dog parks must contain waste disposal
3880 receptacles and appropriate signage.

3881 (3) Open space adjacent to a water body must be a minimum of twenty (20) feet
3882 in width measured from the top of the berm to any public right of way, lot line, fence, or building
3883 area.

3884 (4) If less than seven thousand five hundred (7,500) square feet of open space
3885 is required, then all provided open space must be contiguous.

3886 (b) Open space shall not be fenced, except where otherwise noted, unless necessary for
3887 safety reasons, such as:

3888 (1) Dog parks and playgrounds may be fenced for safety purposes.

3889 (2) Pools or other areas that must be fenced as required by state regulations.

3890 (3) Railings and other decorative features that are not intended to limit access
3891 are permitted.

3892 (c) Open space areas shall not contain storage areas or other service-related functions.

3893 (d) Open space areas shall not contain mechanical units and equipment, unless a
3894 determination is made by the Development Services Director that such equipment is de minimis
3895 and not disruptive to the intended function of the open space.

3896 (e) Allowable features within recreational open space include but are not limited to:

3897 (1) Paved jogging and bicycling path;

3898 (2) Outdoor dining/seating areas not limited to patrons of a single business;

3899 (3) Outdoor recreation facilities;

3900 (4) Outdoor sculpture garden;

3901 (5) Decorative fountain, Interactive fountain;

3902 (6) Benches and shade; and

3903 (7) Plant conservatory.

3904 30.14.2.5 Use specific open space conditions.

3905 (a) For single-family residential developments, the following conditions apply:

3906 (1) No dwelling unit shall be located more than seven hundred fifty (750) feet
3907 from designated open space. The Development Services Director may waive this distance
3908 requirement where the developer proposes a major recreational facility that will occupy at least
3909 twenty-five (25) percent of the required open space for the development. No more than thirty-five
3910 (35) percent of the dwelling units in the development may be occupied before this facility is

3911 completed and available for use, unless the facility was not included in the overall open space
3912 calculation.

3913 (2) Where intervening properties separate a dwelling unit from an area
3914 dedicated as open space, the Development Services Director may require an easement or other
3915 means of access for bicycle and pedestrian traffic to minimize the need to cross or travel on roads
3916 carrying motorized vehicles.

3917 (b) For multi-family residential development, the following condition applies:

3918 No dwelling unit shall be located more than seven hundred fifty (750) feet from designated
3919 open space. The Development Services Director may waive this distance requirement when the
3920 developer proposes a major recreational facility that will provide at least fifty (50) percent of the
3921 required open space for development.

3922 **Sec. 30.14.3. Buffering.**



3923 ~~30.14.3.1 Plant groups. Landscaping materials and configurations will vary depending on~~
3924 ~~the purpose and intent of the landscape treatment. A plant group is a selection of plants that are~~
3925 ~~intended to provide a standard volume of landscaping from ground level to the top of the canopy.~~
3926 ~~When closely planted, a dense barrier is created. The following table shows the various plant~~
3927 ~~groups that may be used to meet the landscaping requirements of this Part, including minimum~~
3928 ~~size at the time of planting. Each plant grouping has the same screening potential in terms of total~~
3929 ~~plant mass; however, some have limits on where they may be used.~~

Plant Group Options	Number	Plant Type
Plant Group A (Basic)	1	Canopy
	1	Understory
	1	Evergreen
	11	Shrubs
Plant Group B (Basic)	1	Canopy
	2	Understory

	17	Shrubs
Plant Group C (Height Restricted)	5	Understory
	16	Shrubs
Plant Group D (Basic)	3	Evergreen
	1	Understory
	13	Shrubs
Plant Group E (Low Level Visibility)	2	Canopy
	4	Shrubs

3930
3931

Note: See Section 30.14.16(b)(1) and (2) for minimum size at planting.

3932

Sec. 30.14.4.3. Buffering requirements in general.

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3936

(a) Buffers are described in terms of required opacity, or the degree of screening between two (2) adjoining uses or activities. An opacity of 0.1 screens ten (10) percent of an object, while an opacity of 1.0 completely obscures the object from view during summer months after all required plants have reached maturity.

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(b) Buffers shall be located on the outer perimeter of a development site but entirely within the property bounds of such site and shall not include right-of-way or areas that will be dedicated as right-of-way. Buffers may be placed within utility easements, subject to verification that the dedicated use of the easement does not conflict with the function of the buffer. The owner of the property shall be responsible for replacement of landscape materials damaged or removed by the placement or maintenance of utilities within such easements.

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3944
3945
3946

(c) Required buffers shall not contain parking, including vehicle overhang areas in adjacent parking spaces. Driveways and other vehicular maneuvering areas shall not be permitted in a buffer, except that access points to adjacent roads may cross a buffer with minimum possible interference with the buffering function, as determined by the Development Services Director.

3947

(d) Buffers are required for the following situations:

3948 (1) For new development adjacent to existing development, required buffers
3949 shall be determined according to the land use intensity of the proposed use(s) as compared to the
3950 land use intensity of the adjacent use(s). Required opacities are shown in Section ~~30.14.7(a)~~
3951 30.14.5(a). Development on small or irregular sites, resource-limited sites, or infill sites shall be
3952 developed according to the criteria of Section ~~30.14.11~~30.14.7.

3953 (2) For new development adjacent to vacant land, required buffers shall be
3954 determined according to the land use intensity of the proposed use(s) as compared to the Future
3955 Land Use designation of the adjacent property as established by the Seminole County
3956 Comprehensive Plan. Required opacities are shown in Section ~~30.14.7(b)~~30.14.5(b). Development
3957 on small or irregular sites, resource-limited sites, or infill sites shall be developed according to the
3958 criteria of Section ~~30.14.11~~30.14.7.

3959 (3) For new development adjacent to roads and right-of-way, required buffers
3960 shall be determined according to the land use intensity of the proposed use(s) as compared to the
3961 functional classification of the road or right-of-way, unless otherwise provided in this code. An
3962 unimproved right-of-way shall be assumed to contain the most intense road classification for which
3963 it was designed. Required opacities are shown in Section ~~30.14.7(e)~~30.14.5(c). Development on
3964 small or irregular sites, resource-limited sites, or infill sites shall be developed according to the
3965 criteria of Section ~~30.14.11~~30.14.7.

3966 (4) Landscape buffers for parking lots shall be provided in accordance with
3967 Section ~~30.14.8~~30.14.10.

3968 (5) Landscape buffers for storage or loading areas that represent a special
3969 nuisance shall be provided in accordance with Section ~~30.14.9~~30.14.11.

3970 (e) Existing natural vegetation may be used in place of a required wall, fence, and/or
 3971 landscaping where such vegetation consists of canopy and understory trees that meet the minimum
 3972 buffer component requirements and is of sufficient density to provide one hundred (100) percent
 3973 opacity to a height of six (6) feet. The landscape plan for the development shall include protection
 3974 measures to preserve the natural buffer area during and after site development. Nothing provided
 3975 in this paragraph shall prohibit the removal of invasive species.

3976 ~~(f) — Buffer criteria varying from the requirements of this Part may be authorized by the~~
 3977 ~~Board of County Commissioners through approval of a Master Development Plan within the~~
 3978 ~~Planned Development (PD) zoning District in accordance with Sec. 30.8.5 or through approval of~~
 3979 ~~a special exception under Sec 30.3.1.5. Variations from the provisions of this Part may reduce or~~
 3980 ~~increase required opacities, or specify alternative buffer concepts, as appropriate to the site under~~
 3981 ~~consideration. In all cases, the relevant Board shall find that approved variations ensure~~
 3982 ~~compatibility between adjoining land uses and are consistent with the Comprehensive Plan.~~

3983 **~~Sec. 30.14.5. Standard bufferyards and permitted adjustments.~~**

3984 ~~(a) — The criteria in the table below shall achieve required opacity levels for bufferyards~~
 3985 ~~specified in Section 30.14.7.~~

Opacity	Standard Bufferyard Width (ft.)	Number of Plant Units Groups per 100 feet	Structure Enhancement Required	Eligible for Adjustments**
0.1	10	1.00	None	No
0.2	10	2.00	None	No
0.2 (parking buffer)	10	1.00	3' masonry wall	No
0.3	15	2.60	None	Yes
0.4	15	2.25	3' hedge	Yes
0.5	25	2.70	6' masonry wall***	Yes
0.6	25	3.50	6' masonry wall***	Yes

0.7	40	2.90	6' masonry wall***	Yes
0.8	50	3.20	6' masonry wall***	No
0.9*	50	3.20	6' masonry wall	No
1.0*	50	3.80	6' masonry wall	No

3986 Notes:

3987 ~~*These buffers only occur where nuisance buffers are required by Section 30.14.9.~~

3988 ~~**Subject to approval by the Development Services Director.~~

3989 ~~***Adjacent to a street, may be reduced to three (3) foot metal decorative fence and three~~
 3990 ~~(3) foot hedge. The Development Services Director may waive segments of any required fence or~~
 3991 ~~wall in order to ensure visibility of traffic for safety purposes.~~

3992 (b) ~~Required buffers may be adjusted to add or subtract land area, or to modify specific~~
 3993 ~~requirements for structures or landscape plantings. Such adjustments, where permitted, shall be~~
 3994 ~~assumed to maintain the required opacities under Sections 30.14.7. These adjustments may be~~
 3995 ~~made at the option of the applicant in order to make more efficient use of available land or to~~
 3996 ~~address other site design issues requiring greater flexibility in Code requirements; however, the~~
 3997 ~~Development Services Director may deny any proposed adjustment upon a finding that it would~~
 3998 ~~significantly impair the screening function of the required buffer.~~

3999 Permitted bufferyard adjustments shall be as follows:

4000 (1) ~~Increased Buffer Widths. Bufferyards exceeding the standard widths~~
 4001 ~~established in paragraph (a) above shall permit a reduction in landscape planting requirements.~~
 4002 ~~This reduction shall be applied equally to all plant types specified within the formula for the~~
 4003 ~~applicable plant group. In certain cases, the required buffer enhancement may be reduced as a~~
 4004 ~~result of increased buffer width. Adjusted buffer enhancement and planting requirements are as~~
 4005 ~~shown below:~~

Opacity	Buffer Width (ft.)	Number of Plant Groups per 100 feet	Enhancement Required
0.4	20	2.00	None
0.5	35	2.25	3' hedge
0.6	35	2.70	3' hedge
0.7	55	2.25	3' hedge

4006 (2) ~~Reduced Buffer Widths. Buffers having less than the standard widths established~~
 4007 ~~in paragraph (a) above shall be subject to an increased landscape planting requirement. This~~
 4008 ~~increase shall be applied equally to all plant types specified within the formula for the applicable~~
 4009 ~~plant group. An upgrade in buffer enhancement features shall also be required. Adjusted buffer~~
 4010 ~~enhancement and planting requirements are as shown below:~~

Opacity	Buffer Width (ft.)	Number of Plant Groups per 100 feet	Enhancement Required
0.3	10	3.00	3' hedge
0.4	10	2.50	3' open metal fence and 3' hedge
0.5	15	3.25	6' masonry wall*
0.6	20	4.00	6' masonry wall*
0.7	30	3.50	6' masonry wall*
*May be reduced to 3' open metal fence and 3' hedge adjacent to a street.			

4011 **Sec. 30.14.6.4. Determination of land use classifications and intensities.**

4012 (a) This Section classifies uses according to their potential impacts on surrounding
 4013 properties. The impacts of higher intensity may include greater impervious surface coverage,
 4014 causing increased stormwater runoff and reduced open space; increased bulk and height of
 4015 buildings; increased traffic with associated noise and congestion; signs and exterior lighting visible
 4016 from neighboring property; and late hours of operation. Under these regulations, a developer may
 4017 either build at a lower intensity that minimizes nuisances to neighbors, or provide a denser buffer
 4018 higher opacity if the land is developed at a greater intensity.

4019 The range of intensity classes available to a use does not affect whether the use can locate
4020 on a site, but only how the use develops on that site. For example, an office use may meet the
4021 standards of any ~~of land use intensity classes ratings~~ V through IX, depending on building and site
4022 design. Performance standards are specified for each land use intensity class rating. Exceeding any
4023 single standard in an ~~land use intensity class rating~~ moves a use to the next higher intensity class
4024 rating.

4025 (b) All land uses permitted by this Code are assigned a land use category for the
4026 purpose of determining buffering requirements. This classification system separates uses on the
4027 basis of the type and degree of "nuisance" or negative impact a use is likely to impose on adjacent
4028 properties. All uses within a use category are considered to have an equivalent impact on
4029 neighboring uses.

4030 (c) A particular development or proposed development shall be assigned an intensity
4031 rating according to the table in paragraph (d) of this Section. Each land use category established
4032 in the table has one or more possible intensity ratings, depending on the specific characteristics of
4033 the site. The intensity rating for any site shall be determined by the elements that most
4034 appropriately measure intensity for a given land use category, such as, but not limited to, the
4035 impervious surface ratio (ISR), hours of operation, building height, the floor area ratio (FAR), and
4036 density.

4037 ~~The most extreme value for any measurement shall determine the intensity rating of the~~
4038 ~~site.~~ To determine the site's land use intensity rating, the site's elements must fit within the
4039 parameters of the elements listed within the land use category. If the measurement of any listed
4040 element exceeds the amount within the land use intensity rating, the intensity rating shall increase

4041 to the next rating (II-IX). For example, the table below shows that an office or general commercial
4042 use has possible land use intensity ratings of V, VI, VII, VIII, and IX.

