



SEMINOLE COUNTY, FLORIDA
Development Review Committee
Meeting Agenda

Wednesday, July 24, 2024

9:00 AM

No meeting scheduled

DRC

PRE- APPLICATIONS

COMMENTS ONLY (NO MEETING SCHEDULED)

SR 46 REZONE - PD REZONE

[2024-1016](#)

Project Number: 24-20500003

Project Description: Proposed Rezone from C-1 to PD for an office on 1.24 acres located on the north side of SR 46, east of Monroe Rd

Project Manager: Kaitlyn Apgar (407) 665-7377
(kapgar@seminolecountyfl.gov)

Parcel ID: 28-19-30-503-0000-0070

BCC District: 5-Herr

Applicant: Christopher Wagner (727) 599-7729

Consultant: Larry Poliner (407) 452-8633

Attachments: [APPLICATION](#)
[COMMENTS](#)

FOREST LAKE - PRE-APPLICATION[2024-1017](#)**Project Number:** 24-80000091**Project Description:** Proposed Special Exception to extend an existing communication tower by 15 feet on 196.43 acres in the PD Zoning District located on the northeast corner of E. SR 436 and Bear Lake Rd**Project Manager:** Kathy Hammel (407) 665-7389
(khammel@seminolecountyfl.gov)**Parcel ID:** 08-21-29-300-0110-0000**BCC District:** 3-Constantine**Applicant:** Simone Johnson (407) 724-2626**Consultant:** N/A**Attachments:** [APPLICATION](#)
[COMMENTS](#)



SEMINOLE COUNTY, FLORIDA

Agenda Memorandum

COUNTY SERVICES
BUILDING
1101 EAST FIRST STREET
SANFORD, FLORIDA
32771-1468

File Number: 2024-1016

Title:

SR 46 REZONE - PD REZONE

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SEMINOLE COUNTY
PLANNING & DEVELOPMENT DIVISION
1101 EAST FIRST STREET, ROOM 2028
SANFORD, FLORIDA 32771
(407) 665-7371 EPLANDESK@SEMINOLECOUNTYFL.GOV

PROJ. #: 24-20500003

Received: 5/10/24

Paid: 5/20/24

REZONE/FUTURE LAND USE AMENDMENT

ALL INFORMATION MUST BE PROVIDED FOR APPLICATION TO BE CONSIDERED COMPLETE

APPLICATION TYPES/FEEES

<input type="checkbox"/> LARGE SCALE FUTURE LAND USE AMENDMENT ONLY (>50 ACRES)	\$400/ACRE* (\$10,000 MAX. FEE)
<input type="checkbox"/> LARGE SCALE FLU AMENDMENT <u>AND</u> REZONE (>50 ACRES)	\$400/ACRE* (\$10,000 MAX. FEE) + 50% OF REZONE FEE
LSFLUA FEE _____ + 50% OF REZONE FEE _____ = _____ TOTAL LSFLUA AND REZONE FEE	
<input type="checkbox"/> SMALL SCALE FUTURE LAND USE AMENDMENT ONLY (<50 ACRES)	\$3,500
<input type="checkbox"/> SMALL SCALE FLU AMENDMENT <u>AND</u> REZONE (<50 ACRES)	\$3,500 + 50% OF REZONE FEE
SSFLUA FEE \$3,500 + 50% OF REZONE FEE _____ = _____ TOTAL SSFLUA AND REZONE FEE	
<input type="checkbox"/> TEXT AMENDMENT ASSOCIATED WITH LAND USE AMENDMENT	\$1,000
<input type="checkbox"/> REZONE (NON-PD)**	\$2,500 + \$75/ACRE* (\$6,500 MAX. FEE)
<input checked="" type="checkbox"/> PD REZONE**	
<input checked="" type="checkbox"/> PD REZONE	\$4,000 + \$75/ACRE* (\$10,000 MAX. FEE)
<input type="checkbox"/> PD FINAL DEVELOPMENT PLAN	\$1,000
<input type="checkbox"/> PD FINAL DEVELOPMENT PLAN AS AN ENGINEERED SITE PLAN	CALCULATED BELOW
(TOTAL SF OF <u>NEW</u> IMPERVIOUS SURFACE AREA SUBJECT FOR REVIEW/1,000)^ x \$25 + \$2,500 = FEE DUE	
(TOTAL SF OF <u>NEW</u> ISA _____ /1,000 = _____)^ x \$25 + \$2,500 = FEE DUE: _____	
<u>EXAMPLE</u> : 40,578 SF OF NEW ISA UNDER REVIEW = 40,578/1,000 = 40.58 x \$25 = \$1,014.50 + \$2,500 = \$3,514.50	
<input type="checkbox"/> PD MAJOR AMENDMENT	\$4,000 + \$75/ACRE*^ (\$10,000 MAX. FEE)
<input type="checkbox"/> PD MINOR AMENDMENT	\$1,000
<input type="checkbox"/> DEVELOPMENT OF REGIONAL IMPACT (DRI)	
<input type="checkbox"/> DETERMINATION OF SUBSTANTIAL DEVIATION (OR OTHER CHANGE) \$3,500.00	

*PER ACRE FEES ARE ROUNDED UP TO THE NEAREST FULL ACRE

**50% OF REZONE FEE IF REZONE IS CONCURRENT WITH A LAND USE AMENDMENT

^ACREAGE IS CALCULATED FOR THE AFFECTED AREA ONLY

^^ROUNDED TO 2 DECIMAL POINTS

PROJECT

PROJECT NAME:	4050 SR 46 Rezone		
PARCEL ID #(S):	28-19-30-503-0000-0070		
LOCATION:	4050 SR 46		
EXISTING USE(S):	Health Fitness	PROPOSED USE(S):	Lite office
TOTAL ACREAGE:	Health Fitness 1.24	BCC DISTRICT:	5: Herr
WATER PROVIDER:	1.25 Acres Seminole County	SEWER PROVIDER:	Seminole County Seminole County
CURRENT ZONING:	C-1	PROPOSED ZONING:	Planned Development
CURRENT FUTURE LAND USE:	HIP-TI	PROPOSED FUTURE LAND USE:	Planned Development

APPLICANTEPLAN PRIVILEGES: VIEW ONLY ☒ UPLOAD ☐ NONE ☐

NAME:	Christopher Wagner			COMPANY:	MNRL Properties, LLC		
ADDRESS:	975 Bennet Drive						
CITY:	Longwood	STATE:	FL	ZIP:	32750		
PHONE:	727-599-7729			EMAIL:			

CONSULTANTEPLAN PRIVILEGES: VIEW ONLY ☒ UPLOAD ☒ NONE ☐

NAME:	Larry Poliner			COMPANY:	RCE Consultants, LLC		
ADDRESS:	617 Arvern Drive						
CITY:	Altamonte Springs	STATE:	FL	ZIP:	32701		
PHONE:	407-452-8633			EMAIL:	larry@rceconsultants.net		

OWNER(S)

(INCLUDE NOTARIZED OWNER'S AUTHORIZATION FORM)

NAME(S):	Same as Applicant					
ADDRESS:						
CITY:		STATE:		ZIP:		
PHONE:				EMAIL:		

CONCURRENCY REVIEW MANAGEMENT SYSTEM (SELECT ONE)

☒ I elect to defer the Concurrency Review that is required by Chapter 163, Florida Statutes, per Seminole County's Comprehensive Plan for the above listed property until a point as late as Site Plan and/or Final Engineering submittals for this proposed development plan. I further specifically acknowledge that any proposed development on the subject property will be required to undergo Concurrency Review and meet all Concurrency requirements in the future. **PD Final Development Plan may not defer.**

☐ I hereby declare and assert that the aforementioned proposal and property described are covered by a valid previously issued Certificate of Vesting or a prior Concurrency determination (Test Notice issued within the past two years as identified below. Please attach a copy of the Certificate of Vesting or Test Notice.)

TYPE OF CERTIFICATE

CERTIFICATE NUMBER

DATE ISSUED

VESTING:

TEST NOTICE:

☐ Concurrency Application and appropriate fee are attached. I wish to encumber capacity at an early point in the development process and understand that only upon approval of the Development Order and the full payment of applicable facility reservation fees is a Certificate of Concurrency issued and entered into the Concurrency Management monitoring system.

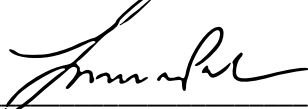
By my signature hereto, I do hereby certify that the information contained in this application is true and correct to the best of my knowledge, and understand that deliberate misrepresentation of such information may be grounds for denial or reversal of the application and/or revocation of any approval based upon this application.

I hereby authorize County staff to enter upon the subject property at any reasonable time for the purposes of investigating and reviewing this request. I also hereby agree to place a public notice sign (placard), if required, on the subject property at a location(s) to be determined by County staff.

I further acknowledge that Seminole County may not defend any challenge to my proposed Future Land Use Amendment/Rezoning and related development approvals, and that it may be my sole obligation to defend any and all actions and approvals, which authorize the use or development of the subject property. Submission of this form initiates a process and does not imply approval by Seminole County or any of its boards, commissions or staff.

I further acknowledge that I have read the information contained in this application pertaining to proposed amendments to the official Zoning map, official Future Land Use map and/or Comprehensive Plan and have had sufficient opportunity to inquire with regard to matters set forth therein and, accordingly, understand all applicable procedures and matters relating to this application.

I hereby represent that I have the lawful right and authority to file this application.



SIGNATURE OF OWNER/AUTHORIZED AGENT

(PROOF OF PROPERTY OWNER'S AUTHORIZATION IS REQUIRED
IF SIGNED BY SOMEONE OTHER THAN THE PROPERTY OWNER)

MAY 3, 2024

DATE

OWNER AUTHORIZATION FORM

An authorized applicant is defined as:

- The property owner of record; or
- An agent of said property owner (power of attorney to represent and bind the property owner must be submitted with the application); or
- Contract purchase (a copy of a fully executed sales contract must be submitted with the application containing a clause or clauses allowing an application to be filed).

I, Christopher Wagner, the owner of record for the following described property [Parcel ID Number(s)] 28-19-30-503-0000-0070 hereby designates Laurence Poliner to act as my authorized agent for the filing of the attached application(s) for:

<input type="checkbox"/> Alcohol License	<input type="checkbox"/> Arbor Permit	<input type="checkbox"/> Construction Revision	<input type="checkbox"/> Final Engineering
<input type="checkbox"/> Final Plat	<input type="checkbox"/> Future Land Use Amendment	<input type="checkbox"/> Lot Split/Reconfiguration	<input type="checkbox"/> Minor Plat
<input type="checkbox"/> Preliminary Subdivision Plan	<input checked="" type="checkbox"/> Rezone	<input type="checkbox"/> Site Plan	<input type="checkbox"/> Special Event
<input type="checkbox"/> Special Exception	<input type="checkbox"/> Temporary Use Permit	<input type="checkbox"/> Vacate	<input type="checkbox"/> Variance

OTHER: _____
and make binding statements and commitments regarding the request(s). I certify that I have examined the attached application(s) and that all statements and diagrams submitted are true and accurate to the best of my knowledge. Further, I understand that this application, attachments, and fees become part of the Official Records of Seminole County, Florida and are not returnable.