Land Use Category	Land Use Intensity Rating									
	I	II	III	IV	V	VI	VII	VIII	IX	X
<u>Office-General Commercial and office</u>										
<u>— FAR</u>					0.20	0.25	0.50	0.75	0.75+	
<u>Height (feet)</u>					15	25	35	50	50+	
<u>Hours of Operation</u>					7 a.m.- 9 p.m.		<u>Unlimited</u>			
<u>— Height/Setback</u>					0.66	1.0	2.0	<u>—> 2.0</u>		

4043 ~~An single-story office development having building height of fifteen (15) feet an FAR of~~
4044 ~~no more than 0.20 would have an intensity rating of V. However, a site with the same FAR-building~~
4045 ~~height with a building height greater than twenty five (25) feet and no more than thirty five (35)~~
4046 ~~feet hours of operation exceeding 7 a.m.- 9 p.m. would have an intensity rating of VII.~~


4047 (d) A particular development or proposed development shall be assigned an intensity
4048 rating according to the table:

Land Use Category	Land Use Intensity Rating									
	I	II	III	IV	V	VI	VII	VIII	IX	X
Rural/Agricultural (East Rural Area Only)										
Gross Density	0.33									
Residential										
Gross Density		4.00	<u>7.0</u>	<u>10.0</u>		7.00	8.50	10.00	12.00	12.00+
Office										
<u>— FAR</u>					0.20	0.25	0.50	0.75	0.75+	
<u>— Height (feet)</u>					15	25	35	50	50+	
<u>Height/Setback</u>					0.66	1.0	2.0	<u>—> 2.0</u>		

General Commercial <u>and office</u>										
— FAR					0.15	0.20	0.25	0.35	0.50	0.50+
Height (feet)					15	20 ₂₅	25-35	35-50	50+	50+
<u>Hours of Operation</u>					7 a.m.- 9 p.m.	Unlimited				
— Hours of Operation					7:00 a.m.— 9:00 p.m.	Unlimited				
Height/Setback					0.5	0.66	1.0	2.0	> 2.0	—
Heavy Commercial										
— FAR							0.25	0.35	0.50	0.50+
Height (feet)							25	35	50	50+
Hours of Operation							7:00 a.m.— 9:00 p.m.	Unlimited		
Height/Setback							1.0	2.0	> 2.0	—
Light Industrial										
ISR							0.5	0.5-7.5	0.75+	0.75
Height (feet)							35	35-50	50+	50+
Hours of Operation							7:00 a.m.— 9:00 p.m.	7:00 a.m.— 9:00 p.m.— Unlimited	Unlimited	
Height/Setback								0.66	1.0	1.0+
Heavy Industrial									all	all
Outdoor Recreation										
ISR		0.20	0.35	0.50	0.60	0.70	0.75±	0.75		
Height (feet)		15	20	25	35	45	50±	50+		

Institutional & Group Living										
—ISR				0.20	0.30	0.45	0.60	0.75		
—FAR				0.10	0.15	0.20	0.25	0.25+		
Height (feet)				15 20	25 35	35 50	45 50+	45+		
Height/Setback				0.5	0.6 6	1.0	2.0	>2.0		
Public Service										
ISR					0.20 0.35	0.35 0.50	0.50 0.60	0.60 0.65	0.65 0.70	0.75
—FAR					0.10 0.15	0.25	0.40	0.60	0.75	0.75+
Height (feet)					15 25	25 35	35-45	45-60	60 60+	60+

4049 **Sec. 30.14.7.5. Required buffers.**

4050 (a)  Buffers Adjacent to Developed Property. The standards in the table below address
4051 the opacity of the buffer required between proposed and existing uses. The rows show the proposed
4052 land use intensity of the subject property, while the columns contain the land use intensity of
4053 existing development on the adjoining parcel(s). Asterisks indicate that no buffer is required.

4054 Required opacity shall be reduced by fifty (50) percent where the existing adjacent land
4055 use is a single-family home in a HIP, MXD, Industrial, Commercial, or Office future land use
4056 designation.

Required Opacity of Buffers Adjacent to Developed Sites											
		LUI Existing									
		I	II	III	IV	V	VI	VII	VIII	IX	X
LUI Proposed	I	*	*	*	*	*	*	*	*	*	*
	II	0.2	*	0.1	0.2	0.3	0.4	0.5	0.6	0.7	0.8
	III	0.2	0.1	*	0.1	0.2	0.3	0.4	0.5	0.6	0.7
	IV	0.3	0.2	0.1	*	0.1	0.2	0.3	0.4	0.5	0.6
	V	0.30.4	0.3	0.2	0.1	*	0.1	0.2	0.3	0.4	0.5
	VI	0.40.5	0.30.4	0.3	0.2	0.1	*	0.1	0.2	0.3	0.4

	VII	0.50.6	0.40.5	0.30.4	0.3	0.2	0.1	*	0.1	0.2	0.3
	VIII	0.60.7	0.50.6	0.40.5	0.30.4	0.3	0.2	0.1	*	0.2	0.2
	IX	0.70.8	0.60.7	0.50.6	0.40.5	0.30.4	0.3	0.20.3	0.10.2	*	*
	X	0.8	0.7	0.6	0.5	0.4	0.3	0.3	0.2	*	*

4057 *No buffer required.

4058 (b) Buffers Adjacent to Vacant Land. The standards in the table below address the
4059 opacity of the buffer required between proposed uses and vacant land. The rows show the proposed
4060 land use intensity of the subject property, while the columns contain the Future Land Use
4061 designation on adjoining parcel(s).

4062 Vacant sites having an approved, unexpired development plan, preliminary subdivision
4063 plan, master development plan, or site plan shall be evaluated as developed sites.

Required Opacity of Buffers Adjacent to Vacant Sites													
		LUI Existing											
		R-10, R-5, R- 3, SE	LD R	MD R	HD R	CO M	OF F	HI P	MX D	IN D	RE C	PU B	PD
LUI Proposed	I	*	*	*	*	*	*	*	*	*	*	*	n/a
	II	0.2	*	*	*	*	*	*	*	*	*	*	n/a
	III	0.2	*	*	*	*	*	*	*	*	*	*	n/a
	IV	0.3	*	*	*	*	*	*	*	*	*	*	n/a
	V	0.30.4	0.2 0.3	*	*	*	*	*	*	*	*	*	n/a
	VI	0.40.5	0.3 0.4	*	*	*	*	*	*	*	*	*	n/a
	VI I	0.50.6	0.4 0.5	*	*	*	*	*	*	*	*	*	n/a
	VI II	0.60.7	0.5 0.6	* 0.2	* 0.3	0.2	0.2	*	*	*	*	*	n/a
	IX	0.70.8	0.6 0.7	0.2 0.3	0.3 0.4	0.2	0.3	*	*	*	0.2	*	n/a
	X	0.8	0.7	0.3	0.4	0.3	0.4	*	*	*	0.3	*	n/a

4064 *No buffer required.

4065 (c) Buffers Adjacent to Streets.

4066 (1) Chuluota Overlay Area Buffers. Nonresidential uses adjacent to County
4067 Road 419 within the Chuluota Overlay Area, shall meet the buffering requirements. Residential
4068 uses within the Overlay area shall be consistent with Paragraph (2) below.

4069 (2) Other Street Buffers. The standards in the table below address the opacity
4070 of the bufferyard that is required along arterial, collector, and local streets or railroads.

Required Opacity of Buffers Adjacent to Roads					
		Arterial	Collector	Perimeter Local/ <u>Regional Trail**</u>	Railroad
LUI Proposed	I	*	*	*	*
	II	0.1	*	*	0.6
	III	0.1	0.1	0.1	0.6
	IV	0.2	0.1	0.1	0.5
	V	0.3	0.2	0.1	0.4
	VI	0.3	0.3	0.1	0.2
	VII	0.4	0.4 0.3	0.1	0.1
	VIII	0.5 0.4	0.5 0.4	0.4 0.2	*
	IX	0.5	0.5	0.5 0.4	*
	X	0.5	0.5	0.5	*

4071 *No buffer required.

4072 **Buffers adjacent to trails can have trail amenities, such as wayfinding signage, benches,
4073 dog waste stations, water fountains, and bike racks.

4074 (3) Landscape Materials. Plant Group "C," shall be used on all street buffers where
4075 overhead power lines are present. ~~In the event that canopy trees are required adjacent to power~~
4076 ~~lines under a previously existing development order, developer's commitment agreement, PD~~
4077 ~~master development plan, or other provision(s) of this Code, the Development Services Director~~
4078 ~~may allow the substitution of three (3) understory trees for each required one (1) canopy tree.~~
4079 Under an existing development order, developer's commitment agreement, PD master
4080 development plan, or other provisions of this Code that require canopy trees adjacent to power

4081 lines, the Development Services Director may permit the substitution of three (3) understory trees
4082 for each required one (1) canopy tree.

4083 30.14.7-15.1. Buffer Requirements for M-1A, M-1 and M-2.

4084 (a) Landscaping. As required by Sections ~~30.14.3—30.14.5~~ 30.14.3, 30.14.6 and
4085 30.14.9 of the Land Development Code.

4086 (b) Front buffer. Front yards shall be not less than fifty (50) feet in depth as measured
4087 from the front property line to any building. The twenty-five (25) feet of such yard nearest to the
4088 front property line shall remain unpaved except for normal entrance drives and shall be landscaped
4089 as required in Part 14. The remaining twenty-five (25) feet may be used for the parking of
4090 passenger vehicles only. Front setbacks for property located internal to an industrial park may
4091 utilize a front yard setback of not less than twenty-five feet (25') in depth from the front property
4092 line if not less than ten feet (10') of such yard nearest to the front property line is retained as a
4093 landscaped green area which is unpaved except for normal entrance drives, and sufficient area for
4094 the loading and unloading of vehicles is provided, consistent with generally accepted engineering
4095 practices and principles.

4096 ~~(c) — Buffering shall comply with Part 14. In any case, where the required buffer width~~
4097 ~~exceeds a setback requirement noted in this Section, the greater standard shall apply.~~

4098 **Sec. 30.14.6. Standard buffers.**

4099 (a) The criteria in the table below shall achieve required opacity levels for buffers
4100 specified in Section 30.14.5.

<u>Opacity</u>	<u>Standard Buffer Width (ft.)</u>	<u>Number of Plant Units Groups per 100 feet</u>	<u>Structure Enhancement Required</u>
<u>0.1</u>	<u>10</u>	<u>1.00</u>	<u>None</u>
<u>0.2</u>	<u>10</u>	<u>2.00</u>	<u>None</u>

<u>0.2 (parking buffer)</u>	<u>10</u>	<u>1.00</u>	<u>3' masonry wall</u>
<u>0.3</u>	<u>15</u>	<u>2.25</u>	<u>None</u>
<u>0.4</u>	<u>15</u>	<u>2.50</u>	<u>None</u>
<u>0.5</u>	<u>25</u>	<u>2.70</u>	<u>None</u>
<u>0.6</u>	<u>25</u>	<u>2.90</u>	<u>None</u>
<u>0.7</u>	<u>40</u>	<u>3.20</u>	<u>6' masonry wall***</u>
<u>0.8</u>	<u>50</u>	<u>3.50</u>	<u>6' masonry wall***</u>

4101 Notes:

4102 ***Adjacent to a street, may be reduced to three (3) foot metal decorative fence and three
 4103 (3) foot hedge. The Development Services Director may waive segments of any required fence or
 4104 wall in order to ensure visibility of traffic for safety purposes.

4105 **Sec. 30.14.7. Constrained site buffers.**

4106 Where a small or irregularly shaped site cannot feasibly meet the standard buffer
 4107 requirements, the Development Services Director may authorize reduced buffers as follows:

4108 The site shall meet one of the criteria listed below:

<u>Constraint</u>	<u>Criteria</u>
<u>Small or irregularly shaped site</u>	<u>The site is small enough that the installation of the standard buffers required under Section 30.14.7(a) would reduce the area available for development by 10 percent or more.</u>
<u>Resource limited site</u>	<u>The site has wetlands, flood-prone areas, or other natural constraints to development, and the use of standard buffers required under Section 30.14.7 would reduce the net buildable area of the site by 10 percent or more.</u>

4109 Based on required opacity, each constrained site buffer shall meet the applicable standard
 4110 listed below:

<u>Required Opacity</u>	<u>Buffer Width (ft.)</u>	<u>Number of Plant Groups per 100 ft.</u>	<u>Type of Structure Enhancement Required</u>

<u>0.1</u>	<u>5</u>	<u>1.00</u>	<u>None</u>
<u>0.2</u>	<u>5</u>	<u>1.50</u>	<u>None</u>
<u>Parking Buffer (0.2)</u>	<u>5</u>	<u>1.15</u>	<u>3 ft. masonry wall</u>
<u>0.3</u>	<u>5</u>	<u>1.40</u>	<u>None</u>
<u>0.4</u>	<u>10</u>	<u>2.15</u>	<u>None</u>
<u>0.5</u>	<u>15</u>	<u>2.45</u>	<u>6 ft. masonry wall**</u>
<u>0.6</u>	<u>15</u>	<u>2.60</u>	<u>6 ft. masonry wall**</u>
<u>0.7</u>	<u>25</u>	<u>3.65</u>	<u>6 ft. masonry wall**</u>
<u>0.8</u>	<u>30</u>	<u>4.35</u>	<u>6 ft. masonry wall*</u>

4111 Table notes:

4112 *These buffers only occur where nuisance buffers are required by Section 30.14.7.

4113 **Where a wall or berm is required adjacent to a road, the Development Services Director
4114 may waive such requirement or determine an appropriate alternative based on site visibility, public
4115 safety, and similar concerns.



4116 **Sec. 30.14.8. Parking buffers.**

4117 ~~A parking buffer shall be required where a parking lot, or parking structure, drive aisle,~~
4118 ~~and/or loading dock is located within twenty five (25) feet of the boundary of a residential district~~
4119 ~~or Future Land Use designation. Such buffer shall be in addition to any buffer required under~~
4120 ~~Section 30.14.7.~~

4121 **Sec. 30.14.9. Nuisance buffer yards.**

4122 ~~Additional buffering in excess of that required in the tables above shall be required for the~~
4123 ~~following:~~

4124 ~~(a) — Loading and Refuse Disposal. Where loading or refuse disposal abuts a residential~~
4125 ~~district or is visible from the public right of way, an increase in opacity by 0.2 and a minimum~~
4126 ~~six-foot wall shall be required as part of the applicable district boundary or street buffer.~~

4127 ~~(b) Outdoor Storage, Equipment Operation, or Material Handling. Where outdoor~~
 4128 ~~storage, exterior equipment operation, or material handling abuts a residential district or is visible~~
 4129 ~~from a public right-of-way, an increase in opacity by 0.2 and a berm or evergreen hedge of~~
 4130 ~~sufficient height to ensure that stored material is not visible shall be required as part of the~~
 4131 ~~applicable district boundary or street buffer.~~

Sec. 30.14.10.8. Calculating the buffer planting.

4132
 4133 (a) The table below provides the plant material for a sample bufferyard. To calculate a
 4134 bufferyard on a site, take the actual length of the bufferyard and divide by one hundred (100). Then
 4135 multiply the result by the number of plant groups per one hundred (100) feet required by the table
 4136 in Section ~~30.14.5~~ 30.14.6. A sample calculation for opacity 0.2 is shown below.

Total Linear Feet		Hundreds of Linear Feet	Plant Units Groups Per 100'	Total Plant Groups	Standard Plants in Plant Group B	Plant Type	Total Plants Required*
315	Divide by 100 =	3.15 ×	2.00 =	6.30 ×	1	Canopy Tree =	(6.30) 7
315	Divide by 100 =	3.15 ×	2.00 =	6.30 ×	2	Understory =	(12.60) 13
315	Divide by 100 =	3.15 ×	2.00 =	6.30 ×	17	Shrub =	(107.10) 108

4137 Table notes:

4138 * (calculated figure) / rounded to next whole number

4139 (b) The width of roads, driveways, or cross-access easements that interrupt a bufferyard
 4140 shall not be counted in determining the total linear feet of the bufferyard. In some cases, it may be
 4141 necessary to locate stormwater retention, utility facilities, or pedestrian/bicycle trails within a
 4142 required buffer area due to the size, shape, or other characteristics of the development site. In these
 4143 instances, the Development Services Director may adjust the location and design of the buffer to
 4144 maintain the required opacity while meeting the unique needs of the subject property.

4145 **Sec. 30.14.9. Plant Groups.**

4146 30.14.3.1 Plant groups. Landscaping materials and configurations will vary depending on
 4147 the purpose and intent of the landscape treatment. A plant group is a selection of plants that are
 4148 intended to provide a standard volume of landscaping from ground level to the top of the canopy.
 4149 When closely planted, a dense barrier is created. The following table shows the various plant
 4150 groups that may be used to meet the landscaping requirements of this Part, including minimum
 4151 size at the time of planting. Each plant grouping has the same screening potential in terms of total
 4152 plant mass; however, some have limits on where they may be used.

<u>Plant Group Options</u>	<u>Number</u>	<u>Plant Type</u>
<u>Plant Group A (Basic)</u>	<u>2</u>	<u>Canopy</u>
	<u>1</u>	<u>Understory</u>
	<u>11</u>	<u>Shrubs</u>
<u>Plant Group B (Basic)</u>	<u>1</u>	<u>Canopy</u>
	<u>2</u>	<u>Understory</u>
	<u>17</u>	<u>Shrubs</u>
<u>Plant Group C (Height Restricted)</u>	<u>5</u>	<u>Understory</u>
	<u>16</u>	<u>Shrubs</u>
<u>Plant Group D (Basic)</u>	<u>3</u>	<u>Canopy</u>
	<u>1</u>	<u>Understory</u>
	<u>13</u>	<u>Shrubs</u>
<u>Plant Group E (Low Level Visibility)</u>	<u>2</u>	<u>Canopy</u>
	<u>4</u>	<u>Shrubs</u>

4153 (1) See Section 30.14.16(b)(1) and (2) for minimum size at planting.

4154 (2) Any understory tree may be replaced by a canopy tree at the discretion of
 4155 the applicant.

4156 (3) Low level visibility describes circumstances on a side or rear buffer where,
 4157 for maintenance or security reasons, plantings are located on the applicant property’s side of a wall
 4158 or fence.

4159 (4) Upon a determination that the quantity of plants within a specific buffer area
4160 would result in plant density that would not be optimal for plant spacing, the Natural Resources
4161 Officer may approve an alternative location for excess plant material.

4162 **Sec. 30.14.11. Constrained site buffers.**

4163 Where a small or irregularly shaped site cannot feasibly meet the standard buffer
4164 requirements, the Development Services Director may authorize reduced buffers as follows:

4165 The site shall meet one of the criteria listed below:

Constraint	Criteria
Small or Infill Site	The site is small enough that the installation of the standard buffers required under Section 30.14.7(a) would reduce the area available for development by 10 percent or more.
Resource Limited Site	The site has wetlands, flood-prone areas, or other natural constraints to development, and the use of standard buffers required under Section 30.14.7 would reduce the net buildable area of the site by 10 percent or more.
Tree Preservation	Compliance with Chapter 60, Arbor Regulations, reduces by 20 percent or more the density (dwelling units per net buildable acre) or intensity (Floor Area Ratio or other appropriate measure) that would otherwise be permitted.

4166 Based on required opacity, each buffer shall meet the applicable standard listed below:

Required Opacity	Bufferyard Width (ft.)	Number of Plant Groups per 100 ft.	Type of Structure Enhancement Required
0.1	5	1.00	None
0.2	5	1.50	3 ft. hedge
Parking Buffer (0.2)	5	1.15	3 ft. masonry wall
0.3	5	1.40	5 ft. masonry wall**
0.4	10	2.15	6 ft. masonry wall**
0.5	15	2.45	6 ft. masonry wall**
0.6	15	2.60	6 ft. masonry wall**
0.7	25	3.65	4 ft. berm with 5 ft. hedge on top**
0.8	30	4.35	5 ft. berm**
0.9*	40	4.20	6 ft. berm**
1.0*	40	4.85	6 ft. berm**



4167 Table notes:

4168 *These buffers only occur where nuisance buffers are required by Section 30.14.7.

4169 **Where a required wall or berm is adjacent to a road, the Development Services Director
4170 may waive such wall or berm or determine an appropriate alternative based on site visibility, public
4171 safety, and similar concerns.

4172 **Sec. 30.14.10. Parking buffers.**

4173 A parking buffer shall be required where a parking lot, or parking structure, drive aisle,
4174 and/or loading dock is located within twenty-five (25) feet of the boundary of a residential district

4175 or Future Land Use designation. Such buffer shall be in addition to any buffer required under
4176 Section 30.14.5.

4177 **Sec. 30.14.11. Nuisance buffers.**

4178 Additional buffering in excess of that required in the tables above shall be required for the
4179 following:

4180 (a) Loading and Refuse Disposal. Where loading or refuse disposal abuts a residential
4181 district or is visible from the public right-of-way, an increase in opacity by 0.2 and a minimum
4182 six-foot wall shall be required as part of the applicable district boundary or street buffer.

4183 (b) Outdoor Storage, Equipment Operation, or Material Handling. Where outdoor storage,
4184 exterior equipment operation, or material handling abuts a residential district or is visible from a
4185 public right-of-way, an increase in opacity by 0.2 and a hedge or wall of sufficient height to ensure
4186 that stored material is not visible shall be required as part of the applicable district boundary or
4187 street buffer.



4188 **Sec. 30.14.12. Maximum feasible buffer.**

4189 In cases of redevelopment or expansion of existing uses in which adequate site area for
4190 either the standard or constrained bufferyard is not available, the Development Services Director
4191 may require that the maximum feasible buffer be installed on any property line where a buffer is
4192 needed. The maximum feasible buffer shall consist of a selection of plants and other buffer
4193 enhancement features that provide the most effective buffering possible in a given location where
4194 the required opacity cannot be met. As part of the maximum feasible buffer determination, the
4195 Development Services Director may restrict the intensity of the development by limiting parking,
4196 employment, hours of operation, etc.

4197 ***

4198 **Sec. 30.14.15. Screening**

4199 The following provisions shall apply to mechanical equipment, refuse areas, and utilities
4200 visible from residential districts or Future Land Use designations, or public rights-of-way:

4201 (a) Screening of Refuse Facilities. All solid waste containers, except approved
4202 recycling containers, shall be enclosed on at least three (3) sides with a six (6) foot screen. The
4203 screen shall consist of a brick or masonry wall, or other durable, low-maintenance material
4204 consistent with the finish of the primary building, as approved by the Development Services
4205 Director. Masonry walls shall have a finished surface on the exterior side. Refuse container
4206 enclosures shall have gates with spring-loaded hinges or the equivalent, and fasteners to keep them
4207 closed at all times except during refuse pick-up. The Development Services Director may require
4208 that a hedge or similar landscaping material surround the enclosure walls. The container and
4209 enclosure shall be oriented so that the opening faces away from public streets and adjoining
4210 properties. A concrete or asphalt pad of appropriate size and construction shall be provided as a
4211 base for the container. The container pad shall be at the approximate level of the service vehicle
4212 approach area so that the truck's loading mechanism can align with the container's sleeves. The
4213 screened enclosure shall not be located in any street right-of-way or required landscape buffer.
4214 Containers and enclosures shall be located to allow ease of access for collection trucks and direct
4215 access to drive areas. Straight-in or circular drives are encouraged to reduce truck maneuvering
4216 problems. No parking or other obstructions shall be permitted in front of such containers and
4217 enclosures. Hours of operation for emptying such containers may be specified during the site plan
4218 review process based on compatibility with adjacent properties to limit noise.

4219 (b) Mechanical Equipment.

4220 (1) All roof, ground and wall mounted mechanical equipment (e.g., air
4221 conditioning condensers, heating units, electrical meters, irrigation pumps, ice machines and
4222 dispensers, outdoor vending machines, propane tanks, displays, and refilling areas) shall be
4223 screened from view from a residential district or public rights-of-way at ground level on the
4224 property line.

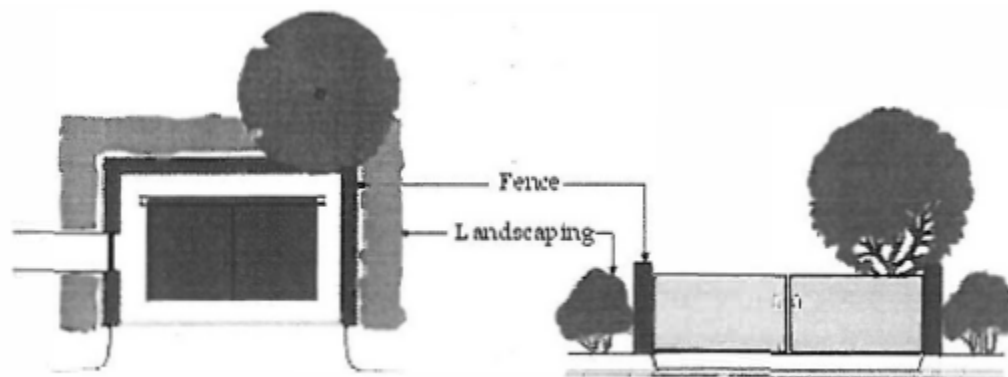
4225 (2) Roof-mounted mechanical equipment shall be shielded from view on all sides.
4226 Screening shall consist of materials consistent with the primary building materials, and may
4227 include decorative metal screening or louvers that are galvanized or painted to blend with the
4228 principal structure.

4229 (3) Wall or ground-mounted equipment screening shall be constructed of:

4230 Planting screens;

4231 Brick, stone, reinforced concrete, or other similar masonry materials; or

4232 Redwood, cedar, preservative pressure treated wood, or other similar materials.



4233

4234 (c) Utilities. Above-ground utilities and appurtenances to underground utilities which
4235 require above-ground installation shall be screened by a continuous planting of shrubs, with a
4236 minimum mature height equal to that of the structure, up to eight (8) feet. Required access points
4237 to these utilities are exempt from the screening provisions.

4238 ~~(b)~~(d) Refer to Part 9 for Pool Screen Enclosure standards.

4239 * * *

4240 **Sec. 30.14.19. Fences.**

4241 (a) A building permit is required for any fence or wall to be erected, replaced, or needs
4242 major repair, except as otherwise stated. A major repair shall be considered a segment of fence or
4243 wall on more than ten (10) percent of the total linear feet of the existing fence or wall, two (2) or
4244 more fence or wall panels, or more than eighteen (18) linear feet, whichever is less. Building permit
4245 applications must include a certified survey showing the location of the proposed fence or wall;
4246 however, the Planning Manager may waive this requirement and allow a plot plan or site plan
4247 when the survey corner markers will be made visible for inspection by the Building Inspector. If
4248 determination for compliance to approved plans cannot be made by exposed survey corner
4249 markers, the Building Inspector may require a string line from survey corner marker to survey
4250 corner marker to ensure compliance. If the Building Inspector is still unable to determine if
4251 compliance is met due to site conditions, it is the responsibility of the contractor or owner, if
4252 owner/builder permits, to provide a site built survey to verify compliance with the approved plans.

4253 A building permit is not required for fences on properties with a detached single-family or
4254 duplex unit that meet all of the following conditions:

- 4255 (1) Does not impede the function or maintenance of any designated easement;
4256 (2) Is not adjacent to wetlands, water bodies, or their required buffers;
4257 (3) Uses commonly commercially available fencing materials, such as wood,
4258 vinyl, PVC, or aluminum; and
4259 (4) Does not exceed six (6) feet in height, but may include an additional six (6)
4260 inches for embellishments.

4261 (b) Residential zoning classifications: fences and walls are limited to a maximum
4262 height of four (4) feet within the front yard and side street setbacks and six (6) feet, but may include
4263 an additional six (6) inches for embellishments ~~six (6) inches~~ within the side and rear yard setbacks
4264 except as provided in (f) of this Section. In the case of corner lots, the lot shall be considered to
4265 have a front yard or yards on any side or sides abutting a road right-of-way. In the case of double
4266 frontage lots, a fence may be placed on the rear property line facing the secondary right-of-way.

4267 (c) Commercial or Industrial zoning classifications: fences and walls are limited to a
4268 maximum height of six (6) feet six (6) inches within the front setback and eight (8) feet within the
4269 side and rear yard setbacks except as required to maintain visibility per ~~(e)(4)~~ ~~(f)(3)~~ of this Section
4270 and Section 250.91, Code of Ordinances. Notwithstanding any other provisions of this Code,
4271 fences shall not be located within a designated buffer unless required under Chapter 30 Part 14.

4272 (d) Agricultural zoning classifications: fences and walls are limited to a maximum height
4273 of five (5) feet and an additional one (1) foot for embellishments within the front yard setback; and
4274 eight (8) feet within the side and rear yard setbacks. Fences located within the front yard setback
4275 must be open split rail, open picket, or decorative metal such as wrought iron; steel woven wire
4276 may be used behind split rail fencing for animal containment, but no barbed wire is permitted.
4277 These regulations shall not apply to property having an agricultural classification from the
4278 Seminole County Property Appraiser. In the case of double frontage lots, a fence may be placed
4279 on the rear property line facing the secondary right-of-way. In addition, properties zoned A-1 but
4280 located in a platted residential subdivision within the urban service area may opt to comply with
4281 the residential fences regulations contained in 30.14.19(b).

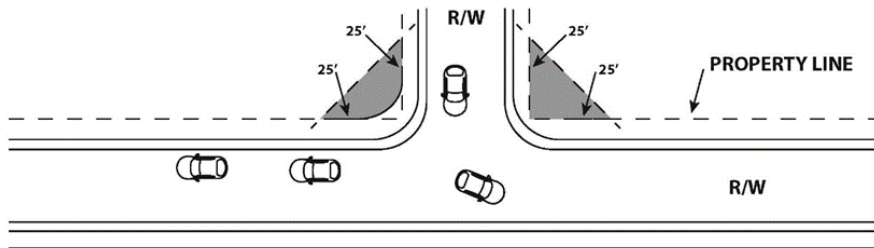
4282 (e) Planned Developments: Unless otherwise stated in the recorded Development
4283 Order or Developer's Commitment Agreement, all fences or walls will comply with this Section.

4284 (f) Setback distance requirements will be as follows:

4285 (1) No side street setback will be required from any side property line adjoining
4286 railroad right-of-way or a limited access highway.

4287 (2) For corner lots in residentially zoned properties, including residential
4288 Planned Developments unless otherwise stated in the development order, the secondary front yard
4289 or side street setback may be reduced to five (5) feet provided the visual clearance (sight line
4290 triangle) requirements of (c)(4) of this Section can be met and with approval by the Seminole
4291 County Traffic Engineering Division. Building permit applications requesting the reduction of the
4292 side street setback must include a certified survey indicating the adjacent rights-of-way.