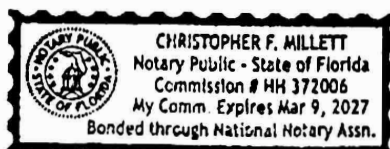
5/1/24
Date

[Signature]
Property Owner's Signature

Chris Wagner
Property Owner's Printed Name

STATE OF FLORIDA
COUNTY OF Seminole

SWORN TO AND SUBSCRIBED before me, an officer duly authorized in the State of Florida to take acknowledgements, appeared Christopher Wagner (property owner),
☒ by means of physical presence or ☐ online notarization; and ☐ who is personally known to me or ☒ who has produced FLDL as identification, and who executed the foregoing instrument and sworn an oath on this 01 day of May, 2024.



Christopher F. Millett
Notary Public



[Department of State](#) / [Division of Corporations](#) / [Search Records](#) / [Search by Entity Name](#) /

Detail by Entity Name

Florida Limited Liability Company

MNRL PROPERTIES LLC

Filing Information

Document Number	L21000460987
FEI/EIN Number	87-3274042
Date Filed	10/22/2021
Effective Date	10/22/2021
State	FL
Status	ACTIVE
Last Event	REINSTATEMENT
Event Date Filed	01/05/2023

Principal Address

975 BENNETT DRIVE
LONGWOOD, FL 32750

Mailing Address

975 BENNETT DRIVE
LONGWOOD, FL 32750

Registered Agent Name & Address

MacroCap Labs
975 BENNETT DRIVE
LONGWOOD, FL 32750

Name Changed: 01/05/2023

Authorized Person(s) Detail

Name & Address

Title MGR

WAGNER, CHRIS

8737 SHIMMERING PINE PL
SANFORD, FL 32771

Annual Reports

Report Year	Filed Date
2022	01/05/2023
2023	01/05/2023

2024

03/06/2024

Document Images

[03/06/2024 -- ANNUAL REPORT](#)

[View image in PDF format](#)

[01/05/2023 -- REINSTATEMENT](#)

[View image in PDF format](#)

[10/22/2021 -- Florida Limited Liability](#)

[View image in PDF format](#)

Florida Department of State, Division of Corporations

ATTACHMENT A - Text Section

Application For Future Land Use Map Amendment To The Seminole County Comprehensive Plan

*SEMINOLE COUNTY PLANNING AND DEVELOPMENT DIVISION
1101 EAST FIRST STREET, ROOM 2028
SANFORD, FL 32771-1468
PHONE (407) 665-7445 - FAX (407) 665-7385*

SEMINOLE COUNTY LOCAL PLANNING AGENCY/PLANNING AND ZONING COMMISSION AND BOARD OF COUNTY COMMISSIONERS

Proposed amendments to the County's Future Land Use Map are reviewed against the goals, objectives and policies of the Seminole County Comprehensive Plan. The future land use map itself is a graphic representation of the policies contained within the Plan.

Proposed amendments are also reviewed for compatibility with adjacent land uses, sufficient public facility resources to serve any change in the demand for services, appropriate timing and location of the amendment, potential environmental impacts, and for internal Plan consistency. The impact on state and regional resources, facilities and policies as well as upon specially designated areas within the County is included in this review.

The County also evaluates proposed amendments for consistency with the Central Florida Regional Growth Vision and the East Central Florida Regional Planning Council's Strategic Regional Policy Plan.

ATTACHMENT A SECTIONS :

1. A text section requiring the applicant to perform a preliminary evaluation of whether the amendment proposal meets certain standards set by the Comprehensive Plan. This section is a Microsoft Word document that can be downloaded, opened and directly filled-in. The document can then be either printed directly as a PDF or printed out and scanned to PDF for submission. The submitted PDF is included in the Board's meeting agenda package. Applicant responses are used by the Project Manager in reviewing the proposed amendment.
2. A worksheet section requiring the applicant to perform a preliminary evaluation of whether current facility capacities can meet the demand of the proposed land use change. This section is an Adobe Acrobat PDF document which can be opened from the County web-site and filled-in on screen or can be downloaded, opened on a personal computer and filled-in. Once both documents are filled-in, they can then be either printed directly as a PDF or printed out and scanned to PDF for submission. The submitted PDF is included in the Board's meeting agenda package.

NOTE: A MINIMUM OF THREE STEPS ARE INCLUDED IN THE AMENDMENT PROCESS:

1. Development Review Committee (DRC) Meeting – Review conducted by county staff to identify any potential internal plan conflict issues and provide recommendations. NOTE: This meeting may be waived under certain circumstances.
2. First Public Hearing – Review by the Planning and Zoning Commission, serving as the Local Planning Agency, to provide recommendations to the Board of County Commissioners.
3. Second Public Hearing –
 - a. For Small Scale Amendments (amendments affecting properties with fewer than 10 net buildable acres), the second public hearing is an adoption or denial hearing. The decision to amend the plan must be through adoption of an ordinance of amendment by affirmative vote of not less than a majority of the members of the governing board present at the hearing. Within 31 days of adoption of the ordinance, if no affected party has filed a request for a hearing at the Division of Administrative Hearings, the amendment is effective.
 - b. For Large Scale Amendments (amendments affecting properties with 10 or more net buildable acres), the second public hearing is a transmittal hearing by the Board of County Commissioners. The decision must be by an affirmative vote of not less than the majority of the members of the governing board present at the hearing to transmit the proposed amendment to State and Regional Reviewing Agencies.
4. Third Public Hearing for Large Scale Amendments –
 - a. Within 180 days of receiving comments from State and Regional Reviewing Agencies, a third public hearing is held before the Board of County Commissioners to consider adoption, which must be through an ordinance of amendment by affirmative vote of not less than a majority of the members of the governing board present at the hearing.
 - b. The amendment must then be resubmitted to the State Land Planning Agency, which will notify the County as to whether the amendment package is complete.
 - c. Within 31 days of notification by the State Land Planning Agency of receipt of a complete amendment package, if no affected party has filed a request for a hearing at the Division of Administrative Hearings, the amendment is effective.

Table Of Contents

STANDARDS OF REVIEW FOR ALL FUTURE LAND USE MAP AMENDMENTS

1. Identification of Proposed Future Land Use Map Designation And Zoning Classification
2. Assessment of Consistency with Comprehensive Plan Goals, Objectives, and Policies
 - a. Demonstrate the Compatibility with Adjacent Land Uses
 - b. Demonstrate the Changes in Character to the Surrounding Area (if applicable)
 - c. Demonstrate the Support and Furthering of County Comprehensive Plan Goals, Objectives and Policies
3. Assessment of Consistency with the Central Florida Regional Growth Vision
4. Assessment of Consistency with the East Central Florida Regional Planning Council's Strategic Regional Policy Plan
5. Completion of Data And Analysis Requirements:
 - a. Facility Capacity Impact Assessments
 - i. Utility Assessments
 - ii. School Board Assessment
 - iii. Transportation Assessment
 - b. Assessment of Need for Special Area Data and Analysis Evaluations

SPECIAL AREAS STANDARDS OF REVIEW – These Special Area evaluations apply only to the following:

1. An amendment to Planned Development (PD) FLU
2. An amendment seeking to
 - a. Change a future land use designation within the East Rural Area
 - b. Change the Urban/Rural Boundary
3. An amendment from Higher Intensity Planned Development (HIP) and/or Industrial (IND) FLU that reduces employment opportunities.
4. An amendment within the Wekiva River Protection Area
5. An amendment within the East Lake Sylvan Transitional Area
6. An amendment within the Econlockhatchee River Protection Area
7. An amendment within the Environmentally Sensitive Lands Overlay (ESLO)

Sources Of Information For Completing Attachment A

- “Attachment A - References” – This document includes objectives, policies and map exhibits that can be referenced when completing the Attachment A - Text Section. It can be downloaded at:
<http://www.seminolecountyfl.gov/gm/planning/FLUamend.aspx>
- The County's Information Kiosk provides parcel information useful in completing Attachment A, including whether a parcel is within one or more Special Areas:
<http://gis2.seminolecountyfl.gov/InformationKiosk/>
- A fully searchable single copy of the Seminole County Comprehensive Plan, noted as “Entire Comprehensive Plan (17MB)”, as well as individual Elements and Element Exhibits, can be opened and/or downloaded at:
<http://www.seminolecountyfl.gov/gm/planning/compplan.aspx>

STANDARDS OF REVIEW

FOR ALL FUTURE LAND USE MAP AMENDMENTS¹

The County shall use the standards described below in evaluating all applications for amendments to the Future Land Use Map of the Seminole County Comprehensive Plan.

All submissions are included in the official file for the project and will become a part of staff memoranda for public, Board and State Agency review. Staff review will verify if the applicant is correct in determining whether a question is applicable.

This application is divided into two documents – a text section and a worksheet section. Both are to be submitted with the application.

**ALL APPLICABLE INFORMATION MUST BE PROVIDED
INCOMPLETE SUBMITTALS SHALL BE RETURNED TO THE APPLICANT**

- 1. OWNER/APPLICANT NAME:** _____

- 2. PROJECT NAME:** _____

- ### 3. IDENTIFICATION OF PARCELS PROPOSED FOR AMENDMENT AND FLU OF ADJACENT PARCELS

List the parcel number of each parcel proposed for amendment, use no hyphens, separate by semicolons.

Insert Parcel Identification Number(s) Here:

Note 1: If proposing an amendment to Planned Development (PD) land use, a concurrent rezoning application must also be submitted with this map amendment application and the Standards of Review for PD portion of this document must be completed.

Note 2: If proposing an amendment from Higher Intensity Planned Development (HIP) or Industrial (IND) to any land use allowing residential, a test of the change in the jobs to housing ratio must be calculated. *(See item #3 in the Standards of Review section of this document.)*

Complete the following identification of the future land use designation(s) of parcels adjacent to the proposed parcel or grouping of proposed parcels. Use either of the following sites:

- <http://gis2.seminolecountyfl.gov/InformationKiosk/>
- <http://www.scpafl.org/>

FLU Designation to the north of subject property(ies)

FLU Designation to the south of subject property(ies)

FLU Designation to the east of subject property(ies)

FLU Designation to the west of subject property(ies)

¹ Small Scale Amendment involves areas of 10 acres or fewer [Section 163.3187(1)(a), Florida Statutes 2012]. Large Scale Amendment involves areas of more than 10 acres [see Section 163.3184, FS for provisions regarding amendments].

4. ASSESSMENT OF CONSISTENCY WITH COMPREHENSIVE PLAN GOALS, OBJECTIVES AND POLICIES

a. Demonstrate the Compatibility with Adjacent Land Uses

Section 163.3177, Florida Statutes, requires local comprehensive plans to “provide for compatibility of adjacent land uses”. The Seminole County Comprehensive Plan contains many policies that focus on compatibility with surrounding future land uses, such as Policies FLU 2.4 through 2.6, Policy FLU 4.4 and Policy FLU 5.16, as well as an Exhibit (*Exhibit FLU Compatible Transitional Land Uses*).

Section 163.3164, Florida Statutes, and the Seminole County Comprehensive Plan define “compatibility” as:

“A condition in which land uses can coexist in relative proximity to each other in a stable fashion over time such that no use is unduly negatively impacted directly or indirectly by another use.”

Applicant shall briefly explain how the amendment will be compatible with each of the adjacent land uses identified in the preceding Section 1, and may use the above cited policies and Exhibit, or other policies of the Seminole County Comprehensive Plan, in the explanation. (See: <http://www.seminolecountyfl.gov/gm/planning/FLUamend.aspx>).

Begin narrative below and/or note attachments to reference:

b. Demonstrate the Changes in Character to the Surrounding Area (if applicable)

Applicant shall describe how the character of the area surrounding the proposed amendment site has changed sufficiently to support the need for a different land use designation. Possible points may include, but not be limited to:

- Approved but uncompleted projects (private and public) within the surrounding area that will change the character of the area within the next five years, and
- Appropriateness of the timing of the proposed change in land use designation for the subject property (i.e., consistency with planned public facility improvements, support for major public facilities such as SunRail commuter rail or support for other Seminole County Comprehensive Plan goals, objectives and policies).