4293 (3) Fences, walls, hedges, plantings, or other obstructions must maintain visual
4294 clearance requirements at the intersection on corner lots. The visual clearance triangle must be
4295 fifteen (15) feet for residentially and agriculturally zoned property, or twenty-five (25) feet for
4296 commercially or industrially zoned property at a street intersection unless otherwise approved by
4297 the County Engineer. The visual clearance triangle is measured from the property corner adjoining
4298 the intersection of rights-of-way the distance described above with a line joining points on those
4299 lines.



4300 (4) Any fence, wall, hedge, planting (except plants defined as shoreline
4301 vegetation in FAC 62-340-450), or other obstruction adjacent to a natural water body is limited to
4302

4303 a maximum height of four (4) feet. Any fence or wall greater than four (4) feet must be located a
4304 minimum distance of thirty (30) feet from the normal high water elevation of a natural water body.
4305 Building permit applications for fences or walls adjacent to a natural water body must include a
4306 certified survey no less than five (5) years old indicating the Normal High Water Elevation.

4307 (g) In all zoning districts, a chain link fence and other non-privacy fences (e.g., clear
4308 plastic and metal or aluminum picket fences) that are not opaque but function similarly to a chain
4309 link fence in that they do not obstruct the view with a maximum height of six (6) feet with an
4310 additional six (6) inches for embellishments ~~six (6) inches~~ may be permitted on a vacant parcel,
4311 except as provided in (b) of this Section, with an approved building permit.

4312 (h) Entrance walls to a subdivision may be erected closer to streets or roads only on
4313 approval of the Board of County Commissioners.

4314 (i) No barbed-wire fence shall be erected in any residential district except for security
4315 of public utilities. Barbed wire may be used on security fences erected in any commercial or
4316 industrial district or for security of public utilities, provided such use is limited to three (3) strands,
4317 a minimum of six (6) feet above the ground.

4318 (j) No fence or wall shall be erected or project beyond the property line or be located
4319 within required visual clearance areas.

4320 (k) A fence shall be uniform in construction, design, material, color and pattern, and
4321 the fence material shall be a standard material conventionally used by the fence industry.
4322 Nontraditional materials, including, but not limited to, tires, mufflers, and hubcaps, are prohibited.
4323 Open split-rail fences shall be permitted.

4324 (l) All fences shall be maintained in their original upright condition.

4325 (m) Fences and walls designed for painting or similar surface finish shall be maintained
4326 in their original condition as designed. Any walls or fences which have been defaced shall be
4327 promptly restored to their original condition.

4328 (n) Missing boards, pickets, posts or bricks shall be promptly replaced with material of
4329 the same type and quality, subject to permitting requirements in (a) of this Section.

4330 (o) Gates and posts are limited to the same maximum heights and required setbacks for
4331 fences and walls provided in (b), (c), (d), and (e) of this Section, including architectural
4332 embellishments. Gates shall not swing into adjacent properties or encroach into the right-of-way.

4333 (p) Where grade elevations along adjoining properties differ, fence/wall height shall be
4334 measured from the finished ground floor elevation of the property having the higher ground floor
4335 elevation.

4336 (q) Any fence greater in height than provided in this Section or within the required yard
4337 setbacks shall not be erected without approval of the Board of Adjustment after a public hearing.
4338 Reductions to the side street setback as provided in (f)(2) will not require Board of Adjustment
4339 approval unless otherwise determined by the Planning Manager.

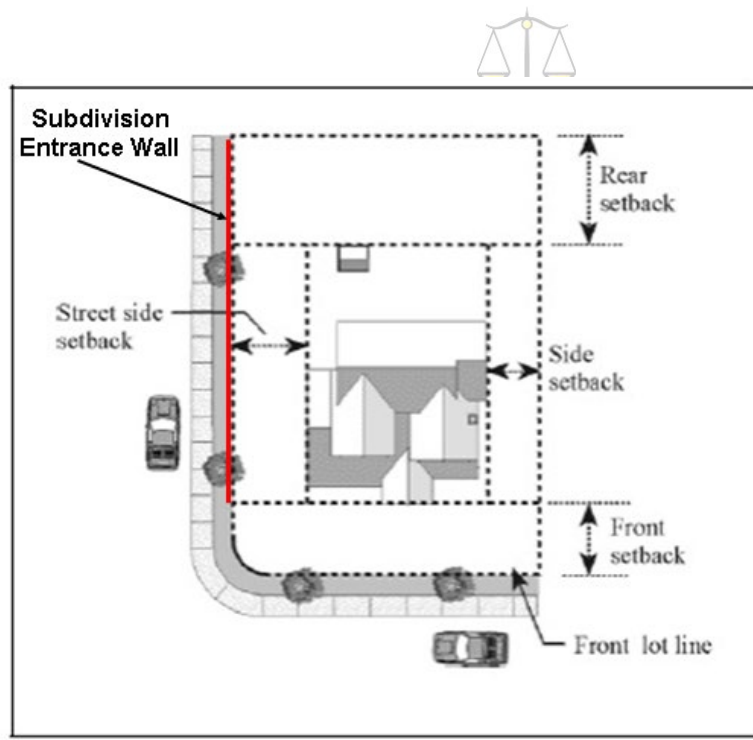
4340 (r) The face of any fence or wall visible to the public should be erected with the
4341 finished side facing out.

4342 (s) Subdivision perimeter fencing: Walls surrounding the perimeter of subdivisions are
4343 discouraged. However, when the back of homes within a subdivision are adjacent to a right-of-
4344 way, solid walls shall be allowed to discourage a mix of private fences and to provide a consistent
4345 edge. If a development voluntarily provides a wall due to the above condition, the enclosure shall
4346 be constructed of cement or masonry materials, rather than vinyl or wood and any required
4347 landscaping shall be on the side of the wall facing the right-of-way. The subdivision wall must be

4348 maintained by a property/homeowners association and included as a common element of the
4349 association.

4350 Pedestrian access: Walls located along a right-of-way are required to have openings or
4351 pedestrian gates every 500 feet or less, or every five (5) lots, whichever is less, and must be paired
4352 with a pathway to ensure pedestrian connectivity. Alternative distances between pedestrian gates
4353 or openings may be approved by the Development Services Director based on site layout and
4354 characteristics.

4355 (t) Subdivision walls on private lots. For corner lots where a subdivision wall exists
4356 adjacent to the side street property line (secondary front yard), a fence of equal height shall be
4357 permitted at the property line without a variance. However, if the fence projects in front of the
4358 front yard building line (into the front yard setback) the height is limited to 4 feet. See figure 14.19
4359 below.



4360 Figure 14.19

4361 If the property owner elects to erect a fence perpendicular to the existing subdivision wall,
4362 the fence shall not be erected beyond the property line.

4363 * * *

4364 **Section 8.** Chapter 35 (Subdivision Regulations) of the Land Development Code of
4365 Seminole County is hereby amended to read as follows:

4366 **Chapter 35 – SUBDIVISION REGULATIONS**

4367 * * *

4368 **PART 2. PROCEDURES FOR SECURING APPROVAL OF PLATS**

4369 * * *

4370 **Sec. 35.14. Review of final plat.**

4371 (a) *Purpose.* The purpose of the final plat is to ~~insure~~ensure the preparation,
4372 completion, and recording of a final plat map and its accompanying legal documentation and the
4373 review and approval of final technical submittals and engineering drawings.

4374 (b) ~~*Initiation point*~~*Submittals.* All submittals must be presented to the ~~current planning~~
4375 ~~office.~~Planning and Development Division. Submittals shall be as required by Section 35.44, and
4376 as required as a condition of preliminary plan approval.

4377 As required by Florida Statutes, as may be amended, within seven (7) business days after
4378 receipt of a plat or replat submittal, the Development Services Director or designee shall provide
4379 written notice to the applicant acknowledging receipt of the plat or replat submittal and identifying
4380 any missing documents or information necessary to process the plat or replat submittal.

4381 ~~(e) *Submittals.* All submittals shall be as required by section 35.44, Required~~
4382 ~~submittals for final plat, and any submittals required as a condition of preliminary plan approval.~~

4383 ~~(d)~~(c) *Fees.* Fees for final plat review, as adopted from time to time by the board, must be
4384 paid to Seminole County, Florida, at the time the submittal is made to the ~~current planning office~~
4385 Planning and Development Division.

4386 ~~(e)~~(d) *Review process.* All final plats shall be subjected to a standard review process as
4387 outlined below:

4388 (1) ~~All submittals are received by the current planning office, compiled and~~
4389 ~~distributed to the appropriate members of the development review committee. Upon determination~~
4390 by the Development Services Director or designee that the submittal is sufficient to process for
4391 review; the submittal shall be distributed to the appropriate members of the development review
4392 committee for review.

4393 (2) ~~The submittals shall be reviewed by the development review committee~~
4394 ~~with the applicant or his representative present. If the Development Services Director or designee~~
4395 determines that the plat or replat does not meet all requirements to be approved, the applicant will
4396 be notified in writing. The written notice must identify all areas of noncompliance and include
4397 specific citations to each requirement the plat or replat submittal fails to meet. The applicant may
4398 resubmit a revised plat or replat submittal based on the identified areas of noncompliance.

4399 (3) ~~If the plat does not meet all requirements, the developer shall have the~~
4400 ~~option to either appear before the planning and zoning commission or submit, within sixty (60)~~
4401 ~~days, a revised final plat, without fee, for review by the development review committee. Any~~
4402 ~~revisions after the first one will require an additional final plat fee and will be subject to the same~~
4403 ~~sixty-day deadline. Deadlines may be extended by the development review committee upon receipt~~
4404 ~~of written request prior to the expiration date.~~

4405 (4)(3) If the plat complies with all requirements, the Development Services
4406 Director or designee will administratively approve the plat or replat. Prior to the plat or replat being
4407 offered for recording, evidence of approval must be placed on the plat. it shall be presented to the

4408 ~~Board of County Commissioners within thirty (30) days of determination of compliance. The vice~~
4409 ~~chairman shall have the authority to sign final plats in the absence of the chairman.~~

4410 ~~(5) The current planning office shall notify the applicant in writing of the~~
4411 ~~decision of the Board of County Commissioners.~~

4412 (f) Final engineering plans shall be valid for a maximum period of one (1) year
4413 following approval, unless: (1) the final plat has been recorded; or (2) a construction permit, in
4414 compliance with Chapter 80 of this Code, has been obtained; or (3) the Development Review
4415 Manager determines, prior to recording of the plat, that the plans are in compliance with all
4416 applicable code requirements and the requirements of state and federal laws. If any matter is not
4417 in strict compliance with law, the Development Review Manager shall direct that the engineering
4418 plans be resubmitted for all appropriate reviews under this Code.

4419 * * *



4420 **Sec. 35.16. Home construction prior to plat recording.**

4421 (a) Model Homes. Notwithstanding any provision of this part to the contrary, building
4422 permits for homes may be issued for the construction of model homes within a subdivision prior
4423 to plat recording if an estoppel letter, in a form acceptable to the County Attorney, is submitted
4424 and the Development Services Director or designee determines that the model homes are to be
4425 located at appropriate locations with appropriate and adequate safeguards to the public health,
4426 safety and welfare. The estoppel letter shall be in recordable form and contain a covenant that no
4427 conveyance of the lots or parcels upon which the model homes are located shall occur until after
4428 the plat for the subdivision is approved and recorded.

4429 (b) Expedited Residential Subdivision Building Permits.

4430 (1) Purpose. The purpose of this section is to establish a process, pursuant to
4431 Section 177.073, Florida Statutes, as amended, to expedite issuance of building permits for
4432 residential subdivisions prior to final plat recording if certain requirements are met, as set forth
4433 herein.

4434 (2) Submittal Requirements. Submittals for the expedited residential
4435 subdivision building permit process are required to include the following:

4436 ~~(A)~~a. An Expedited Residential Subdivision Building Permit Application.

4437 The application must include identification of the percentage of planned homes or the number of
4438 building permits, not to exceed the thresholds set forth in Section ~~177.031~~ 177.073, Florida
4439 Statutes, to be issued prior to recording of the final plat for the residential subdivision.

4440 ~~(B)~~b. Application Fee. As per adopted Fee Schedule.

4441 ~~(C)~~c. Ownership Disclosure Form and supporting documents.

4442 ~~(D)~~d. Owner Authorization Form. Required if the applicant is not the
4443 property owner.

4444 ~~(E)~~e. Plot Plan. For the purposes of this section, "plot plan" means a
4445 scaled plan showing the existing and proposed improvements within the boundary of a lot,
4446 including, but not limited to, structures, infrastructure, utilities, and boundary lines of the lot in
4447 relation to each other. A separate plot plan is required for each individual lot requesting an
4448 expedited building permit.

4449 ~~(F)~~f. An emergency access and water supply plan. The plan is required to
4450 show adequate fire department access to the subdivision and sufficient water supply to those lots
4451 seeking expedited building permits and must be approved by the Fire Marshall. The emergency

4452 access and supply plan must be complied with throughout construction in accordance with NFPA

4453 1.

4454 ~~(4)~~(3) ~~Bonds-Sureties~~. The applicant is required to submit a valid performance
4455 ~~bond-surety~~ to guarantee the installation of necessary improvements, as per Section ~~177.031(9)~~
4456 177.073, Florida Statutes, in the amount of one hundred thirty (130) percent of the construction
4457 costs. Cost for construction shall be: (1) estimated by the applicant's engineer, or (2) a copy of the
4458 contract between the applicant/developer and the contractor. The amount of the performance ~~bond~~
4459 surety must be approved as adequate by the County Engineer, the Utilities Department, if
4460 applicable or their designees. This ~~bonding-surety~~ requirement may ~~also~~ be met by bond, escrow
4461 deposit, ~~cashier's check~~ letter of credit, ~~certified check~~, or an alternative document as approved by
4462 the Board of County Commissioners, ~~which may include an irrevocable letter of credit or~~
4463 ~~developer agreement~~.




4464 ~~(5)~~(4) Addressing. Those lots requesting Expedited Residential Subdivision
4465 Building Permits must be pre-addressed after the approval of the Preliminary Plan by the Planning
4466 and Zoning Commission and prior to submission of an Expedited Residential Subdivision Building
4467 Permit Application. This can be accomplished by making a request to the Addressing Supervisor,
4468 or designee, with the approved Preliminary Plan at least ten (10) working days prior to the
4469 submission of an Expedited Residential Subdivision Building Permit Application. Plans required
4470 by Addressing must include the approved street names, adjacent road names, entrance locations,
4471 lot numbers, all possible lot division lines, and north arrow. Assigned addresses are subject to
4472 change until the plat has been recorded. The Addressing Supervisor or designee shall have the
4473 authority to deviate from these standards as necessary to ensure the safety of the general public.

4474 ~~(6)~~(5) Criteria for approval. The following criteria are required to be met for
4475 approval and issuance of expedited residential subdivision building permits:

4476 ~~(A)~~a. The Preliminary Plan (also referred to as and used interchangeably
4477 with "Preliminary Subdivision Plan" and "Preliminary site plan" as per the Land Development
4478 Code and "Preliminary Plat" as per Section 177.073, Florida Statutes), Site Plan, and Final
4479 Engineering Plan must be approved and in compliance with this Land Development Code, the
4480 Florida Building Code, the Fire Code and ~~Section 177.031~~Chapter 177, Florida Statutes.

4481 ~~(B)~~b. Proof that the applicant provided the Preliminary Plan, the Site Plan
4482 and the Final Engineering Plan to the applicable electric, gas, water, and wastewater utilities
4483 servicing the property; and

4484 ~~(C)~~c. All proposed structures seeking an expedited building permit must
4485 meet the requirements for an approved master building permit or the most recently adopted Florida
4486 Building Code requirements. 

4487 ~~(D)~~d. The emergency access and water supply plan must be approved by
4488 the Fire Marshall in accordance with NFPA 1.

4489 ~~(E)~~e. Adequate addressing and installation of street signs in accordance
4490 with the requirements outlined in this Chapter and Chapter 40 of the Code of Ordinances must be
4491 completed.

4492 ~~(F)~~f. Proof that the applicant holds a valid performance bond, approved
4493 by the County, for 130 percent of the uncompleted necessary improvements, as defined above; and

4494 ~~(G)~~g. Execution of an indemnification and hold harmless agreement in
4495 favor of the County, pursuant to ~~Section 177.031(10)~~177.073, Florida Statutes.

4496 ~~(7)~~(6) Restrictions. Applicants may not:

4497 (A)a. Transfer ownership of lots until the final plat is approved and
4498 recorded in the Public Records of Seminole County, Florida.

4499 (B)b. Obtain a temporary or final certificate of occupancy until the final
4500 plat has been recorded.

4501 (C)c. Occupy or allow occupation of any structure prior to issuance of a
4502 certificate of occupancy

4503 **PART 4. REQUIRED SUBMITTALS APPROVAL OF PLATS**

4504 * * *

4505 **Sec. 35.42. Required submittals for development plan.**

4506 The development plan shall be drawn at a reasonable scale (one (1) inch to one hundred
4507 (100) feet), ~~submitted in nine (9) copies,~~ and shall show the following:

4508 (a) Legend. Title, legal description, scale, north arrow, approximate acreage to be
4509 subdivided, current zoning, total number of lots, minimum lot size, name, address, and telephone
4510 number of the subdivider or his representative(s).

4511 (b) Vicinity map. Showing relationship between area proposed for development and
4512 surrounding streets and public facilities, shall be at a scale of not less than one (1) inch equals two
4513 thousand (2,000) feet.

4514 (c) Existing streets. The name, location, and right-of-way width of all existing streets
4515 which abut the proposed subdivision, and existing easements on the property and location of all
4516 existing driveways and median openings in the vicinity.

4517 (d) Proposed streets. The width of proposed street rights-of-way.

4518 (e) Lots. Preliminary lot layout with approximate dimensions shown.

4519 (f) Soils.

4520 (1) Soil classification map drawn on the face of the plan for comparison with
4521 proposed development activities. Indicate soil classifications on the plat as identified by the United
4522 States Department of Agriculture Soil Conservation Service in the "Seminole County Soil Survey"
4523 and "Soil Survey Supplement." An applicant may challenge this designation by securing
4524 competent expert evaluation, at the applicant's own expense, demonstrating that the identified soils
4525 are not classified correctly. If said determination is concurred in by the Development Review
4526 Manager, the soils shall be correctly identified for the purpose of this chapter.

4527 (2) Soil analysis by a qualified soil engineer shall be furnished, upon request of
4528 the Development Review Manager, for submittal with preliminary plat.

4529 (g) Topography. As delineated by the United States Geological Survey Maps will be
4530 adequate.

4531 (h) Other natural features. Including lakes, wetlands, water courses, and other pertinent
4532 features. Tree cover will be compared with road locations, but no submittals will be necessary at
4533 this stage. Seminole County wetlands maps or aerial photography interpretation may be utilized
4534 for wetlands delineation.

4535 (i) Limits of floodplain. Indicate flood elevation, drawn on the face of the plan, for
4536 100-year flood as established by the United States Geological Survey Map series entitled, "Map
4537 of Flood Prone Areas," or the "Flood Insurance Rate Map (FIRM)." An applicant may challenge
4538 this designation by securing competent expert evaluation, at the applicant's own expense,
4539 demonstrating that the property does not fall within the designated flood delineation. If said expert
4540 determines that the property in question is not within a flood-prone area, and said determination is
4541 concurred in by the Seminole County Engineer or his designee, said property shall be designated
4542 as nonflood-prone for the purpose of this chapter.

4543 (j) Utilities. Proposed source of water and sewer

4544 **Sec. 35.43. Required submittals for preliminary plan.**

4545 Required submittals for the preliminary plan shall consist of a plat, preliminary engineering
4546 drawings, and other auxiliary submittals as herein stated.

4547 (a) Plan requirements. A preliminary plan, drawn at a reasonable scale (one (1) inch to
4548 one hundred (100) feet) by a registered surveyor and engineer ~~and submitted in nine (9) copies,~~
4549 showing graphically or by notes:

4550 (1) Title block. The title or name of the proposed subdivision, the name and
4551 address of the owner of the tract proposed for development, and the name and address of the
4552 engineer and surveyor engaged to prepare and design the preliminary plat.

4553 (2) Legend. Date, scale or plat, north arrow, current zoning, total number of
4554 lots, and minimum lot size.



4555 (3) Legal description. A full and detailed legal description of the tract to be
4556 platted and its approximate acreage.

4557 (4) Vicinity map. Showing relationship between area proposed for
4558 development and surrounding streets and public facilities, shall be at a scale of not less than one
4559 (1) inch equals two thousand (2,000) feet.

4560 (5) Streets. The location, name, and right-of-way and pavement width, both on
4561 and immediately contiguous to, the subdivision tract shall be shown.

4562 (6) Public open space and easements. Existing park lands, lakes, waterways and
4563 wetlands within the tract to be subdivided shall be shown. Existing public easements shall be
4564 shown on the plat. The purpose for such easement shall be indicated.

4565 (7) Dedications and reservations. All parcels of land proposed to be dedicated
4566 or reserved for public use, such as roads, easements, parks, sidewalks, bikes, or pedestrian trails,
4567 wetlands and conservation areas shall be indicated on the plat. Proposed rights-of-way and street
4568 names shall be indicated.

4569 (8) Lot lines and lot numbers. The proposed lot line, with appropriate
4570 dimensions and lot numbers, shall be shown. Lots shall be numbered in consecutive order starting
4571 with the numeral one (1) for the first lot in each block, or other manner as approved by the County.

4572 (9) Topography. Contour intervals of one (1) foot, except where determined to
4573 be unreasonable by the County Engineer.

4574 (10) Soils. Soil classification map drawn on the face of the plan for comparison
4575 with proposed development activities. Indicate soil classifications on the plat as identified by the
4576 United States Department of Agriculture Soil Conservation Service in the "Seminole County Soil
4577 Survey" and "Soil Survey Supplement." An applicant may challenge this designation by securing
4578 competent expert evaluation, at the applicant's own expense, demonstrating that the identified soils
4579 are not classified correctly. If said determination is concurred in by the Development Review
4580 Manager, the soils shall be correctly identified for the purpose of this Code. (Not required if soil
4581 classification map was submitted with development plan.)


4582 (11) Proposed building setback lines. Required only if different than those
4583 specified by the Zoning Regulations of Seminole County.

4584 (12) Other natural features. Including lakes, wetlands, water courses, and other
4585 pertinent features. Tree cover will be compared with road locations, but no submittals will be
4586 necessary at this stage. Wetland areas shall be delineated by survey certified by a registered

4587 professional land surveyor following field verification by the natural resources officer, his
4588 designee or their successors.

4589 (13) Homeowners association. All developments whose submitted plan indicates
4590 the existence of one (1) or more areas to be held in common by the property owners shall have
4591 established and maintained a homeowners association membership in which will be required for
4592 all purchasers of lots or parcels of land within the plat. Said association shall be established by the
4593 developer at the time, and as a condition, of platting and shall be acceptable to County. Upon
4594 request of the developer and a showing of undue hardship, the ~~Board of County Commissioners~~
4595 Development Services Director, ~~at its sole discretion~~, may waive the requirement of this provision.

4596 (b) Engineering drawings. Preliminary engineering drawings shall be submitted in two
4597 (2) copies to the current planning office and show the following:

- 4598 (1) Water system. 
- 4599 (2) Sewage system.
- 4600 (3) Stormwater and drainage facilities.
- 4601 (4) Bulkheads.
- 4602 (5) Streets.
- 4603 (6) Sidewalks, bicycle paths, and pedestrian paths.
- 4604 (7) Excavation and fill.

4605 The County may require additional information as needed. such as, proposed disposition
4606 and water quality of storm drainage.

4607 (c) Other submittals.

4608 (1) Arbor information. The location of all trees, as defined by the Arbor
4609 Ordinance, in rights-of-way and easements shall be submitted to the Arbor section, Current

4610 Planning Office. This submittal may be an aerial photograph. Application for arbor permit will be
4611 made at this stage. The Arbor Inspector will also review excavation and fill plans to determine
4612 possible tree replacement requirements.

4613 (2) Covenants. A draft copy of any proposed protective covenants or deed
4614 restrictions shall be submitted.

4615 (3) Dredge and fill. If any dredging or filling operation is intended in
4616 development of the area, application shall be made to the Planning Manager Development Services
4617 Director for dredge and fill permitting. No such work will be done prior to issuance of such permit.

4618 (4) Erosion control. Provisions for the adequate control of erosion and
4619 sediment, indicating the location and description of the methods to be utilized during and after all
4620 phases of clearing, grading, site preparation, and construction.

4621 (5) Additional data. Such other additional information shall be submitted as
4622 deemed necessary by the County ~~Engineering Division, the utilities division, Development Review~~
4623 ~~Division and the current planning office to insure~~ to ensure conformity with the requirements of
4624 this section and other sections of this Code and other applicable laws, ordinances, and regulations.

4625 (6) Pedestrian, bicycle and vehicular linkage information. This information
4626 shall be provided in graphic and textual form and will describe the following:


4627 ~~(A)~~a. Vicinity map which depicts:

4628 ~~(i)~~1. All existing, approved or planned residential subdivisions
4629 and non-residential sites which abut or are within one-quarter ($\frac{1}{4}$) mile of the proposed
4630 development.

4631 ~~(ii)~~2. The location of all existing and planned common use and
4632 public use facilities; elementary, middle and high schools; community and neighborhood parks;

4633 commercial and/or employment centers; and transit facilities within a two (2) mile radius of the
4634 boundary of the proposed development. Planned public uses shall be as defined in the Capital
4635 Improvements Element of the Seminole County Comprehensive Plan and/or a facility plan as
4636 adopted by a public service provider or the school board. For the purpose of submitting this vicinity
4637 map, readily available commercial or County maps may be used.

4638 ~~(B)~~b. A statement by the applicant showing how non-automotive forms of
4639 transportation are promoted in order to reduce dependency on the automobile to include the
4640 following:

4641 ~~(i)~~1. A statement indicating how existing and planned bicycle
4642 paths, sidewalks and pedestrian access easements (jogging paths and trails) would provide access
4643 from the proposed development to all facilities referenced in the vicinity map. This statement shall
4644 include information to indicate where there are barriers to the implementation of potential linkages
4645 exist such as walls, berms and other features. 

4646 ~~(ii)~~2. A statement indicating how pedestrian and bicycle access to
4647 all the facilities depicted on the vicinity map will be provided both within and immediately external
4648 to the subdivision.

4649 ~~(C)~~c. A statement indicating how vehicular access to proximate
4650 neighborhoods and public facilities, services, commercial and employment centers would be
4651 accomplished; and how the use of local residential streets by substantial through traffic will be
4652 discouraged or restricted.

4653 ~~(D)~~d. A one (1) page graphic plan or map to scale showing the following:

4654 ~~(i)~~1. The location of all existing or proposed residential and
4655 collector streets which abut the proposed development.

4656 ~~(ii)~~2. Proposed vehicular connections to all the facilities identified
4657 in (D)(i), above.

4658 ~~(iii)~~3. Street layout and design indicating how local and residential
4659 streets will be designed to discourage through traffic.

4660 ~~(iv)~~4. Location of pedestrian, bicycle and vehicular access to
4661 abutting residential subdivisions.

4662 ~~(E)~~e. Any portion of these required submittals may be waived by the
4663 Planning and Development Division upon finding that one (1) or more of the following conditions
4664 exist; provided, however, that a waiver of submittal requirements will not act to waive the review
4665 of impacts of the proposed subdivision on pedestrian, bicycle and vehicular linkages and such
4666 linkage requirements shall be evaluated:

4667 ~~(i)~~1. The perimeter of the proposed subdivision is less than three
4668 thousand three hundred (3,300) feet in length, and is not part of a larger phased development; or

4669 ~~(ii)~~2. A final development order has been issued by the County
4670 that is applicable to the property and which addresses pedestrian, bicycle and vehicular linkages;
4671 or

4672 ~~(iii)~~3. The proposed subdivision is within an existing urbanized
4673 area and pedestrian, bicycle and vehicular linkages with other subdivision, public facilities and
4674 commercial/employment centers are already provided or planned; or

4675 ~~(iv)~~4. The proposed subdivision is within a designated rural area
4676 with a maximum density less than one (1) unit per acre; or

4677 (✓) 5. The proposed subdivision is part of a larger PD in which
4678 pedestrian, bicycle and vehicular plans were approved as part of the preliminary or final
4679 development plan.

4680 ~~(7) — Transportation management plan. The provisions of section 30.445(o)~~
4681 ~~relating to the requirements of a Transportation management plan shall be applicable.~~

4682 **Sec. 35.44. Required submittals for final plat.**

4683 The required submittals, meeting the legal requirements of platting, of the final plan shall
4684 consist of a fully executed correct plat map, meeting all state and County standards, final
4685 engineering drawings and auxiliary submittals, to include a boundary survey signed and sealed by
4686 a professional surveyor and mapper registered in Florida, and all required legal instruments.

4687 (a) *General.* The final plat shall be drawn with black drawing ink on linen tracing cloth,
4688 or equally durable material, using sheets twenty-four (24) inches by thirty-six (36) inches. Each
4689 sheet shall have a marginal line completely around the sheet placed to leave a three-inch binding
4690 margin on the left and a one-inch margin on the other three (3) sides. Final plats shall meet all the
4691 requirements of Chapter 177, Florida Statutes, and shall be so certified by the land surveyor. The
4692 final plat shall be at a scale of not more than one (1) inch to one hundred (100) feet. All dimensions
4693 shall be scaled to the nearest one-hundredth of a foot and angles to the nearest second of a degree.