Begin narrative below and/or note attachments to reference:

c. Demonstrate the Support and Furthering of County Plan Goals, Objectives and Policies

In the following table, the Applicant shall check which of the following Seminole County Comprehensive Plan goals, objectives and policies will be supported and/or furthered by the proposed amendment.

The following objectives and policies can be use to demonstrate that the proposed amendment supports and furthers the Seminole County Comprehensive Plan. The full text of each objective and policy can be found in the downloadable document entitled: "Attachment A – Reference" located at:

<http://www.seminolecountyfl.gov/gm/planning/FLUamend.aspx>

<i>Objectives Or Policies Of The County Plan Supported Or Furthered By Proposed Application</i>	CHECK IF 'YES'
Policy FLU 2.4 - Neighborhood Commercial Uses	
Policy FLU 2.5 - Transitional Land Uses in Urban Areas Not Approved for Mixed Development	
Policy FLU 2.7 - Location of Employment Uses, including Industrial Uses	
Objective FLU 4 - Redevelopment and Renewal of Blighted or Declining Areas	
Policy FLU 4.5 - Encourage Infill and Redevelopment of Existing Development Corridors and Centers	
Policy FLU 5.2 - Mixed Commercial/Residential Use Development	
Policy FLU 5.8 - North I-4 Corridor Higher Intensity Planned Development-Target Industry (HIP-TI) Permitted Uses and Locational Standards	
Policy FLU 5.15 - Mixed Use Developments (<i>Paragraph A, sections 1-6</i>)	
Policy FLU 11.1 - Recognition of East Rural Area	
Policy FLU 11.17 - Chuluota Nonresidential Design Standards	
Objective FLU 12 – Preservation of the Rural Character and Natural Resources of the Wekiva Protection Area	
Policy FLU 19.2 - Promote Economic Development in Target Areas through Urban Infill and Redevelopment (<i>Paragraph A</i>)	
Policy CON 3.12 - Central Florida Regional Growth Vision (How Shall We Grow?)	
Policy CON 7.3 - Future Land Use Designations	
Policy HSG 4.3 - Workforce Housing in Economic Development Target Areas	
Policy TRA 2.4.3 - Promote Infill Development	
Policy TRA 2.5.6 - Discourage Direct Access	
Policy TRA 3.2.2 - Prohibit Use of Roadway Improvements as Sole Justification for Land Use Amendments	
<i>List here other Plan goals, objectives or policies felt to be applicable: (See: http://www.seminolecountyfl.gov/gm/planning/compplan.aspx):</i>	

5. ASSESSMENT OF CONSISTENCY WITH THE CENTRAL FLORIDA REGIONAL GROWTH VISION

Applicants shall identify one or more of the following six regional growth principles from the Central Florida Regional Growth Vision that are supported and/or furthered by this application.

(See: http://www.myregion.org/clientuploads/pdfs/HSWG_final.pdf)

<i>Regional Growth Principles From The Central Florida Regional Growth Vision</i>	CHECK IF 'YES'
PRESERVE open space, recreational areas, farmland, water resources, and regionally significant natural areas.	
PROVIDE a variety of transportation choices.	
FOSTER distinct, attractive, and safe places to live.	
ENCOURAGE a diverse, globally competitive economy.	
CREATE a range of obtainable housing opportunities and choices.	
BUILD communities with educational, health care, and cultural amenities.	

6. ASSESSMENT OF CONSISTENCY WITH THE EAST CENTRAL FLORIDA STRATEGIC REGIONAL POLICY PLAN

Applicants shall identify one or more of the following policies of East Central Florida Strategic Regional Policy Plan. Applicant may also identify other policies of the East Central Florida Strategic Regional Policy Plan and explain how the application supports and furthers those policies. (See: <http://www.ecfrpc.org/Document-Library/SRPP.aspx>)

<i>Policies Of The East Central Florida Strategic Regional Policy Plan Furthered Or Supported By The Application</i>	CHECK IF 'YES'
Policy 3.9 - Development should avoid or properly mitigate adverse impacts to listed species.	
Policy 3.10 - Wildlife management and conservation areas should be protected from encroachment.	
Policy 3.18 - Development in the 100 year floodplain should be discouraged.	
Policy 4.1 - Promote integrated land use and multi-modal transportation strategies that support diverse economic centers.	
Policy 4.3 - Support emerging economic centers that are located in the most appropriate areas, such as along transit corridors or in existing or planned employment centers.	
Policy 4.6 - Promote and preserve agriculture as a viable land use and integral economic industry.	
Policy 4.9 - Support efforts to retain and maximize traditional industrial sectors.	
Policy 4.10 - Promote the development and attraction of high-wage, value-added, and export-oriented technology and manufacturing industries.	
Policy 4.18 - Support efforts that integrate mixed income housing into existing, expanding and emerging job centers.	
Policy 5.3 - Promote a multi-modal transportation system that provides for the safe, efficient and cost effective movement of people and goods.	
Policy 5.9 - Promote compact, mixed-use development that reduces vehicle miles traveled.	
Policy 5.11 - Encourage transit-oriented and transit-ready developments proximate to transit stations.	
Policy 9.2 - Protect groundwater recharge areas.	
Policy 9.4 - Promote the incorporation of nonstructural methods of stormwater management.	
<i>List here other Policies of the East Central Florida Strategic Regional Policy Plan furthered or supported by the application:</i>	

7. COMPLETION OF DATA AND ANALYSIS REQUIREMENTS

This section of the application requires the applicant to assess a) whether there is sufficient facility capacity to serve the potential development under the changed land use, and b) whether the proposed land use amendment will impact a designated Special Area.

a. Facility Capacity Impact Assessments

i. Utility Worksheets

The purpose of this facility analysis is to establish whether sufficient capacities are available or are planned to be available to support the proposed amendment. This facility analysis is required by the Future Land Use Element section entitled “Plan Amendment Standards of Review”.

Submitted worksheet calculations shall demonstrate that the service provider has sufficient surplus capacity to meet the proposed demand at the adopted Level of Service of the serving jurisdiction or at the unit demand standard provided by a private facility.

The worksheets are provided in a separate Adobe PDF document that can be opened with Adobe Reader. Entries made will automatically calculate certain fields. Once all fields are filled in, the worksheets can be printed directly to PDF or printed out and scanned to PDF and submitted with the application. Complete all worksheets, entering zero units or zero square footage if not applicable.

- Basic Information Worksheet 1 – Calculate the maximum number of units and square feet allowable under the proposed FLU and used in the following worksheets. **If the amendment is to PD FLU, enter the total number of units and/or square feet at bottom of sheet.**
- Potable Water Worksheet 2 - Test of facility capacity availability. Requires the applicant to contact the appropriate water utility if applicable.
 - a. If using well water, check box at top and make no entries
 - b. If utility does not provide the Available Capacity, check the box and submit with the application a letter from the utility confirming ability to serve.
 - c. If using Seminole County utility, levels of service are built in. Check the box in the title.
 - d. If using City/Private utility, enter the residential and non-residential Levels of Service and check the box in the title.
- Sanitary Sewer Worksheet 3 - Test of facility capacity availability. Auto-calculation.
 - a. If using septic, check box at top and make no entries
 - b. If utility does not provide the Available Capacity, check the box and submit with the application a letter from the utility confirming ability to serve.
 - c. If using Seminole County utility, levels of service are built in. Check the box in the title.
 - d. If using City/Private utility, enter the residential and non-residential Levels of Service and check the box in the title.
- Solid Waste Disposal Worksheet 4 – Calculation of capacity demand. Auto-calculation. This worksheet is completed only if residential units are proposed, the LOS incorporating associated non-residential demand. If only non-residential development is proposed, the worksheet is not calculated.
- Recreation/Open Space Worksheet 5 - Calculation of capacity demand. Requires an estimate of developed and total recreation/open space acres need to accommodate the land use. This worksheet is completed only if residential units are proposed. If no residential development is proposed, the worksheet is not calculated.

Separate from this Attachment A are two additional facility capacity impact assessments that must be completed and submitted. :

ii. School Board Assessment

Applicants must contact the Seminole County School Board, Facilities Planning Office, for a review and analysis of the impact of the proposed amendment. Contact the Facilities Planning Office at 407-320-0071 for direction in completing this analysis. A copy of the School Board's findings is to be included in the Board's agenda package.

iii. Transportation Assessment

Applicants must contact the Seminole County Planning and Development Division for guidance on the level of transportation assessment required. Contact Bill Wharton at 407-665-7398.

PLEASE NOTE: This worksheet analysis is NOT a concurrency review and DOES NOT reserve facility capacity for any specific development.

b. Assessment of Need for Special Area Data and Analysis Evaluations

Please check-off below those Special Areas identified at the Pre-Application Conference in which the parcel fall or would be affected by. Proceed to the Special Areas – Standards of Review on the next page and complete those topics which were checked off.

If you did not attend a Pre-Application Conference, call your Project Manager to confirm which Special Area(s) apply to your parcel(s).

<i>Is the amendment proposal for or involve one or more of the following?:</i>	Check if applicable:
1. An amendment from any FLU to Planned Development (PD) FLU	
2. An amendment seeking to:	
• Change a future land use designation within the East Rural Area	
• Change the Rural Charter Boundary	
• Change the Urban/Rural Boundary	
3. An amendment from Higher Intensity Planned Development and/or Industrial FLU that reduces previously projected employment opportunities	
4. An amendment within Wekiva River Protection Area	
5. An amendment within the East Lake Sylvan Transitional Area	
6. An amendment within the Econlockhatchee River Protection Area	
7. An amendment within or containing land affected by the Environmentally Sensitive Lands Overlay (ESLO)	

**SPECIAL AREAS
STANDARDS OF REVIEW**

NOTE:

*Complete only the following Special Area topics
which were checked off on the previous page in Section 5.b.*

1. Evaluation of Plan Amendments Proposing Planned Development (PD) Future Land Use Designation

In order to be considered for a Future Land Use amendment to a Planned Development (PD) future land use designation, an applicant must provide the following information in compliance with the Purpose and Intent Statement and Definition of the Planned Development Future Land Use designation, contained in the portion of the Seminole County Future Land Use Element entitled "Definitions of Future Land Use Designations and Overlays".

Demonstrate Consistency with the Following Standards
<p>All Applications for future land use designation to PD must be accompanied by a complete rezoning application, including an associated master development plan identifying maximum density and/or intensity of proposed uses. (See <i>Exhibit FLU: Future Land Use Designations and Allowable Zoning Classifications</i> for applicable zoning districts).</p> <p>Master Development Plan demonstrating maximum density and/or intensity and rezoning application are attached?</p> <p style="text-align: right;">Yes ____ No ____</p> <p style="text-align: center;"><i>Note here any attachments to reference:</i></p>

2. Evaluation of Amendments within the East Rural Area, Including Amendments to the Urban/Rural Boundary

The County shall not consider amendments to parcels within the East Rural Area or to either the Rural Charter Boundary or the Urban/Rural Boundary, as depicted on *Exhibit FLU - Special Area Boundaries*, unless all of the following relevant information is provided .

NOTE: *The Board of County Commissioners shall transmit any required documentation and related support material to the State and Regional Reviewing agencies for review and comment prior to adoption.*

East Rural Area Future Land Use Map Amendment
<p>Demonstrate the need to amend the land use in the East Rural Area— <i>Respond to topics as applicable:</i></p> <p>(1) Provide data and analysis to document that additional urban land is needed to accommodate population projections; housing demand (in particular, for affordable, workforce or obtainable housing in proximity to employment opportunities); or to achieve economic development goals/employment projections of the Seminole County Comprehensive Plan because of the lack of suitable vacant or redevelopable land within the urban area; or</p> <p>(2) Provide data and analysis to document that additional urban land is required to provide for a critically needed public facility, such as a public school, because of the lack of suitable vacant or redevelopable land within the urban area.</p> <p><i>Begin narrative below and/or note attachments to reference:</i></p>
<p>Demonstrate the availability of sufficient urban facilities and services to meet the service demands of the proposed development, and the orderly, efficient and cost effective provision of such services.</p> <p><i>Begin narrative below and/or note attachments to reference:</i></p>

Document the protection of environmental and natural resources, including regionally significant natural areas. This documentation shall include an analysis showing that the amendment would not adversely affect the interconnected system of wetlands/uplands that exist in the East Rural Area. The analysis must describe how the amendment protects the wetlands/uplands systems, including:

- retaining the connectivity of wetlands
- retaining/improving the ecological quality of wetlands
- retaining the functional and structural values of wetlands in the Rural Area

Begin narrative below and/or note attachments to reference:

Demonstrate how the proposed amendment would be compatible with adjacent rural uses .

Begin narrative below and/or note attachments to reference:

Home Rule Charter Rural Boundary Map Amendment
<p>If proposing to amend the Seminole County Home Rule Charter Rural Boundary, provide a detailed parcel map and a legal description of the subject property in digital format.</p> <p>Provided? Yes ____ No ____</p>

Urban/Rural Boundary Map Amendment
<p>If proposing to amend the Seminole County Urban/Rural Boundary, provide a detailed parcel map.</p> <p>Provided? Yes ____ No ____</p>

3. Evaluation of Amendments from Higher Intensity Planned Development or Industrial FLU to a Residential FLU or to Planned Development FLU

This standard applies to a proposal for a future land use map amendment from an employment generating land use (Higher Intensity Planned Development or Industrial Future Land Use) to an exclusively residential land use designation. *(Note: a proposal for Planned Development (PD) future land use shall be considered "exclusively residential" if more than 90% of the proposed floor area within the development would be designated for residential use.)*

The designation of land areas for nonresidential use is intended to allow for future development of employment opportunities in Seminole County. Calculation of the number of nonresidential acres needed to accommodate employment is a part of the requirements of Chapter 163, Florida Statutes. In order to understand the impacts of the proposed change, the applicant must calculate the potential impact of the amendment on the County's jobs-to-housing balance.

Demonstrate Consistency with the Following Standards		
Using statistics obtained from the Florida Bureau of Economic and Business Research (BEBR) and the formula shown below, calculate whether the proposed land use amendment would reduce the County's jobs to housing ratio below the minimum standard of 1.0 jobs per housing unit. <i>(Reference: Seminole County Comprehensive Plan, Future Land Use Element, Standards Of Review - Category II, Data and Analysis, Section F.)</i>		
$A/(B + C) = D$		
A.	Current total County employment*	Divided by
B.	Total Housing Units*	
C.	Number of new units under the proposed future land use change	
D.	Total with amendment	B + C
E.	Jobs-to-housing ratio	
*Source: Florida Bureau of Economic and Business Research,-most recent year available		

4. Plan Amendments Within The Wekiva River Protection Area

In order to be eligible for a Future Land Use Designation amendment within the Wekiva River Protection Area, as depicted in *Exhibit FLU - Special Area Boundaries*, an applicant for a Plan amendment shall comply with the requirements of Objective FLU 12 and its attendant policies; in particular, Policy FLU 12.2 (if within the East Lake Sylvan Transition Area), Policy FLU 12.3 (if outside of the East Lake Sylvan Transition Area), and Policy FLU 12.8.

NOTE: Development activity (including the placing or depositing of fill within wetlands and the 100-year floodplain identified by FEMA), within the Wekiva River Protection Area shall be prohibited except in cases of overriding public interest.

Demonstrate Consistency with the Following Standards
<p>For purposes of allowing clustering of dwelling units to preserve environmentally significant features, but not for increasing allowable maximum densities, an application may propose the Planned Development future land use designation with an associated PD (Planned Development) zoning district. Such an application shall comply with the requirements for a PD Future Land Use amendment as shown above.</p> <p>Application includes rezoning application and Master Development Plan:</p> <p style="text-align: right;">Yes ____ No ____</p>
<p>Subject property has a nonresidential Future Land Use designation and applicant is proposing an amendment to Suburban Estates or Recreation, consistent with Policy FLU 12.3.</p> <p>Applicant is proposing an amendment to Suburban Estates or Recreation. If "Yes", begin narrative below and/or note attachments to reference:</p> <p style="text-align: right;">Yes ____ No ____</p>

**The proposal must conform to the Seminole County Comprehensive Plan and
to these requirements of Part II, Chapter 369, Florida Statutes:**

369.305 Review of local comprehensive plans, land development regulations, Wekiva River development permits, and amendments.—

(1) It is the intent of the Legislature that Orange, Lake, and Seminole Counties emphasize the Wekiva River Protection Area in their planning and regulation efforts. Therefore, each county's local comprehensive plan and land development regulations applicable to the Wekiva River Protection Area must meet the following criteria:

(a) Each county's local comprehensive plan must contain goals, policies, and objectives that result in the protection of the:

1. Water quantity, water quality, and hydrology of the Wekiva River System;
2. Wetlands associated with the Wekiva River System;
3. Aquatic and wetland-dependent wildlife species associated with the Wekiva River System;
4. Habitat within the Wekiva River Protection Area of species designated pursuant to rules 39-27.003, 39-27.004, and 39-27.005, Florida Administrative Code; and
5. Native vegetation within the Wekiva River Protection Area.

(b) The various land uses and densities and intensities of development permitted by the local comprehensive plan shall protect the resources enumerated in paragraph (a) and the rural character of the Wekiva River Protection Area. The plan must also include:

1. Provisions that ensure the preservation of sufficient habitat for feeding, nesting, roosting, and resting so as to maintain viable populations of species designated pursuant to rules 39-27.003, 39-27.004, and 39-27.005, Florida Administrative Code, within the Wekiva River Protection Area.
2. Restrictions on the clearing of native vegetation within the 100-year flood plain.
3. Prohibition of development that is not low-density residential in nature, unless the development has less effect on natural resources than low-density residential development.
4. Provisions for setbacks along the Wekiva River for areas that do not fall within the protection zones established pursuant to s. [373.415](#).

5. Restrictions on intensity of development adjacent to publicly owned lands to prevent adverse impacts to such lands.

6. Restrictions on filling and alteration of wetlands in the Wekiva River Protection Area.

7. Provisions encouraging clustering of residential development if it promotes protection of environmentally sensitive areas and ensures that residential development in the aggregate is rural in density and character.

(c) The local comprehensive plan must require that the density or intensity of development permitted on parcels of property adjacent to the Wekiva River System be concentrated on those portions of the parcels which are the farthest from the surface waters and wetlands of the Wekiva River System.

(d) The local comprehensive plan must require that parcels of land adjacent to the surface waters and watercourses of the Wekiva River System not be subdivided so as to interfere with the implementation of protection zones as established pursuant to s. [373.415](#), any applicable setbacks from the surface waters in the Wekiva River System which are established by local governments, or the policy established in paragraph (c) of concentrating development in the Wekiva River Protection Area as far from the surface waters and wetlands of the Wekiva River System as practicable.

Begin narrative below and/or note attachments to reference:

5. Plan Amendments within The East Lake Sylvan Transition Area

The East Lake Sylvan Transitional Area (see FLU Exhibit-4 East Lake Sylvan Transitional Area/School Site), established by Policy FLU 2.12 Recognition of the East Lake Sylvan Transitional Area, has been designated as appropriate for densities in excess of those allowed elsewhere in the Wekiva River Protection Area wherein the one dwelling unit per net buildable acre is the final development form. The Standards for Plan Amendments within the East Lake Sylvan Transitional Area allows for a maximum allowable residential density not to exceed 2.5 dwelling units per net buildable acre within the Planned Development (PD) Future Land Use designation and PD (Planned Development) zoning classification.

NOTE: Development activity (including the placing or depositing of fill within wetlands and the 100-year floodplain identified by FEMA), within the Wekiva River Protection Area shall be prohibited except in cases of overriding public interest.

Demonstrate Consistency with the Following Standards
For purposes of allowing clustering of dwelling units to preserve environmentally significant features, but not for increasing allowable maximum densities, an application may propose the Planned Development future land use designation with an associated PD (Planned Development) zoning district. Such an application shall comply with the requirements for a PD Future Land Use amendment as shown above. <i>(Begin narrative below and/or note attachments to reference):</i>
Subject property has a nonresidential Future Land Use designation and applicant is proposing an amendment to Suburban Estates or Recreation, consistent with Policy FLU 12.3. <i>(Begin narrative below and/or note attachments to reference):</i>
The proposal must conform to the requirements of Part II, Chapter 369, Part II, Florida Statutes as noted above. <i>(Begin narrative below and/or note attachments to reference):</i>

6. Evaluation of Amendments Within The Econlockhatchee River Protection Area

The State Department of Environmental Protection has identified the Econlockhatchee River Protection Area as an “Outstanding Water”, based on authority given by Section 40C-41.063 (5), Florida Administrative Code. In order to be considered for a Future Land Use Amendment within the Econlockhatchee River Protection Area as depicted in *Exhibit FLU-Special Area Boundaries*, an applicant must demonstrate that the Performance Standards contained in Policy FLU 1.10 are met

Demonstrate Consistency with the Following Standards
<p>1. Projects within this Protection Area must comply with restrictions that limit uses within a 550-foot development restriction zone (from stream’s edge of the channels of the Big Econlockhatchee River and the Little Econlockhatchee River) to the creation of wetlands and passive recreational uses.</p> <p>If the subject property contains lands located within the 550 development restriction zone, provide data to demonstrate that the subject property is large enough to meet this development restriction while complying with the requirements of the desired future land use and the requirements of the zoning district desired. <i>(Begin narrative below and/or note attachments to reference):</i></p>
<p>2. For property located within 1,100 feet landward as measured from the stream’s edge of the main channels of the Big Econlockhatchee River and the Little Econlockhatchee River, only residential uses are permitted except as stated otherwise in Part 57, Econlockhatchee River Protection Overlay Standards Classification, of the Land Development Code of Seminole County.</p> <p>Does the amendment propose a residential land use designation? Yes ____ No ____</p>
<p>3. All lands within 2,000 feet of stream’s edge, and lands identified on <i>Exhibit FLU: Areas of Archaeological Potential</i>, have the potential to contain significant archaeological resources.</p> <p>If the subject property contains lands within 2,000 feet of stream’s edge and/or contains lands identified on the aforementioned exhibit, provide data to demonstrate that the subject property is large enough to meet the requirements of the proposed land use and zoning district, and preserve potentially significant archaeological features, or provide an archaeological survey (conducted by a state certified archaeologist) verifying that no significant resources are present. <i>(Begin narrative below and/or note attachments to reference):</i></p>

Demonstrate Consistency with the Following Standards

4. Minimal removal of native habitats is permitted within the Econlockhatchee River Protection Area, including limits on fragmentation of forested habitats, and limitations on any additional crossings of the river system.