4694 (b) *Plat Requirements.* The final plat shall constitute only that portion of the approved
4695 preliminary plan which the subdivider proposes to record and develop at the time; provided,
4696 however, that such portion conforms to all requirements of these regulations. ~~Eleven (11) copies~~
4697 ~~of the final plat and seven (7) complete sets of the final engineering plans must be provided,~~
4698 showing the following information:

4699 (1) Title block to include the name of subdivision, the appropriate section,
4700 township, and range, and the words, "Seminole County, Florida."

4701 (2) The legal description of the area contained within the plat with bearings and
4702 distances and with references to a subdivision corner tie.

4703 (3) A vicinity map, at scale, showing the proposed subdivision in relation to the
4704 surrounding streets.

4705 (4) The location of all permanent reference markers (PRMs) in conformance
4706 with state statutes.

4707 (5) A legend which defines all symbols, shows stated and graphic scale, and
4708 displays north arrow.

4709 (6) Sufficient data to determine readily, and to reproduce on the ground, the
4710 location, bearing, and length of each street right-of-way line, boundary line, block line, and
4711 building line, whether curved or straight, adequately correlated with monuments and markers.

4712 (7) The right-of-way lines, widths, and names of all streets and roads.

4713 (8) The radius, central angle, chord, chord bearings and arcs of all curved
4714 streets, and curved property lines.

4715 (9) Lot lines and lot and block numbers.

4716 (10) Proposed building setback lines from side, front, and back lot lines, if
4717 different than those specified by the Zoning Regulations of Seminole County.

4718 (11) Location and width of canals and waterways.

4719 (12) Dedications, reservations and easements, showing widths and purpose, shall
4720 be delineated on the face of the plat and shall not be incorporated by reference. Dedications must
4721 be recited within the Dedication statement.

4722 (13) The names, locations, and plat book and page numbers of abutting
4723 subdivisions and streets, and the location of abutting subdivisions.

4724 (14) Certificates as required by Chapter 177, Florida Statutes; of owners
4725 showing dedications; of surveyor confirming correctness; of ~~County Planning and Zoning~~
4726 ~~Commission~~ approval; of ~~Board of County Commissioners'~~ approval; and for Clerk of Circuit
4727 Court recording. Signatures of owners must be in conformance with Section 692.01, Florida
4728 Statutes, (for corporations), or Chapter 689, Florida Statutes (for individuals).

4729 (15) A certificate of joinder and consent and approval by mortgagee on the plat
4730 or as a separate instrument.

4731 (16) A statement that reads: "NOTICE: There may be additional restrictions that
4732 are not recorded on this plat that may be found in the public records of this County."?

4733 (17) A statement on the face of any plat for non-single- family residential
4734 development not having early encumbrance and reservation of the development's public facility
4735 capacity shall read: "NOTICE: See Seminole County Development Order Number _____,
4736 recorded in the Public Record Books of Seminole County, Florida, for contingencies as to public
4737 facility capacity encumbrance or reservation and other information."

4738 (c) *Engineering Drawings.* ~~Seven (7) copies each of f~~Final engineering plans and
4739 specifications for the following improvements, both on-site and off-site, shall be submitted to the
4740 Planning and Development Division ~~at the same time as~~ prior to the Final Plat submittal:

4741 (1) Water system. Size, material, and location of water mains, plus valves and
4742 hydrants.

4743 (2) Sewer system. Size, material, and location of lines, with submittal of profile
4744 where required.

- 4745 (3) Storm water drainage facilities.
- 4746 (4) Bulkheads.
- 4747 (5) Streets.
- 4748 (6) Sidewalks, bicycle paths, and pedestrian paths.
- 4749 (7) Excavation and fill.
- 4750 (8) Cross-sections at fifty-foot intervals or greater for off-site improvements as
- 4751 recommended by the Development Review Manager.

4752 (d) *Preliminary Subdivision Plan.* A copy of the approved preliminary subdivision plan

4753 shall be attached to each submitted copy of the final engineering plan.

4754 (e) *As-Built Plot Plans.* Submittal of an As-Built Plot Plan, herein defined as a post-

4755 construction survey signed and sealed by a Registered Land Surveyor in the State of Florida

4756 identifying all property lines and the locations of all utilities, easements, and construction

4757 improvements, shall be required for each lot within a residential subdivision that was developed

4758 utilizing the Expedited Residential Subdivision Building Permit process.

4759 (f) *Additional Required Legal Submittals.* The approval of the Final Plat shall be made

4760 only pursuant to certification of adequacy of the following list of required submittals by the County

4761 Engineer, the Environmental Services Department Director, Development Services Director

4762 and/or County Attorney as appropriate.

4763 (1) ~~Bonds~~ Sureties.

4764 ~~(A)a.~~ The approval of any plat shall be subject to the subdivider

4765 guaranteeing the installation of storm drainage facilities, bulkheads, streets, and water and sewer

4766 lines by filing a performance ~~bond or bonds~~ surety or sureties in the amount of one hundred ten

4767 (110) percent of the construction costs, including landfill. Cost for construction shall be 1)

4768 estimated by the subdivider's engineer or 2) a copy of the contract provided. The amount of the
4769 performance ~~bond~~-surety must be approved as adequate by the County Engineer, the
4770 ~~Environmental Services-Utilities~~ Department Director. In lieu of performance ~~bonding~~-surety,
4771 improvements may be installed following Final Plat approval and preceding Final Plat recording
4772 subject to the approval of the County Engineer, the Utilities Engineering Manager or his or her
4773 designee. In cases where improvements are installed prior to recording, a maintenance ~~bond~~-surety
4774 must be submitted to the County Engineer, the ~~Environmental Services-Utilities~~ Department
4775 Director. The Plat cannot be recorded until the maintenance ~~bond~~-surety is approved by the County
4776 Engineer, the ~~Environmental Services-Utilities~~ Department Director, and/or their designee. Said
4777 maintenance ~~bond~~-surety shall only be required when the responsibility for maintenance of said
4778 improvements is to be transferred to the County or homeowners association. Where the
4779 improvements will neither be owned or maintained by the County or a homeowners association
4780 and ownership is retained by the developer a maintenance bond will not be required.

4781 ~~(B)~~b. ~~Bonding~~-Surety requirements may ~~also~~ be met by the following, but
4782 not limited to:

4783 ~~(i)~~1. Escrow Deposit

4784 ~~(ii)~~2. Cashier's Check

4785 ~~(iii)~~3. Certified Check

4786 ~~(iv)~~4. Others, as approved by the ~~Board of County Commissioners~~

4787 County Attorney's Office and the authorized County Department or Board, which may include
4788 Developer-Lender-County Agreement for providing public improvements, assignment of Interest-
4789 Bearing Certificate of Deposit, Irrevocable Letters of Credit, or Developer's Agreement.

4790 ~~(v)~~5. All financial institutions or other sureties executing
4791 documents on behalf of the developer for compliance with the conditions hereunder must be
4792 acceptable to County.

4793 (2) *Covenants*. Any protective deed covenants to be placed on the property shall
4794 be notarized and in a form suitable for recording.

4795 (3) *Title Opinion*. A certificate of ownership title opinion, signed by a licensed
4796 attorney at law or an abstract company, in form approved by the County Engineer Surveyor, and
4797 showing including:

4798 ~~(A)~~a. Verification that the parties ~~Parties~~-executing plat are owners of the
4799 land to be platted. ~~embraced by the plat.~~

4800 ~~(B)~~b. All mortgages, liens, easements, judgments or other encumbrances
4801 affecting the property to be platted.



4802 ~~(C)~~c. Payment of Taxes. ~~Prior to authorizing the recording of any plat the~~
4803 ~~Planning and Development Division shall be provided p~~Proof that all delinquent ad valorem taxes
4804 and all taxes that are due and payable which relate to the real property which is being to be platted
4805 have been paid.

4806 ~~(D)~~d. Description of plat is correct A legal description that includes the
4807 property to be platted.


4808 ~~(E)~~e. Confirmation that ~~N~~no conflicting rights-of-way, easements, or
4809 plats exist.

4810 f. Confirmation that no title defects exist or a report of those found.

4811 g. Copies of all documents referenced in the title opinion.

4812 h. Title opinions cannot be based on a third-party property information
4813 report.

4814 ~~(4) — *Public Disclosure.* In accordance with Section 286.23, Florida Statutes, or~~
4815 ~~its successor, any person or entity holding real property in any form of representative capacity~~
4816 ~~including, but not limited to a partnership, a limited partnership, a corporation or a trust, shall,~~
4817 ~~prior to conveying real property to the County, make all disclosures required by Section 286.23,~~
4818 ~~Florida Statutes, or its successor; provided, however, that if a person or entity claims to be exempt~~
4819 ~~from such disclosure pursuant to State law, an affidavit attesting to said exemption shall be filed~~
4820 ~~by the said person or entity.~~

4821 ~~(5)-(4) *Documents, Deeds, Certificates and Bond-Surety Forms.* All documents,~~
4822 ~~deeds, certificates and bond-surety forms required pursuant to this Section shall be submitted in a~~
4823 ~~form as developed and approved by the County Attorney. Copies of standard forms shall be~~
4824 ~~appended hereto for informational purposes.~~ 

4825 (g) *Other Required Submittals.*

4826 (1) *Arbor Information.* The location of all trees within road rights-of-way and
4827 easements to be cleared will be submitted to the Planning and Development Division if different
4828 information than shown on the Preliminary Plat. The Natural Resources Officer shall recommend
4829 any necessary tree replacement at this stage.

4830 ~~(2) — *Addresses.* Addresses shall be indicated in parentheses on each lot on one~~
4831 ~~(1) separate copy of the Final Plat. Addresses will be obtained by the developer from the Land~~
4832 ~~Development Division in accordance with the established addressing system.~~

4833 ~~(3)-(2) Letters will be submitted by all appropriate utility companies stating that all~~
4834 ~~easements are adequate.~~

4835 ~~(4)~~(3) Copies of all required Florida Department of Environmental Protection
4836 Water and Wastewater Permits.

4837 ~~(5)~~(4) Copy of any required St. Johns River Water Management District Permit.

4838 * * *

4839 **PART 6. DESIGN STANDARDS**

4840 * * *

4841 **Sec. 35.61. General.**

4842 All lands included within the subdivision must be suitable for the various purposes
4843 proposed in the request for subdivision approval. Further, no subdivision plan may be approved
4844 unless the ~~Board~~Development Services Director finds, after full consideration of all pertinent data,
4845 that the subdivision can be served adequately with such normal public facilities and services as are
4846 suitable in the circumstances of the particular case. In addition to the Design Standards below, all
4847 plans must comply with the Engineering Manuals described in Section 5.20 of this Code.

4848 (a) *Conformance with County policy.* The subdividing and development of any areas
4849 subject to this ordinance must conform to the adopted general goals and objectives of the Board
4850 with respect to the physical development of the County as set forth in various elements of the
4851 Comprehensive Plan of Seminole County and other requirements including:

4852 (1) The most current Orlando Urban Area Transportation Study and adopted
4853 Seminole County Transportation Plan;

4854 (2) County policies on water supply, waste disposal, and other essential
4855 utilities; and

4856 (3) The Land Development Code, as amended.

4857 (b) *Use of natural features.* The arrangement of lots and blocks and the street system
4858 must make the most advantageous use of topography and preserve mature trees, wetlands and other
4859 natural features wherever possible. No subdivision may be approved that would result in the
4860 removal of over seventy-five (75) percent of existing trees, with trunk diameters of six (6) inches
4861 or greater, from any site, unless the Planning Manager finds that the development of the site would
4862 be severely restricted. Special consideration and credit will be given to the retention of trees having
4863 a trunk diameter of twenty-four (24) inches or larger. Special consideration will be given for
4864 waterfront features and shoreline protection as specified in [Chapter 71](#) of this Code. Any person
4865 aggrieved by the decision of the Planning Manager may request a waiver from this requirement
4866 from the Board of County Commissioners.

4867 (c) *Consideration of soil and flood hazards.* A subdivision plan will not be approved
4868 unless all land intended for use as building sites can be used safely for building purposes without
4869 danger from flood or other inundation or from adverse soil or foundation conditions or from any
4870 other menace to health, safety, or public welfare. In particular, lands which are within the 100-year
4871 flood-prone areas, may not be subdivided and developed until proper provisions are made for
4872 protective flood-control measures and water-management facilities necessary for flood-free
4873 development and flood-free vehicular access to such sites. Each platted lot must have a buildable
4874 area equal to the minimum lot size requirement of the applicable zoning district and located above
4875 the 100-year floodplain elevation or wetlands line, whichever is higher. Any portion of the platted
4876 lot which lies below the 100-year floodplain elevation or wetlands line must be dedicated to the
4877 public as a drainage easement, a conservation easement, or both. No filling or grade level change
4878 will be permitted which will adversely affect any surrounding area. Requirements for development
4879 within the 100-year floodplain are contained in the flood prone article of the Seminole County

4880 Zoning Regulations and the Seminole County Comprehensive Plan. The latest edition of the
4881 Seminole County Soil Survey is to be used as a guideline in identifying soil properties and
4882 interpretations for various uses in terms of soil limitations and soil features adversely affecting a
4883 particular use. In addition, the soil supplement is to be used in interpreting the basic properties of
4884 the soils in terms of their potential for a particular use. The following standards must be followed
4885 in areas of low and very low potential soils:

4886 (1) Lands where soils have very low potential and low potential for proposed
4887 uses, as identified in the Seminole County Soil Survey and its Soil Supplement, may not be
4888 developed unless:

4889 ~~(A)~~a. Health and safety hazards are not created.

4890 ~~(B)~~b. County maintenance of public facilities is not involved where the
4891 soil performance is low or unreliable without approved modifications.

4892 (2) Unincorporated urban development is prohibited on soils with very low
4893 potential without approved modification.

4894 (3) A public facility may not be constructed where the soil performance for the
4895 public facility is of low or very low potential, except in cases of overriding public interest.

4896 (4) It is the policy of the County not to accept a dedication for public ownership
4897 or maintenance of utilities or roads constructed in areas where soil performance for the utilities or
4898 roads is of a low or very low potential without approved modifications.

4899 (d) *Finished floor elevation.* No platted lot may be approved unless it contains a
4900 suitable building site of sufficient elevation to permit construction utilizing a first-floor elevation
4901 based upon the following:

4902 (1) The elevation of the site must be at least one (1) foot above the 100-year
4903 flood-prone elevation, as determined by the County Engineer based upon the best available data.
4904 Where the floodway of any stream or river is defined, lots may be platted for residential use only
4905 if all parts of the platted lots located within the floodway are expressly limited to open space uses.
4906 Reduction of on-site drainage storage capacity is prohibited. Finished floor elevations will be
4907 established by utilizing Seminole County Vertical Control Datum.