Provide data to demonstrate that the subject property is large enough to meet the requirements of the proposed land use and zoning district while limiting fragmentation of forest habitats and/or additional river crossings in order to prevent disturbance of native habitats through .

Begin narrative below and/or note attachments to reference:

NOTE: *If any portion of the subject property is within the Environmentally Sensitive Lands Overlay, complete also the Evaluation of Amendments within the ESLO. Critical upland habitat and environmentally sensitive lands (see Exhibit FLU: FLU Series – Exhibit Environmentally Sensitive Lands Overlay) are required to be protected within the Econlockhatchee River Protection Area.*

7. Evaluation of Amendments Within The Environmentally Sensitive Lands Overlay (ESLO)

Demonstrate Consistency with the Following Standards

Provide data to verify that the subject property is large enough to meet the standards required by the proposed future land use and zoning district and also comply with the requirements of *Policy FLU 1.3 Wetlands Protection* and *Policy CON 7.4 Wetland Regulation – Buffers, Performance Standards and Compatibility*, part D - Wetland Compatibility Criteria. These policies prohibit encroachment on locally significant wetlands except for construction of, or improvement of, public facilities that benefit the general public.

The ESLO is comprised of floodprone and wetlands that may exist in any combination on a parcel. These areas are graphically depicted on either of the following websites:

- http://www.seminolecountyfl.gov/is/pdf/Information_Kiosk_Help.pdf
- <http://www.scpafl.org/>

NOTE: If applicant is proposing Planned Development (PD) land use, the Master Development Plan must show location of protected environmentally sensitive areas.

NOTE: Development activity (including the placing or depositing of fill within wetlands and the 100-year floodplain identified by FEMA), within the Wekiva River Protection Area shall be prohibited except in cases of overriding public interest.

Begin narrative below and/or note attachments to reference:

Property Record Card



Parcel 28-19-30-503-0000-0070

Property Address 4050 W SR 46 SANFORD, FL 32771

Parcel Location



Site View



28193050300000070 04/29/2023

Parcel Information

Parcel	28-19-30-503-0000-0070
Owner(s)	MNRL PROPERTIES LLC
Property Address	4050 W SR 46 SANFORD, FL 32771
Mailing	975 BENNETT DR LONGWOOD, FL 32750-6352
Subdivision Name	PETERSON SUBD A J
Tax District	01-COUNTY-TX DIST 1
DOR Use Code	3401-HEALTH/FITNESS CLUB
Exemptions	None
AG Classification	No
Facility Name	PLATINUM GYM

Value Summary

	2024 Working Values	2023 Certified Values
Valuation Method	Cost/Market	Cost/Market
Number of Buildings	3	3
Depreciated Building Value	\$535,549	\$411,097
Depreciated Other Features	\$11,135	\$9,271
Land Value (Market)	\$568,281	\$391,837
Land Value Agriculture		
Just/Market Value	\$1,114,965	\$812,205
Portability Adjustment		
Save Our Homes Adjustment	\$0	\$0
Non-Hx 10% Cap (AMD 1)	\$0	\$0
P&G Adjustment	\$0	\$0
Assessed Value	\$1,114,965	\$812,205

2023 Certified Tax Summary

2023 Tax Amount w/o Exemptions/Cap \$10,808.82

2023 Tax Bill Amount \$10,808.82

* Does NOT INCLUDE Non Ad Valorem Assessments

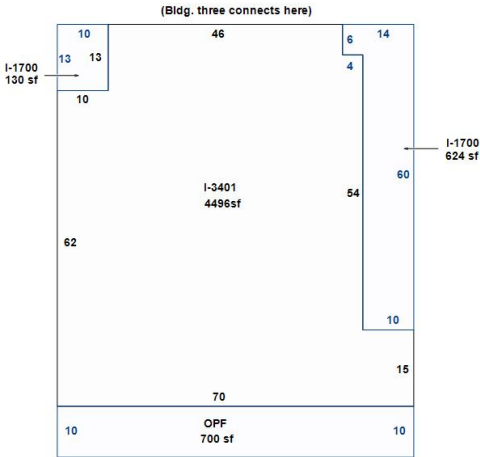
Legal Description

PART OF LOTS 7 & 8 DESC AS BEG SE COR
LOT 9 RUN S 21.38 FT E 143.66 FT ELY ON CURVE 6.34 FT N 366.06 FT W 149.93 FT S 340.6 FT TO BEG
A J PETERSON SUBD
PB 10 PG 60

ROAD DISTRICT	\$1,114,965	\$0	\$1,114,965
FIRE	\$1,114,965	\$0	\$1,114,965
Schools	\$1,114,965	\$0	\$1,114,965

Land					
Method	Frontage	Depth	Units	Units Price	Land Value
SQUARE FEET			54122	\$10.50	\$568,281

Building Information									
#	Description	Year Built Actual/Effective	Stories	Total SF	Ext Wall	Adj Value	Repl Value	Appendages	
1	STEEL/PRE ENGINEERED.	1973	1	5250.00	METAL PREFINISHED	\$227,732	\$569,331	Description	Area
								OPEN PORCH FINISHED	700.00



Building 1 - Page 1

#	Description	Year Built Actual/Effective	Stories	Total SF	Ext Wall	Adj Value	Repl Value	Appendages	
2	STEEL/PRE ENGINEERED.	1973	1	1875.00	METAL PREFINISHED	\$36,398	\$90,995	Description	Area

Zoning								
Zoning		Zoning Description			Future Land Use		Future Land Use Description	
C-1		Higher Intensity Planned Development – Target Industry			HIPTI		Retail Commercial-Commodies	
Utility Information								
Fire Station	Power	Phone(Analog)	Water Provider	Sewer Provider	Garbage Pickup	Recycle	Yard Waste	Hauler
38.00	FPL	AT&T	SANFORD	CITY OF SANFORD	NA	NA	NA	NA
Political Representation								
Commissioner		US Congress		State House		State Senate		Voting Precinct
Dist 5 - Andria Herr		Dist 7 - Cory Mills		Dist 36 - RACHEL PLAKON		Dist 10 - Jason Brodeur		6
School Information								
Elementary School District			Middle School District			High School District		
Region 1			Markham Woods			Seminole		
Copyright 2024 © Seminole County Property Appraiser								



**Seminole County Government
Development Services Department
Planning and Development Division
Credit Card Payment Receipt**

If you have questions about your application or payment, please email us eplandesk@seminolecountyfl.gov or call us at: (407) 665-7371.

Receipt Details

Date: 5/20/2024 10:41:05 PM
Project: 24-20500003
Credit Card Number: 42*****5048
Authorization Number: 03169G
Transaction Number: 200524C1B-4531C6DE-9A1B-4A19-BD46-4A1CCB9A9830
Total Fees Paid: 2607.60

Fees Paid

Description	Amount
CC CONVENIENCE FEE -- PZ	32.60
REZONE TO COM, IND, OP/RP 14	2575.00
Total Amount	2607.60

SEMINOLE COUNTY GOVERNMENT
1101 EAST FIRST STREET, 2ND FLOOR, WEST WING
SANFORD, FLORIDA 32771

Comment Document – Initial Submittal

The DRC meeting allows 20 minutes per project to discuss and clarify any comments of concern. Additional comments or deletion of comments may result from discussions at the DRC meeting. The DRC Agenda can be found [HERE](#).

PROJECT NAME:	SR 46 REZONE - PD REZONE	PROJ #: 24-20500003
APPLICATION FOR:	PZ - PD	
APPLICATION DATE:	5/16/24	
RELATED NAMES:	Z2024-09	
PROJECT MANAGER:	KAITLYN APGAR (407) 665-7377	
PARCEL ID NO.:	28-19-30-503-0000-0070	
PROJECT DESCRIPTION	PROPOSED REZONE FROM C-1 TO PD FOR AN OFFICE ON 1.24 ACRES LOCATED ON THE NORTH SIDE OF SR 46, EAST OF MONROE RD	
NO OF ACRES	1.24	
BCC DISTRICT	Andria Herr	
LOCATION	ON THE NORTH SIDE OF SR 46, EAST OF MONROE RD	
FUTURE LAND USE-	HIPTI	
SEWER UTILITY	CITY OF SANFORD	
WATER UTILITY	SANFORD	
APPLICANT:	CONSULTANT:	
CHRISTOPHER WAGNER MNRL PROPERTIES, LLC 975 BENNETT DR LONGWOOD FL 32750 (727) 599-7729	LARRY POLINER RCE CONSULTANTS LLC 617 ARVERN DRIVE ALTAMONTE SPRINGS FL 32701 (407) 452-8633 LARRY@RCECONSULTANTS.NET	

County staff members have reviewed the subject development project and offer the following comments. The comments below are a compilation of comments and markups from the ePlan review system. These items need responses with further information, data, explanation or revision of plans and documents before project approval.

Please itemize any and all revisions made to the development plan in addition to those made in response to staff comments; include a statement in your response to comments that no additional revisions have been made to the site plan beyond those stated.

For questions regarding the ePlan process, please consult the Electronic Plan Review Applicant User Guide <http://www.seminolecountyfl.gov/core/fileparse.php/3321/urlt/ePlanApplicantUserGuide.pdf>

See comments within the comment document for any fees due, as fees may be due for different aspects of your development project. Fees showing in ePlan reflect Planning & Development review or revision fees only.

State Permits that may be required:

AGENCY/DEPARTMENT COMMENTS

	REVIEWED BY	TYPE	STATUS
1.	Buffers and CPTED	Dimension proposed buffers on the MDP.	Unresolved
2.	Buffers and CPTED	Staff recommends a greater buffer on the north adjacent to existing residential.	Unresolved
3.	Buffers and CPTED	Buffer information can be found here: https://www.municode.com/library/fl/seminole_county/codes/land_development_code?nodeId=SECOLADECO_CH30ZORE_PT67LASCBU	Info Only
4.	Buffers and CPTED	Please refer to the SCLDC sections 30.14.5 and 30.14.3.1 on opacity and plant groups.	Info Only
5.	Buffers and CPTED	Residential zoning to the north will trigger a parking buffer requirement under SCLDC Sec. 30.14.8 if parking is proposed within 25' of the property line. This is additional to the standard buffer requirement for the retail use. Please add a note to the MDP that states parking will not be placed within 25' of the north boundary, OR add a note that the parking buffer will be provided if necessary in addition to any required buffers.	Unresolved
6.	Buffers and CPTED	For a complete Buffer Review please provide the Hours of Operation, Impervious Surface Ratio, and proposed Building Height in feet.	Unresolved
7.	Buffers and CPTED	Per Sec. 30.14.15. Screening: Mechanical equipment, refuse areas, and utilities visible from residential properties or public rights-of-way must be screened in accordance with this section. Add a note to the MDP to state this will be complied with.	Unresolved
8.	Buffers and CPTED	PD CRITERIA: If a PD is proposed: Per Sec. 30.8.5.3 - Review criteria. of the Land Development Code: "In addition, PD zoning may be approved only when the Board determines that the proposed development cannot be reasonably implemented though existing provisions of this Code, and that a PD would result in greater benefits to the County than development under conventional zoning district regulations." Please indicate with the rezone application if alternative landscaping is proposed that will result in greater benefits to the County.	Unresolved
9.	Buffers and CPTED	Parking lot landscaping must be provided per 30.10.11.5 Parking areas. Add a note this will be complied with.	Unresolved
10.	Buffers and CPTED	Add a note to the MDP that the south buffer will be provided per 30.10.11.4 Required corridor landscaped buffer and buffer requirements. Dimension this 25' buffer on the MDP.	Unresolved
11.	Buffers and CPTED	Additional comments may be generated at the next cycle once staff is able to do the complete buffer analysis.	Info Only
12.	Building Division	All structures that are required to be accessible per the 8th ed (2023) FBC, Florida Accessibility Code for Building Construction, shall show the accessible route from the required accessible parking spaces to the accessible entrance to the structure.	Info Only
13.	Building Division	In accordance with the 8th ed (2023) FBC, Florida Accessibility Code for Building Construction, at least one accessible route shall connect accessible buildings, facilities, elements, and spaces that are on the same site.	Info Only
14.	Building	The location of accessible parking spaces, loading zones, sidewalks,	Info Only

	Division	and exit ramps shall meet requirements of the 8th ed (2023) FBC, Florida Accessibility Code for Building Construction.	
15.	Building Division	A change of occupancy classification will require a permit and possibly an alteration to the existing structure to comply with current code (8th ed. Florida Existing Building Code, Chapter 9.) Example: Business to Mercantile, Residential to Commercial	Info Only
16.	Building Division	All site lighting on Commercial parcels require a building permit prior to commencement of work. This is a standalone permit separate from all other required permits.	Info Only
17.	Building Division	Vertical construction will require a separate Building permit and will be reviewed for, and shall be designed and built in accordance with the 8th ed. Florida Building Code, Chapters 3, 4, 5, 6, 7 and 9, for 1) USE, 2) Height and area limitations, 3) Construction types and horizontal separation distances, 4) Building element protection and 5) Sprinkler and Alarm requirements and all other code requirements.	Info Only
18.	Comprehensive Planning	The application states proposed use as light office but the MDP states general retail. Please list specific uses (example: all uses in C-1). List prohibited uses.	Unresolved
19.	Comprehensive Planning	The Attachment A Text Section was included in the application but not completed. Please fill out any of the narrative sections that apply to this Future Land Use Amendment.	Unresolved
20.	Comprehensive Planning	Please provide the Attachment A worksheet completed.	Unresolved
21.	Environmental Services	This development is not within Seminole County's utility service area. Please coordinate with the City of Sanford to service it.	Info Only
22.	Planning and Development	The parking calculation breakdown references office and warehouse, please provide a list of permitted uses.	Unresolved
23.	Planning and Development	Please clearly define perimeter boundary lines on the MDP.	Unresolved
24.	Planning and Development	The MDP proposes a rear yard setback of 10 feet, staff recommends a rear yard setback of 30 feet due to the abutting residential properties.	Unresolved
25.	Planning and Development	Please provide a lines symbol legend on the Master Development Plan (MDP).	Unresolved
26.	Planning and Development	Under the Site Data Table, please provide the use of each building under the Building Information.	Unresolved
27.	Planning and Development	Please dimension parking spaces and note minimum size requirement under the Site Data Table.	Unresolved
28.	Planning and Development	Please provide the adjacent parcels PID, FLU, and zoning on the MDP.	Unresolved
29.	Planning and Development	Are you utilizing the address as the PD name? If not, please provide the PD name. Please be sure to label the MDP page with the desired PD title (or address, if applicable).	Unresolved
30.	Planning and Development	Planned Developments (PD) require a minimum of 25% open space. Please provide the open space breakdown and calculation in the Site Data Table.	Unresolved
31.	Planning and Development	Is a dumpster proposed? If so, please show location on MDP and make the following note, "Dumper enclosure will meet Seminole County Land Development Code Sec. 30.14.15. - Screening." Dumpster will require a separate permit.	Unresolved
32.	Planning and Development	In notes under Site Data, please put the following language, "Outdoor lighting will comply with Seminole County Land Development Code Sec. 30.15.1. - Exterior lighting requirements."	Unresolved

33.	Planning and Development	Please provide a survey that is signed and sealed by the surveyor of record.	Unresolved
34.	Planning and Development	Please provide utility capacity letters from the City of Sanford establishing adequate capacity for the intended project.	Unresolved
35.	Planning and Development	All parking regulations are applicable as set forth in Seminole County Land Development Code Chapter 30, Part 11, including those sections referring to bicycle parking (see Sec. 30.11.7. - Miscellaneous design standards. for more info). Please amend or clarify accordingly. See Part 11 Parking and Loading Regulations for more information: https://library.municode.com/fl/seminole_county/codes/land_developm ent_code?nodeId=SECOLADECO_CH30ZORE_PT11PALORE	Unresolved
36.	Planning and Development	The subject property is within the North I-4 Industrial Target Area. See Comprehensive Plan Policy FLU 4.5.3 North I-4 Corridor Higher Intensity Planned Development-Target Industry (HIP-TI) Permitted Uses and Locational Standards.	Info Only
37.	Planning and Development	Permitted uses on the subject site must be considered a Target Industry. Per Policy FLU 7.3.3 Target Industries: The Board of County Commissioners shall define Target Industries and the specific businesses offering high wage jobs by adopting specific recruitment and retention guidelines. A catalogue listing the specific companies that fit the profile of targeted Industries shall be continually maintained (see Exhibit FLU: Target Industry Uses).	Info Only
38.	Planning and Development	The attachment A worksheet in the submitted application must be completed.	Unresolved
39.	Planning and Development	Please provide a narrative addressing the review criteria for PD Rezones. This includes consistency with the Comprehensive Plan and provision of greater benefit/innovation than conventional zoning would typically provide. In addition, any proposed development under the PD ordinance must meet or exceed the arbor, tree preservation, and tree planting requirements of this Code on a project-wide basis; and minimize transportation impacts through design elements. Please see Sec. 30.8.5.3 Review criteria. for more information https://library.municode.com/fl/seminole_county/codes/land_developm ent_code?nodeId=SECOLADECO_CH30ZORE_PT8SPZODI_S30.8.5PDPLDE	Unresolved
40.	Planning and Development	Please specify if you are pursuing the Small Scale Future Land Use Amendment to PD. It appears the application would need to be revised and appropriate fees paid for such application, if applicable. If permitted uses fit into the HIP-TI permitted uses, it may not be necessary to do such. Please advise in any event.	Unresolved
41.	Public Safety - Fire Marshal	Type of use and size of building may require fire sprinklers and fire alarms.	Info Only
42.	Public Safety - Fire Marshal	Adequate water supply with fire flow calculations for fire protection (hydrants) shall be provided per section 18.3 and 18.4 of NFPA 1.	Info Only
43.	Public Safety - Fire Marshal	Fire department access road shall have an unobstructed width of not less than 20 ft in accordance with the specifications of NFPA 1, Section 18.2.3.5.1.1	Info Only
44.	Public Safety - Fire Marshal	"All the following items shall be acknowledged and added to the site plan sheets as note: 1.Fire department access roads provided at the start of a project and shall be maintained throughout construction. (NFPA 1, 16.1.4). 2.A second entrance/exit might be required per AHJ if the response time for emergency is exceeded per NFPA 1, Section	Info Only

		18.2.3.3 Multiple Access Roads. 3.A water supply for fire protection, either temporary or permanent, shall be made available as soon as combustible material accumulates. This applies to both commercial and residential developments. (NFPA 1, 16.4.3.1). 4.Where underground water mains and hydrants are to be provided, they shall be installed, completed, and in service prior to construction work. (NFPA 1, 16.4.3.1.3). 5.Fire flow testing shall be performed in accordance with NFPA 291, recommended practice for fire flow testing. 6.A 36 in. clear space shall be maintained around the circumference of fire hydrants and a clear space of not less than 60 in. (1524 mm) shall be provided in front of each hydrant connection having a diameter greater than 21/2 in. NFPA 1, 18.5.7. 7.Hydrant shall be marked with a blue reflector in the roadway in accordance with NFPA 1, chapter 18.5.10. 8.Access to gated Subdivisions or Developments shall provide Fire Department access through an approved SOS and Seminole County Knox Key Switch. NFPA 1, 18.2.2.2"	
45.	Public Safety - Fire Marshal	Any tenant improvements or change of use/occupancy shall require a separate permit and review through the building department in accordance with NFPA 1/101 2021 ed and FFPC 8th ed.	Info Only
46.	Public Works - Engineering	The site does not currently have a stormwater system. Per the Seminole County Public Works Engineering Manual, 2.4.2 Retention/Detention Facilities Design Criteria B. Redeveloped Sites, Redevelopments which have no increase or a net decrease in impervious area yet lack evidence of a functioning retention or retention-detention facility may be required to retrofit the site to current County standards. There are known drainage issues in the area. Please provide water quality retention for the site. Please show this on the plan and add a note that the site will meet Seminole County and SJRWMD drainage requirements.	Unresolved
47.	Public Works - Engineering	The parking table states that 34 parking spaces are provided. Staff only sees about 18 designated spaces. Please show the required parking spaces. Most if not all of the parking spaces do not meet parking space standards. Please show all spacing meeting county requirements.	Unresolved
48.	Public Works - Engineering	There are two existing driveways that do not meet separation requirements of 330'. The access also do not meet separation from US 17 92 / Monroe Road. Please remove the west driveway.	Unresolved
49.	Public Works - Engineering	Please show an ADA accessible path to the sidewalk in the ROW.	Unresolved

AGENCY/DEPARTMENT EFORM COMMENTS AND PROJECT STATUS

This section shows the reviewers of this project from the various County agencies. It may also include additional comments for review and response.

Department	Reviewer	Email	Reviewer Comments/Contact
Buffers and CPTED	Maya Athanas	mathanas@seminolecountyfl.gov	407-665-7388
Building Division	Tony Coleman	acoleman@seminolecountyfl.gov	407-665-7581
Comprehensive Planning	Maya Athanas	mathanas@seminolecountyfl.gov	407-665-7388
Environmental-Impact Analysis	Becky Noggle	bnoggle@seminolecountyfl.gov	407-665-2143
Environmental Services	James Van Alstine	jvanalstine@seminolecountyfl.gov	407-665-2014
Natural Resources	Sarah Harttung	sharttung@seminolecountyfl.gov	407-665-7391
Planning and Development	Kaitlyn Apgar	kapgar@seminolecountyfl.gov	407-665-7377
Public Safety - Fire Marshal	Matthew Maywald	mmaywald@seminolecountyfl.gov	407-665-5177
Public Works - Engineering	Jim Potter	jpotter@seminolecountyfl.gov	407-665-5764
Public Works - Impact Analysis	William Wharton	wwharton@seminolecountyfl.gov	407-665-5730

The next submittal, as required below, will be your:

☒ 1st RESUBMITTAL

DATE	RESUBMITTAL FEE DUE	ROUTE TO THESE STAFF MEMBERS FOR FURTHER REVIEW:
7/17/2024	The application fee allows for the initial submittal plus two resubmittals. <i>Note: No resubmittal fee for small site plan</i>	Kaitlyn Apgar, Jim Potter, Maya Athanas

The initial application fee allows for the initial submittal review plus two resubmittal reviews. For the fourth review and each subsequent review, the resubmittal fees are as follows:

Major Review (3+ reviewers remaining) – 50% of original application fee

Minor Review (1-2 reviewers remaining) – 25% of original application fee

Summary of Fees: <http://www.seminolecountyfl.gov/departments-services/development-services/planning-development/fee-information/fee-summary.shtml>

NOTE: Other fees may be due. See comments for any additional fees due for your development project. (example: Addressing fee)

Upon completion of your plan review process, Planning and Development staff must authorize and stamp plans for construction use. Once you receive an approval letter from Seminole County, the site contractor must contact Seminole County Planning and Development Inspections to schedule a pre-construction conference prior to the start of any site work. Upon issuance of the site permit, your approved drawings and/or documents will be released to you through the ePlan System. For questions regarding this process, please consult the Electronic Plan Review Applicant User Guide <http://www.seminolecountyfl.gov/core/fileparse.php/3321/urlt/ePlanApplicantUserGuide.pdf>