4908 (2) Provided that building lots are a reasonable level or slope toward a street,
4909 road, or right-of-way, the minimum finished floor elevation of any structure must be greater than
4910 or equal to sixteen (16) inches above the lowest crown of that portion of the adjacent street, road,
4911 or right-of-way upon which the structure fronts. On lots which slope away from a street or road
4912 with continuous slope toward a lake, stream, or water collection area and, where positive drainage
4913 exists, the finished floor elevation of any structure must be greater than or equal to one (1) foot
4914 above finished site grade measured at the highest contour that abuts the building. Where necessary,
4915 swales must be constructed to divert run-off water around any structure to not adversely impact
4916 adjacent property owners.

4917 (3) Driveways or other areas of access to a building or structure must be sloped
4918 to prevent the runoff of surface water into any building or structure.

4919 (e) Prior to the issuance of a Certificate of Occupancy, trees must be planted on new
4920 residential lots, as shown on the approved building permit, subject to the following requirements:


4921 (1) Tree quantity:

Lot Size (in square feet)	Minimum Number of Canopy Trees
<=6,000	2
6,001—10,000	3
10,001—14,000	4
14,001—20,000	6
20,001—43,560 (1 acre)	9

4922 (2) For lots greater than one (1) acre, nine (9) trees must be provided for each
4923 acre, prorated for fractional acres.

4924 (3) For lots of ten thousand (10,000) square or less, at least one of the required
4925 canopy trees must be in the front yard. For lots equal to or greater than ten thousand one (10,001)
4926 sq. ft., at least two (2) of the required canopy trees must be in the front yard.

4927 (4) The canopy tree requirements may be met with trees planted in a tree lawn
4928 within the right of way that is contiguous with the lot line.

4929 (f) *Special considerations.* Special consideration must be given in the layout of streets,
4930 lots, blocks, buildings, and easements to the preservation of large and specimen individual trees.
4931 Special consideration must also be given to preserving natural drainage methods and natural
4932 topography and landscape. Special consideration must be given to providing special screening,
4933 buffers, or berms where developments abut  noncompatible land uses

4934 * * *

4935 **Sec. 35.72. Rural subdivision standards.**


4936 On those properties assigned the A-3, A-5 or A-10 zoning classifications, the following
4937 subdivision standards apply. These standards are in addition to the other standards of Chapter 35,
4938 Part 6 of this Code except where the rural subdivision standards expressly replace the standards
4939 above.

4940 (a) *Private streets.* Residential streets must be developed in accordance with the
4941 minimum residential standards for street cross sections, open drainage, as prescribed in the
4942 Seminole County, Florida Public Works Engineering Manual described in Section 5.20(a) of this
4943 Code. Alternative proposals may be submitted for review and, if found to be appropriate and in
4944 accordance with the purposes of this part, the ~~Planning and Zoning Commission may recommend~~

4945 ~~and the Board~~ Development Services Director may approve the proposal and waive the
4946 requirements of the Seminole County, Florida Public Works Engineering Manual described in
4947 Section 5.20(a) of this Code in whole or in part.

4948 (b) *Lots.* To the maximum extent practical, subdivisions must be designed to
4949 preserve the rural character of the area by locating lots and buildings to retain natural features of
4950 the site including, but not limited to, specimen trees and wooded areas and by minimizing any
4951 negative impacts and alteration of natural features.

4952 (c) *Sidewalks (or pedestrian ways) and gutters.* Sidewalks, curbs and gutters are not
4953 required and may be permitted on one side of the roadway only in order to provide access to
4954 schools, parks or bus stops.

4955 (d) *Street lighting.* No street lighting may be provided other than lighting at
4956 intersections, along walkways, at entryways,  between buildings and in parking areas where
4957 required for safety or when required by State law.

4958 (e) *Family subdivision.* In order to facilitate the continuance of the family farm or ranch
4959 in Seminole County, family subdivision of land may be permitted in accordance with this section.
4960 Notwithstanding the provisions of Section 35.2 and the density regulations of the Seminole County
4961 Comprehensive Plan and this Code, subdivision into no more than three (3) total lots or parcels
4962 may be permitted where each of the following conditions are shown to exist:

4963 (1) The parcel which is proposed to be subdivided is assigned the A-10 zoning
4964 classification.

4965 (2) The parcel which is proposed to be subdivided is at least ten (10) acres in
4966 size.

4967 (3) The parcel which is proposed to be subdivided is considered by the property
4968 appraiser to be agricultural land at the time the application is made.

4969 (4) The subdivider is the bona fide owner of the parcel in question and has been
4970 actively farming or ranching in Seminole County for the past three (3) years.

4971 (5) An affidavit has been submitted attesting to the fact that the subdivided
4972 parcels are to be sold or otherwise transferred to members of the subdivider's immediate family in
4973 order to provide additional assistance on the farm or ranch in close proximity to the existing
4974 primary residence. For the purpose of this provision, an immediate family member means only
4975 those individuals related by blood, marriage or adoption such as grandparents, parents, siblings,
4976 children or grandchildren.

4977 (6) The two (2) additional lots created through this subsection must each be no
4978 less than one (1) net buildable acre in size. These lots must be located adjacent to the existing
4979 primary residence to the maximum extent feasible.

4980 (7) The existing primary residence on the original parcel is included in the
4981 largest remaining portion of the original parcel, retaining the primary residence as a portion of the
4982 farm or ranch

4983 **Sec. 35.73. Alternative Design Standards.**

4984 35.73.1. Purpose and applicability. The purpose of the Alternative Design Standards is to
4985 allow greater flexibility within single-family zoning districts. These Alternative Design Standards
4986 are allowed for projects of two (2) net buildable acres or greater seeking a Preliminary Subdivision
4987 Plan approval in the following zoning districts: R-1B, R-1, R-1A, and R-1AA. Projects using the
4988 Alternative Design Standards shall meet the following:

4989 (a) Subdivision Regulations. All projects must meet all applicable requirements in
4990 Chapter 35 Subdivision Regulations. The Alternative Design Standards shall be established at time
4991 of submission of the preliminary subdivision plan.

4992 (b) Open Space. At least 20% of the total area of the project shall be used for Open
4993 Space and shall meet the Open Space requirements of Sec. 30.14.2.

4994 (c) Connectivity.

4995 (1) Projects using these standards are required to connect to adjacent streets
4996 where feasible and shall not be gated, unless waived per subsection (4).

4997 (2) When a development has frontages on non-adjoining boundaries, at least
4998 one vehicular access point shall be required per each frontage, unless waived per subsection (4).
4999 Bicycle and pedestrian connections shall be required where a roadway connection is not possible.

5000 (3) Pedestrian walkways shall be provided to any adjacent right of way or trail.

5001 (4) Waivers to subsections (1) and (2) may be granted by the Development
5002 Services Director with applicable conditions. Waivers shall only be granted where connection is
5003 not able to occur due to the presence of wetlands, waterbodies, infrastructure corridors, or other
5004 permanent physical or legal obstructions.

5005 (d) Dimensional requirements. The alternative lot dimensions are as follows:

5006 a. There shall be no minimum lot size requirement, but all projects
5007 utilizing the Alternative Design Standards shall meet the density limits of the underlying Future
5008 Land Use designation.

5009 b. The minimum lot width shall be as follows:

5010

<u>Zoning Districts</u>	<u>R-1AA</u>	<u>R-1A</u>	<u>R-1</u>	<u>R-1B</u>
<u>Min. Parcel/Lot Width at Building Line</u>	<u>70'</u>	<u>50'</u>	<u>50'</u>	<u>50'</u>

5033 requirements of these regulations and has been approved in accordance with the requirements as
5034 herein provided.

5035 (b) No owner or agent of the owner of any parcel of land located in a proposed
5036 subdivision shall transfer or sell any such parcel before a plat of such subdivision has been
5037 approved by the ~~Board of County Commissioners~~ Development Services Director or designee in
5038 accordance with the provisions of these regulations, and recorded with the Clerk of the Circuit
5039 Court.

5040 (c) The subdivision of any lot or any parcel of land by the use of metes-and-bounds
5041 description for the purpose of sale, transfer, or lease with the intent of evading these regulations
5042 shall not be permitted. All such subdivision shall be subject to all of the requirements contained in
5043 these regulations.

5044 (d) No building permit shall be issued for the construction of any building or structure
5045 located on a lot or plat subdivided or sold in violation of the provisions of these regulations.

5046 **Sec. 35.202. Required improvements.**

5047 The Board of County Commissioners may enforce the ~~improvement bond surety~~ by resort
5048 ~~to any available~~ legal and equitable remedies if the required improvements have not been
5049 satisfactorily installed within one (1) year after the final plan or plat is approved, unless extended
5050 by the board for cause and provided the surety consents to the extension. Any owner or agent of
5051 the owner who falsely represents to a prospective purchaser of real estate that roads and streets,
5052 sewers, water systems, or drainage facilities will be built, constructed, or maintained by Seminole
5053 County may be prosecuted in accordance with applicable law. ~~shall be deemed guilty of a~~
5054 ~~misdemeanor.~~

- 5078 (7) The types of equipment to be used.
- 5079 (8) A description of the controls to be used to prevent or minimize water quality
5080 degradation.
- 5081 (9) A description of methods of disposal, treatment, or both of any spoil,
5082 dredging wastes, or dewatering effluent.
- 5083 (10) The time period of the construction or maintenance activity.
- 5084 (11) The estimated cost of the project.
- 5085 (c) Each application must be accompanied by the following submittals:
- 5086 (1) A copy of a legal survey or plat of the property involved, including offshore
5087 ownership, if any. In the case of major construction projects as determined by the Department,
5088 plans completed and prepared by an engineer registered in the State of Florida are required. The
5089 name, address, and registration number of any licensed professional engineers that prepare any
5090 plans or specifications for the regulated activities must also be provided. All such documents must
5091 be signed and sealed by a licensed professional engineer.
- 5092 (2) Affidavit as proof of ownership to all areas or bottomland on which
5093 dredging, filling, or other related activities are to take place.
- 5094 (3) Construction plans, details, and vertical elevations, drawn to a scale
5095 satisfactory for the scope of the proposed activity, as determined by the Development Review
5096 Engineering Manager, which also depicts the limits and depths of all surface waters.
- 5097 (4) An application fee to cover costs incurred by the County in the processing
5098 of this application. This fee is to be established by duly adopted resolution of the Board of County
5099 Commissioners.

5100 (d) Upon receipt of a completed application, the Department shall develop a notice to
5101 be published in a newspaper of general circulation in the area where the permit is being requested.
5102 This notice will contain a description of the proposed work, a legal and general description of the
5103 location of the project, and a request for written comments from interested parties. In addition,
5104 notices of the application will be mailed to all property owners within five hundred (500) feet in
5105 any direction fronting on the body of water; these notices must be substantially the same
5106 information as published in the newspaper.

5107 (e) If no adverse comments are received within fourteen (14) days of publication, the
5108 Department shall proceed with the application process.

5109 (f) If adverse comments are received and the applicant is unable to resolve objections
5110 to the satisfaction of the Development Review Engineering Manager or, on appeal, to the
5111 Development Services Department Director, based upon the intent and purpose of Chapters 70 and
5112 71, or if public hearing thresholds have been exceeded, then the Department shall schedule a public
5113 hearing on the application before the Board of County Commissioners.

5114 (g) The following project types require a public hearing before the Planning and
5115 Zoning Commission for granting or denying permits:

5116 (1) Boat docks and unenclosed boat houses and gazebos alone or in any
5117 combination in which the total aggregate size, excluding the primary walkway from the shore to
5118 the boat dock, unenclosed boat house, or gazebo if the walkway does not exceed four (4) feet in
5119 width, is one thousand (1,000) square feet or more or five hundred (500) square feet or more if
5120 located upon an Outstanding Florida Water.

5121 (2) Enclosed boat houses of any size.

5122 (3) Dredging, filling or both in excess of four thousand (4,000) cubic yards of
5123 material.

5124 (4) Any projects where the applicant is unable to resolve adverse comments of
5125 affected property owners to the satisfaction of the Development Review Engineering Manager or,
5126 after an appeal, the Development Services Department Director based upon the intent and purpose
5127 of this Chapter.

5128 (h) Based upon the findings of the Department, an application for a permit for dredging,
5129 filling or other related activities below the threshold for a public hearing may be granted or denied.
5130 The Department may place such reasonable restrictions and conditions upon the granting of a
5131 permit as necessary to protect the rights and interests of the public and to prevent or minimize any
5132 deleterious effects upon the water quality and Normal High Water Elevation (NHWE) of affected
5133 waters.



5134 * * *

5135 **Sec. 70.10. General regulations.**

5136 (a) The work force at the site of the activity shall possess at all times an approved copy
5137 of the permit and its attachments.

5138 (b) The dredge and fill activity must comply with all applicable federal, state, district,
5139 county, and local laws, rules and regulations.

5140 (c) The Department has the right, after receipt of the application, to require additional
5141 information prior to granting or denying the permit.

5142 (d) The permit will be valid for a period not to exceed one (1) year from the date of
5143 issuance. A permit extension or revision may be granted for good cause by the Development
5144 Review Engineering Manager if found to be consistent with the intent and purpose of this Chapter.

5145 (e) The dredge and fill permittee must give due consideration to aesthetics, sound
5146 engineering practices, impacts on NHWE, and flood elevations, water quality protection, and the
5147 continued propagation of biological organisms.

5148 (f) The dredge and fill permittee shall restore all disturbed properties to the original
5149 condition prior to the permitted activity, as far as practical, in keeping with the activity's
5150 specifications, and in a manner satisfactory to the Department.

5151 (g) The dredge and fill permittee shall dispose of all excess material, excavated or
5152 otherwise, at the permittee's expense. Fill may only be placed below the one hundred (100) year
5153 flood prone elevation if both of the following conditions are met:

5154 (1) Such action is consistent with all applicable County land development
5155 regulations and state and federal law.

5156 (2) A site plan has been approved that is consistent with the floodplain
5157 ordinance.




5158 (h) The dredge and fill permittee shall replace trees, and vegetation destroyed during
5159 the activity sat the direction of the individual responsible for arbor permitting or Aquatic Plant
5160 permitting, as applicable. The indiscriminate cutting of trees or disfiguring of any feature of scenic
5161 value is prohibited, including the use of herbicides for this purpose.