Cities:

Altamonte Springs	(407) 571-8000	www.altamonte.org
Casselberry	(407) 262-7700	www.casselberry.org
Lake Mary	(407) 585-1449	www.lakemaryfl.com
Longwood	(407) 260-3440	www.longwoodfl.org
Oviedo	(407) 971-5555	www.cityofoviedo.net
Sanford	(407) 688-5000	www.sanfordfl.gov
Winter Springs	(407) 327-1800	www.winterspringsfl.org

Other Agencies:

Florida Dept of Transportation	FDOT	www.dot.state.fl.us
Florida Dept of Enviro Protection	FDEP	(407) 897-4100 www.dep.state.fl.us
St. Johns River Water Mgmt Dist	SJRWMD	(407) 659-4800 www.sjrwmd.com
Health Department	Septic	(407) 665-3621

Other Resources:

Flood Prone Areas	www.seminolecountyfl.gov/gm/building/flood/index.aspx
Watershed Atlas	www.seminole.wateratlas.usf.edu
Seminole Co. Property Appraiser	www.scpafl.org



SEMINOLE COUNTY, FLORIDA

Agenda Memorandum

COUNTY SERVICES
BUILDING
1101 EAST FIRST STREET
SANFORD, FLORIDA
32771-1468

File Number: 2024-1017

Title:

FOREST LAKE - PRE-APPLICATION

Project Number: 24-80000091

Project Description: Proposed Special Exception to extend an existing communication tower by 15 feet on 196.43 acres in the PD Zoning District located on the northeast corner of E. SR 436 and Bear Lake Rd

Project Manager: Kathy Hammel (407) 665-7389 (khammel@seminolecountyfl.gov)

Parcel ID: 08-21-29-300-0110-0000

BCC District: 3-Constantine

Applicant: Simone Johnson (407) 724-2626

Consultant: N/A



SEMINOLE COUNTY
PLANNING & DEVELOPMENT DIVISION
1101 EAST FIRST STREET, ROOM 2028
SANFORD, FLORIDA 32771
(407) 665-7371 EPLANDESK@SEMINOLECOUNTYFL.GOV

PROJ. #: 24-80000091

Received: 6/28/24

Paid: 7/2/24

PRE-APPLICATION

INCOMPLETE APPLICATIONS WILL NOT BE ACCEPTED

APPLICATION FEE

☒ **PRE-APPLICATION** \$50.00

PROJECT

PROJECT NAME: FOREST LAKE FL 2 | 16493925

PARCEL ID #(S): 08-21-29-300-0110-0000

TOTAL ACREAGE: 196.43

BCC DISTRICT: 3: Zembower

ZONING: PD

FUTURE LAND USE: ~~COMMUNICATION TOWER~~ PD

APPLICANT

NAME: SIMONE JOHNSON

COMPANY: AMERICAN TOWER CORPORATION

ADDRESS: 10 PRESIDENTIAL WAY

CITY: WOBURN

STATE: MI

ZIP: 01801

PHONE: (407) 724-2626

EMAIL: SJOHNSON@TEPGROUP.NET

CONSULTANT

NAME:

COMPANY:

ADDRESS:

CITY:

STATE:

ZIP:

PHONE:

EMAIL:

PROPOSED DEVELOPMENT (CHECK ALL THAT APPLY)

☐ **SUBDIVISION** ☐ **LAND USE AMENDMENT** ☐ **REZONE** ☐ **SITE PLAN** ☒ **SPECIAL EXCEPTION**

Description of proposed development: 15' EXTENSION ON A TOWER

STAFF USE ONLY

COMMENTS DUE: 7/12

COM DOC DUE: 7/18

DRC MEETING: 7/24

☐ PROPERTY APPRAISER SHEET ☐ PRIOR REVIEWS:

ZONING: PD

FLU: PD

LOCATION:
on the south side of Sand Lake Rd,
east of Hunt Club Blvd

W/S: Sunshine Water

BCC: 3: Zembower

Agenda: 7/19



CHARLOTTE OFFICE
10700 SIKES PLACE, SUITE 360
CHARLOTTE, NC 28277
980.202.5553
WWW.TEPGROUP.NET

Date:06/26/2024

Detailed Narrative

Project Summary: Extending Communication Tower by 15 Feet

Overview: The project involves extending an existing communication tower by 15 feet to enhance signal coverage and accommodate additional equipment. This expansion aims to meet growing communication demands and improve service reliability.

Objectives:

1. **Enhanced Coverage:** Increase tower height to elevate antennas for improved signal propagation.
2. **Capacity Expansion:** Provide space for new equipment to support advanced communication technologies.
3. **Structural Integrity:** Ensure the tower's structural stability and safety standards are met throughout the extension process.

Safety and Environmental Considerations: Adhere to strict safety protocols and environmental regulations to minimize risks and ecological impact during construction and operation.

Conclusion: The project aims to deliver a robust solution that enhances communication capabilities while ensuring safety, quality, and compliance with regulatory standards.

Thank you,

Simone Johnson | Permit Specialist
(407) 724-2626



AMERICAN TOWER®
CORPORATION

LETTER OF AUTHORIZATION FOR PERMITTING

ATC SITE#/NAME/PROJECT: 302623 / Forest Lake FL 2 / 14752529

SITE ADDRESS: 500 Education Loop, Apopka, FL 32703-6176

APN: 08-21-29-300-0110-0000

LICENSEE: Verizon Wireless d/b/a Verizon Wireless Personal Communications LP

SITE ACQUISITION VENDOR: TEP OPCO LLC

I, Margaret Robinson, Vice President, UST Legal for American Tower*, owner of the tower facility located at the address identified above (the "Tower Facility"), do hereby authorize Verizon Wireless d/b/a Verizon Wireless Personal Communications LP, TEP OPCO LLC, their successors and assigns, and/or their agent, (collectively, the "Licensee") to act as American Tower's non-exclusive agent for the sole purpose of filing and consummating any land-use, building, or electrical permit application(s) as may be required by the applicable permitting authorities for Licensee's telecommunications' installation on the Tower Facility.

I understand that these applications may be approved with conditions. The above authorization is limited to the acceptance by Licensee only of conditions related to Licensee's installation and any such conditions of approval or modifications will be Licensee's sole responsibility.

Signature: _____

Margaret Robinson, Vice President, UST Legal
US Tower Division

NOTARY BLOCK

COMMONWEALTH OF MASSACHUSETTS

County of Middlesex

This instrument was acknowledged before me by Margaret Robinson, Vice President, UST Legal for American Tower* (Tower Facility owner and/or operator), personally known to me (or proved to me based on satisfactory evidence) to be the person whose name is subscribed to the within instrument and acknowledged to me that he/she executed the same.

WITNESS my hand and official seal, this 29th day of May 2024.

NOTARY SEAL

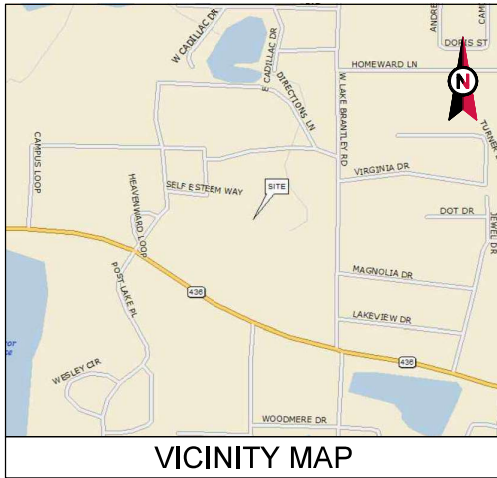


GERARD T. HEFFRON
Notary Public
Commonwealth of Massachusetts
My Commission Expires
August 9, 2024

Notary Public

My Commission Expires: August 9th, 2024

* American Tower is defined as American Tower Corporation and any of its affiliates or subsidiaries.



VICINITY MAP



ATC SITE NAME: FOREST LAKE FL 2
ATC SITE NUMBER: 302623
VERIZON WIRELESS SITE NAME: FL ATC
FOREST LAKE
VERIZON WIRELESS SITE NUMBER: 171540
VERIZON WIRELESS FUZE PID: 16493925
VERIZON WIRELESS MDG LOCATION CODE:
5000301346
SITE ADDRESS: 631 SELF ESTEEM WAY
ALTAMONTE SPRINGS, FL 32714-2736