5162 (i) All boat docks, boat houses, gazebos, fishing docks, boardwalks, and related
5163 structures must have a minimum deck elevation of one (1) foot above the NHWE. Subject to any
5164 further constraints imposed by the site, the structure must not project, when measured
5165 perpendicularly to a canal or waterbody, more than twenty-five (25) percent into the navigable
5166 width of the canal or waterbody, as determined by the Department, nor at any time pose a hazard
5167 in navigable waters as determined by the Department. These structures and boat ramps must not

5168 be placed within ten (10) feet of a property line. ~~However, upon application, and except where this~~
5169 ~~Code requires a hearing before the Board of County Commissioners, the~~ The Board of Adjustment
5170 may grant a variance to the length or setback requirements based upon the criteria established in
5171 Section ~~30.43(b)(3)~~ 30.3.3.2(b) of this Code and may impose appropriate conditions and
5172 safeguards in accordance with Section ~~30.43(b)(4)~~ 30.3.3.2(b)(4) of this Code.

5173 (j) The Development Review Engineering Manager or the ~~Board of County~~
5174 ~~Commissioners~~ Planning and Zoning Commission may, in the public interest, require the
5175 applicant, the applicant's contractor, the applicant's subcontractors, or any combination of them,
5176 as a condition for the permit, to provide safeguards to prevent any deleterious effect that may occur
5177 in any body of water, or connected bodies of water, as a result of work performed under the permit.
5178 These safeguards are to accomplish the following:

5179 (1) To control turbidity and introduction of silt into bodies of water by the use
5180 of properly located silt-restraining devices. 

5181 (2) To place speed restraints on equipment operations and confine operations
5182 to specified periods of time.

5183 (3) To contain the dredged material and control runoff from spoil areas
5184 designated by the Development Review Engineering Manager or the ~~Board~~ Planning and Zoning
5185 Commission.

5186 (4) To avoid exposing submerged soil types which are subject to being scoured
5187 and disbursed, or subject to becoming colloidal and creating long-range turbidity problems.

5188 (5) To prevent pollution or any deleterious effect that may occur in any body
5189 of water, or connected bodies of water, as a result of the work performed.

5190 (6) To use specific types of equipment while accomplishing the work.

5191 (k) All boat docks and boat houses located upon property assigned a single-family
5192 residential zoning classification must be designed not to accommodate more than three (3)
5193 motorized vessels or watercraft.

5194 * * *

5195 **Section 10.** Chapter 90 (Uniform Building Numbering System) of the Land Development
5196 Code of Seminole County is hereby amended to read as follows:

5197 **Chapter 90 – UNIFORM BUILDING NUMBERING SYSTEM**

5198 * * *

5199 **Sec. 90.4. Administration of the Uniform Addressing System.**

5200 (a) The Seminole County Addressing Supervisor or designee shall be responsible for
5201 coordinating and maintaining the addressing system established by this Chapter. Said Supervisor
5202 or designee shall assign numbers, approve Street Names and designations in conformity with the
5203 sections following. Charges for such assignments shall be made in accordance with the fee
5204 schedule duly adopted by resolution of the Board of County Commissioners.

5205 (b) Should an existing building, unit, or group of buildings fail to conform with the
5206 Uniform Addressing System, the Addressing Supervisor or designee shall give notice to those
5207 owners ~~or~~ and occupants whose address is in nonconformity with the Uniform Addressing System.

5208 Said notice shall be delivered to the owner ~~or~~ and occupant by one (1) of the following:

- 5209 (1) Certified mail, return receipt requested.
- 5210 (2) Posting same in a conspicuous place on the property.
- 5211 (3) Hand delivery.

5212 Said notice may include a notification of a change of address, which shall contain the new
5213 building number(s) assigned to the building in accordance with the provisions of this Chapter. Said

5214 notice shall direct the owner ~~or~~ and the occupant to post the newly assigned building number on
5215 said building or property in accordance with Section 90.5 of this Chapter. The owners ~~or~~ and
5216 occupants shall have thirty (30) days from receipt of the notice to come into compliance with this
5217 Chapter. "Receipt" is defined as one (1) of the following: If sent certified mail, the date of postal
5218 delivery; if posted, the date posted on the property; if hand delivered, the date it was handed to the
5219 recipient.

5220 (c) Assignment by the Addressing Supervisor or designee of a number to a lot or parcel
5221 on which a building may be constructed shall be a condition precedent to the issuance of a building
5222 permit for any such building.

5223 (d) In coordination with the E 9-1-1 Office, the Addressing Supervisor or designee
5224 shall record and maintain records of all Street Names and numbers under this Chapter which have
5225 been assigned pursuant to this Chapter and shall monitor same to ~~insure~~ ensure that duplicate Street
5226 Names and numbers are prevented.



5227 (e) When site plans include construction of new streets (either private or public), a list
5228 of all proposed Street Names shall be submitted to the Addressing Supervisor or designee for
5229 review to conformance to the standards as listed in Section 90.6.

5230 **Sec. 90.5. Building and unit numbering.**

5231 All principal residential and commercial buildings in unincorporated Seminole County,
5232 shall be issued an address by the Addressing Supervisor or designee, and shall post that address
5233 including suite or unit numbers on the structure and their property in accordance with the following
5234 guidelines:

5235 (a) ~~All addresses shall contain whole numbers only.~~ All address numbers shall be
5236 displayed using numerals only (e.g., "123 Main Street") and shall not include spelled-out numbers

5237 (e.g., "One Hundred Twenty-Three Main Street"). Alpha/numeric and fractional addresses shall
5238 not be permitted (e.g., "123 1/2 Main Street" or "123A/123 Main Street, Unit A"). Address
5239 numbers shall be made of durable weather resistant material, shall be permanently affixed to the
5240 structure and posted fronting the street the structure is addressed to. The color of the numbers shall
5241 contrast the surrounding background surface of the structure so it stands out and is clearly visible
5242 from both directions of the addressed street.

5243 (b) Addresses will not be assigned to vacant land, residential Accessory Buildings,
5244 guest houses, mother-in-law suites, detached garages, or insubstantial structures.

5245 (c) Assignment of an address is warranted in conjunction with an issued building
5246 permit. Addresses assigned by the Addressing Supervisor or designee shall be posted as follows:

5247 (1) Commercial type occupancies which do not have all occupants directly
5248 fronting the appropriate street will be assigned a building address number in conjunction with suite
5249 numbers to identify individual occupants. Commercial building address numbers shall be a
5250 minimum of six (6) inches in height and one-half ($\frac{1}{2}$) inch in width. Commercial buildings will be
5251 assigned four-digit suite or unit numbers to be posted above all means of egress. Unit numbers
5252 shall be of contrasting colors so as to be readily identifiable. Unit numbers shall be a minimum of
5253 three (3) inches in height and one-half ($\frac{1}{2}$) inch in width.

5254 (2) Multi residential buildings such as apartments which have direct access to
5255 a common area or corridor will be assigned a main building number and further assigned three (3)
5256 digit unit numbers to be posted above all means of egress. The main building number shall be a
5257 minimum of six (6) inches in height and one-half ($\frac{1}{2}$) inch in width. Numbers shall be of
5258 contrasting colors so as to be readily identifiable. Unit numbers shall be a minimum of three (3)
5259 inches in height and one-half ($\frac{1}{2}$) inch in width.

5260 (3) Townhomes and duplexes with direct front door access to the street shall be
5261 assigned a main address for each single-family dwelling. Address numbers shall contrast with the
5262 background surface of the structure, be of durable weatherproof material, and be a minimum of
5263 four (4) inches in height and one-half (½) inch in width.

5264 (4) Residential address numbers on buildings which are less than fifty (50) feet
5265 from the street shall affix numbers directly over the main egress door and all other means of egress.
5266 Address numbers shall contrast with the surrounding surface, be of durable material and a
5267 minimum of four (4) inches in height and one-half (½) inch in width.

5268 (5) Residential buildings which are over fifty (50) feet from the street shall be
5269 required to use five (5) inch or larger numbers. All numbers are to be clearly seen from both
5270 directions of the right-of-way, and shall be made of durable material and contrast with the
5271 surrounding surface.



5272 (6) For plazas or other such commercial occupancies with multiple addresses,
5273 the range of addresses shall also be posted on the main plaza or occupancy sign readily viewed
5274 from the street from both directions.

5275 (7) For commercial structures, if the main entrance of a building is not readily
5276 visible from the street, address numbers shall be posted on the structure and at the entrance street
5277 or adjacent driveway or as otherwise determined by the Addressing Authority, to the building on
5278 both sides of a fence, post or mailbox. Numbers shall be displayed on both sides of a fence, post,
5279 sign, or mailbox leading to the building. Authorization may be ~~acquired~~ obtained from the
5280 Addressing Supervisor or designee in ~~situations~~ cases where these standards may not be
5281 appropriate. Any decisions made shall be based in the interest of emergency response.

5282 (8) Residential one (1) or two-family dwellings that do not have address
5283 numbers plainly legible and visible from the street or road fronting the property shall also have the
5284 address numbers posted on both sides of a fence, post, sign, or mailbox located at the entrance to
5285 the property, which are more than fifty (50) feet from street must also have the address numbers
5286 posted on both sides of a mailbox or addressing post located at the entrance to the property. If
5287 access is by way of a street different from the address assigned, numbers shall be posted on the
5288 addressed street. Signage containing the Street Name and address number shall be required at the
5289 entrance street in these cases.

5290 (9) For new and existing buildings with an address on a different street,
5291 sometimes referred to as a “vanity address,” the street name must be displayed alongside the
5292 address numbers using the same size and style as required for address numbers. Both the address
5293 and street name shall be posted on both sides of a fence, post, sign, or mailbox in a location
5294 designated by the Addressing Authority.



5295 (d) Subdivisions and condominiums will be pre-addressed within fourteen (14)
5296 working days after recording the plat in the public records. Developers of commercial sites with
5297 multiple occupants or similar residential projects (apartments or condominiums) shall be required
5298 to coordinate individual addressing prior to issuance of any building permits. This can be
5299 accomplished by providing the Addressing Supervisor or designee with a site and building layout
5300 plan at least ten (10) working days prior to the submission of building permit applications. This
5301 plan should include adjacent road names, entrance locations, and all possible occupant division
5302 lines for each floor.

5303 (e) The Addressing Supervisor or designee shall have the authority to deviate from
5304 these standards as necessary to ensure the safety of the general public.

5305 * * *

5306 **Sec. 90.10. Subdivision, plaza and building names.**

5307 (a) At the time of plan review for all new construction, the name by which the
5308 development shall be legally known, (apartment complexes, shopping centers, commercial
5309 buildings, mobile home parks, and all developments requiring site plan approval) shall be
5310 submitted for review and approval to the Development Review Committee at the pre-application
5311 meeting or prior to submitting a development application.

5312 (b) Potential names for subdivisions shall be submitted for review to the development
5313 review committee at the pre-application meeting or prior to submitting a development application.
5314 Name approval shall be determined prior to preliminary subdivision plan approval by the Board
5315 of County Commissioners. Potential names for condominiums shall be submitted at the pre-
5316 application meeting or prior to submitting a development application. Name approval shall be
5317 determined prior to or during the site plan review process.

5318 (c) No names shall be approved which conflict with existing names or those previously
5319 approved developments or preliminary subdivision plans (exception: franchise businesses). The
5320 name shall not be the same or sound similar or in any way so similar to any name appearing on
5321 any recorded plat or prior condominium or site plan in Seminole County as to confuse the records
5322 or mislead the public as to the identity of the subdivision, or condominium except when the
5323 subdivision is further divided as an additional unit or phase by the same developer or developer's
5324 successors in title. In that case the additional unit or phase shall be given the primary name
5325 followed by the unit, section or phase number in English words or numerals (No Roman numerals).

5326 (d) Names, once approved, shall be held until subdivision or site plans are no longer
5327 valid by exceeding development approval time limits. Said name shall be the only conspicuous

5328 name posted on the property. If the plan approval expires, the name shall require additional review
5329 and approval at the time of resubmittal. Names may be reserved upon request for up to one (1)
5330 year pursuant to the pre-application meeting submittal.

5331 (e) The owners of a commercial building, plaza, apartment complex, subdivision, or
5332 persons who desire to rename their property shall apply to the Addressing Supervisor or designee.
5333 Said application shall include the legal description, the property appraiser Parcel identification
5334 number(s), the current name, and the proposed name of the development. The application will be
5335 subject to review and approval by the Addressing Supervisor or designee. ~~prior to being presented~~
5336 ~~to the Board of County Commissioners adopting the name change.~~ Upon recording the adopted
5337 ~~resolution, approval,~~ notification of affected parties shall be by established procedures.

5338 **Section 11. Conflicts.** This Ordinance shall control over any previously adopted County
5339 ordinances or parts of ordinances in conflict with this Ordinance.

5340 **Section 12. Codification.** It is the intention of the Board of County Commissioners that
5341 the provisions of this Ordinance will become and be made a part of the Land Development Code
5342 of Seminole County, and that the word “ordinance” may be changed to “section”, “article”, or
5343 other appropriate word or phrase and the sections of this Ordinance may be renumbered or re-
5344 lettered to accomplish such intention; providing, however, that Sections 11, 12, 13 and 14 of this
5345 Ordinance shall not be codified.

5346 **Section 13. Severability.** If any provision or the application of this Ordinance to any
5347 person or circumstance is held invalid, then it is the intent of the Board of County Commissioners
5348 that such invalidity will not affect other provisions or applications of this Ordinance that can be
5349 given effect without the invalid provision or application and, to this end, the provisions of this
5350 Ordinance are declared severable.

5351 **Section 14. Non-Severability.** The Seminole County Board of County Commissioners
5352 hereby declares that the provisions of this ordinance are intimately connected and integrated, and
5353 therefore, they are not severable. If any section, paragraph, sentence, clause, or phrase of this
5354 ordinance is for any reason held to be unconstitutional, invalid, or unenforceable by any court of
5355 competent jurisdiction, such decision shall render the entire ordinance null and void, and no other
5356 portion or provision shall remain in effect

5357 **Section 15. Effective date.** This Land Development Code Ordinance will take effect upon
5358 filing a copy of the Ordinance with the Department of State by the Clerk to the Board of County
5359 Commissioners and the provisions of this Land Development Code shall be implemented and applied
5360 to complete applications as of August 1, 2026. Notwithstanding the above, complete applications
5361 submitted on or before July 31, 2026, will be reviewed under the existing Land Development Code
5362 regulations. Complete applications received on or after August 1, 2026, will be subject to and
5363 reviewed under the revised Land Development Code, effective August 1, 2026.



5364 **FIRST READING**, this ____ day of _____, 2026.

5365 **UPON SECOND READING, BE IT ORDAINED** by the Board of County
5366 Commissioners of Seminole County, this ____ day of _____, 2026.

ATTEST:

BOARD OF COUNTY COMMISSIONERS
SEMINOLE COUNTY, FLORIDA

GRANT MALOY
Clerk to the Board of
County Commissioners of
Seminole County, Florida

ANDRIA HERR, Chairman

NJB/kw
5/21/26