LOCATION MAP

VERIZON WIRELESS ANTENNA AMENDMENT DRAWINGS

COMPLIANCE CODE	PROJECT SUMMARY	PROJECT DESCRIPTION	SHEET INDEX				
<p>ALL WORK SHALL BE PERFORMED AND MATERIALS INSTALLED IN ACCORDANCE WITH THE CURRENT EDITIONS OF THE FOLLOWING CODES AS ADOPTED BY THE LOCAL GOVERNMENT AUTHORITIES. NOTHING IN THESE PLANS IS TO BE CONSTRUED TO PERMIT WORK NOT CONFORMING TO THESE CODES.</p> <p>1. 2023 FLORIDA BUILDING CODE, 8TH EDITION 2. ANSI/TIA-222-H 3. 8TH EDITION FLORIDA FIRE PREVENTION CODE 4. 2020 NATIONAL ELECTRICAL CODE (NFPA 70) 5. CITY/COUNTY ORDINANCES</p> <p>DESIGN CRITERIA FOR STRUCTURAL ANALYSIS BY ATC DATED APRIL 16, 2024:</p> <p>ULTIMATE WIND SPEED: 135 MPH (3-SECOND GUST) SERVICE WIND SPEED: 60 MPH RISK CATEGORY: II EXPOSURE CATEGORY: B TOPOGRAPHIC CATEGORY: 1</p>	<p><u>SITE ADDRESS:</u> 631 SELF ESTEEM WAY ALTAMONTE SPRINGS, FL 32714-2736 COUNTY: SEMINOLE <u>REGISTERED COORDINATES:</u> LATITUDE: 28° 40' 10.55 N NAD 83 LONGITUDE: 81° 26' 0.44 W GROUND ELEVATION: 60' AMSL <u>GEOGRAPHIC COORDINATES:</u> LATITUDE: 28.669639 LONGITUDE: -81.4334 <u>ZONING INFORMATION:</u> JURISDICTION: SEMINOLE COUNTY PARCEL ID: 08212930001100000</p>	<p>VERIZON WIRELESS IS PROPOSING THE FOLLOWING WORK TO BE COMPLETED ON AN EXISTING 135' MONOPOLE W/ 15' EXTENSION TOWER:</p> <p><u>TOWER WORK:</u> REMOVE (1) CONCEALMENT CANISTER(S), (1) MAST(S), (3) ANTENNA(S), (3) RRU(S), (3) DIPLEXER(S), AND (1) OVP(S).</p> <p>INSTALL 15' TOWER EXTENSION(S), (1) PLATFORM MOUNT(S), (5) ANTENNA(S), (9) RRU(S), (1) OVP(S), AND (1) 6x12 HYBRIFLEX (1-1/4" HYBRIFLEX) CABLE(S).</p> <p>EXISTING (1) 6x12 HYBRIFLEX (1-1/4" HYBRIFLEX) CABLE(S), AND (12) 1-5/8" COAX CABLE(S) TO REMAIN.</p> <p><u>GROUND WORK:</u> REMOVE (9) RRU(S) AND (3) COMBINER(S).</p>	<p>SHEET NO:</p> <p>G-001</p> <p>G-002</p> <p>C-001</p> <p>C-101</p> <p>C-102</p> <p>C-201</p> <p>C-401</p> <p>C-501</p> <p>E-501</p> <p>R-601 - R-603</p>	<p>DESCRIPTION:</p> <p>TITLE SHEET</p> <p>GENERAL NOTES</p> <p>OVERALL SITE PLAN</p> <p>DETAILED SITE PLAN</p> <p>DETAILED EQUIPMENT LAYOUT</p> <p>TOWER ELEVATION</p> <p>ANTENNA INFORMATION & SCHEDULE</p> <p>CONSTRUCTION DETAILS</p> <p>GROUNDING DETAILS</p> <p>SUPPLEMENTAL</p> <p>TOWER EXTENSION DRAWINGS</p>	<p>REV:</p> <p>0</p> <p>0</p> <p>0</p> <p>0</p> <p>0</p> <p>0</p> <p>0</p> <p>0</p> <p>0</p>	<p>DATE:</p> <p>06/06/24</p> <p>06/06/24</p> <p>06/06/24</p> <p>06/06/24</p> <p>06/06/24</p> <p>06/06/24</p> <p>06/06/24</p> <p>06/06/24</p> <p>06/06/24</p>	<p>BY:</p> <p>KAG</p> <p>KAG</p> <p>KAG</p> <p>KAG</p> <p>KAG</p> <p>KAG</p> <p>KAG</p> <p>KAG</p> <p>KAG</p>
	<p><u>PROJECT TEAM</u></p> <p><u>TOWER OWNER:</u> AMERICAN TOWER 10 PRESIDENTIAL WAY WOBURN, MA 01801</p> <p><u>ENGINEER:</u> TOWER ENGINEERING PROFESSIONALS 326 TRYON ROAD RALEIGH, NC 27603</p> <p><u>APPLICANT:</u> VERIZON WIRELESS</p> <p><u>PROPERTY OWNER:</u> FLA CONFERENCE ASSN OF SEVENTH 351 S STATE RD 434 ALTAMONTE SPG, FL 32714</p>		<p><u>PROJECT NOTES</u></p> <p>1. THE FACILITY IS UNMANNED. 2. A TECHNICIAN WILL VISIT THE SITE APPROXIMATELY ONCE A MONTH FOR ROUTINE INSPECTION AND MAINTENANCE. 3. THE PROJECT WILL NOT RESULT IN ANY SIGNIFICANT LAND DISTURBANCE OR EFFECT OF STORM WATER DRAINAGE. 4. NO SANITARY SEWER, POTABLE WATER OR TRASH DISPOSAL IS REQUIRED. 5. HANDICAP ACCESS IS NOT REQUIRED. 6. THE PROJECT DEPICTED IN THESE PLANS QUALIFIES AS AN ELIGIBLE FACILITIES REQUEST ENTITLED TO EXPEDITED REVIEW UNDER 47 U.S.C. § 1455(A) AS A MODIFICATION OF AN EXISTING WIRELESS TOWER THAT INVOLVES THE COLLOCATION, REMOVAL, AND/OR REPLACEMENT OF TRANSMISSION EQUIPMENT THAT IS NOT A SUBSTANTIAL CHANGE UNDER CFR § 1.81000 (B)(7).</p>	<p><u>CONTRACTOR PMI REQUIREMENTS</u></p> <p>PMI ACCESSED AT: HTTPS://PMI.VZWSMART.COM</p> <p>SMART TOOL VENDOR PROJECT NUMBER: 10224432</p> <p>VZW LOCATION CODE (PSLC): 171540</p> <p>***PMI AND REQUIREMENTS ALSO EMBEDDED IN MOUNT ANALYSIS REPORT</p> <p>MOUNT MODIFICATION REQUIRED: YES (HARDWARE UPGRADES)</p> <p>VZW APPROVED SMART KIT VENDORS: REFER TO MOUNT MODIFICATION DRAWINGS PAGES FOR VZW SMART KIT APPROVED VENDORS</p>			
	<p><u>UTILITY COMPANIES</u></p> <p>POWER COMPANY: DUKE ENERGY PHONE: (877) 372-8477</p> <p>TELEPHONE COMPANY: CENTURYLINK PHONE: (800) 244-1111</p>	<p><u>PROJECT LOCATION DIRECTIONS</u></p> <p>FROM I-4, EXIT 48, TAKE SR. 436 WEST PAST SR.434 TO FOREST LAKE ACADEMY. TURN RIGHT AND GO THROUGH GATES TO FIRST RIGHT. TRAVEL ALONG TO JUST PAST FIRST MAINTENANCE BUILDING AND TURN RIGHT BETWEEN BUILDINGS, TAKE DRIVE TO SITE.</p>					
	<p>Always call 811 two full business days before you dig</p> <p>Sunshine811.com</p> <p>www.sunshine811.com</p>						

TITLE SHEET	
SHEET NUMBER:	REVISION:
G-001	0

FL CO# 31011
ATC SITE NUMBER: 302623
ATC SITE NAME: FOREST LAKE FL 2
VERIZON WIRELESS SITE NAME: FL ATC FOREST LAKE
SITE ADDRESS: 631 SELF ESTEEM WAY
ALTAMONTE SPRINGS, FL 32714-2736

REV.	DESCRIPTION	BY	DATE
△	PRELIMINARY	SAS	05/30/24
△	100% CONSTRUCTION	KAG	06/06/24
△			
△			

DIGITAL/ELECTRONIC SEAL:
THIS ITEM HAS BEEN DIGITALLY SIGNED AND SEALED BY JOSHUA H. CARDEN, P.E. ON THE DATE ADJACENT TO THE SEAL.

PRINTED COPIES OF THIS DOCUMENT ARE NOT CONSIDERED SIGNED AND SEALED AND THE SIGNATURE MUST BE VERIFIED ON ANY ELECTRONIC COPIES.

SEAL:

JOSHUA H. CARDEN
LICENSE
No 83511
PROFESSIONAL ENGINEER
06/06/24

DATE DRAWN: 06/06/24
ATC JOB NO: 14752529
CUSTOMER NAME: FL ATC FOREST LAKE
CUSTOMER ID: 171540

GENERAL CONSTRUCTION NOTES:

1. OWNER FURNISHED MATERIALS, VERIZON WIRELESS THE COMPANY WILL PROVIDE AND THE CONTRACTOR WILL INSTALL.
- A. BTS EQUIPMENT FRAME (PLATFORM) AND ICEBRIDGE SHELTER (GROUND BUILDING LOCATE ONLY)
- B. AC TELCO INTERFACE BOX (PO)
- C. ICE BRIDGE (CABLE TRAY WITH COVER) (GROUND BUILDING LOCATE ONLY, GO TO FURNISH AND INSTALL FOR ROOFTOP INSTALLATION)
- D. TOWERS, MONOPOLES
- E. TOWER LIGHTING
- F. GENERATORS & LIQUID PROPANE TANK
- G. ANTENNA STANDARD BRACKETS, FRAMES AND PIPES FOR MOUNTING
- H. ANTENNAS (INSTALLED BY OTHERS)
- I. TRANSMISSION LINE
- J. TRANSMISSION LINE JUMPEES
- K. TRANSMISSION LINE CONNECTORS WITH WEATHERPROOFING KITS
- L. TRANSMISSION LINE GROUND KITS
- M. HANGERS
- N. HOISTING GRIPS
- O. BTS EQUIPMENT
2. THE CONTRACTOR IS RESPONSIBLE TO PROVIDE ALL OTHER MATERIALS FOR THE COMPLETE INSTALLATION OF THE SITE INCLUDING, BUT NOT LIMITED TO, SUCH MATERIALS AS FENCING, STRUCTURAL STEEL SUPPORTING SUBFRAME FOR PLATFORM, ROOFING LABOR AND MATERIALS, GROUNDING RINGS, GROUNDING WIRES, CORROSION OR CHEMICAL (GROUND RODS), BUSS BARS, TRANSFORMERS AND DISCONNECT SWITCHES WHERE APPLICABLE, TEMPORARY ELECTRICAL POWER, CONDUIT, LANDSCAPING COMPOUND STONE, CRANES, CORE DRILLING, SLEEPERS AND RUBBER MATTING, REBAR, CONCRETE CASSIONS, PADS AND/OR AUGER MOUNTS, MISCELLANEOUS FASTENERS, CABLE TRAYS, NON-STANDARD ANTENNA FRAMES AND ALL OTHER MATERIAL AND LABOR REQUIRED TO COMPLETE THE JOB ACCORDING TO THE DRAWINGS AND SPECIFICATIONS. IT IS THE POSITION OF VERIZON WIRELESS TO APPLY FOR PERMITTING AND CONTRACTOR RESPONSIBLE FOR PICKUP AND PAYMENT OF REQUIRED PERMITS.
3. ALL WORK SHALL CONFORM TO ALL CURRENT APPLICABLE FEDERAL, STATE, AND LOCAL CODES, INCLUDING ASHRAE 90.22, AND COMPLY WITH ATC CONSTRUCTION SPECIFICATIONS.
4. CONTRACTOR SHALL CONTACT LOCAL 811 FOR IDENTIFICATION OF UNDERGROUND UTILITIES PRIOR TO START OF CONSTRUCTION.
5. CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING ALL REQUIRED INSPECTIONS.
6. ALL DIMENSIONS TO, OF, AND ON EXISTING BUILDINGS, DRAINAGE STRUCTURES, AND SITE IMPROVEMENTS SHALL BE VERIFIED IN FIELD BY CONTRACTOR WITH ALL DISCREPANCIES REPORTED TO THE ENGINEER.
7. DO NOT CHANGE SIZE OR SPACING OF STRUCTURAL ELEMENTS.
8. DETAILS SHOWN ARE TYPICAL, SIMILAR DETAILS APPLY TO SIMILAR CONDITIONS UNLESS OTHERWISE NOTED.
9. THESE DRAWINGS DO NOT INCLUDE NECESSARY COMPONENTS FOR CONSTRUCTION SAFETY WHICH SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR.
10. CONTRACTOR SHALL BRACE STRUCTURES UNTIL ALL STRUCTURAL ELEMENTS NEEDED FOR STABILITY ARE INSTALLED, THESE ELEMENTS ARE AS FOLLOWS: LATERAL BRACING, ANCHOR BOLTS, ETC.
11. CONTRACTOR SHALL DETERMINE EXACT LOCATION OF EXISTING UTILITIES, GROUNDS DRAINS, DRAIN PIPES, VENTS, ETC, BEFORE COMMENCING WORK.
12. INCORRECTLY FABRICATED, DAMAGED, OR OTHERWISE MISFITTING OR NONCONFORMING MATERIALS OR CONDITIONS SHALL BE REPORTED TO THE VERIZON WIRELESS REP PRIOR TO REMEDIAL OR CORRECTIVE ACTION. ANY SUCH REMEDIAL ACTION SHALL REQUIRE WRITTEN APPROVAL BY THE VERIZON WIRELESS REP PRIOR TO PROCEEDING.
13. EACH CONTRACTOR SHALL COOPERATE WITH THE VERIZON WIRELESS REP, AND COORDINATE HIS WORK WITH THE WORK OF OTHERS.
14. CONTRACTOR SHALL REPAIR ANY DAMAGE CAUSED BY CONSTRUCTION OF THIS PROJECT TO MATCH EXISTING PRE-CONSTRUCTION CONDITIONS TO THE SATISFACTION OF THE VERIZON WIRELESS CONSTRUCTION MANAGER.
15. ALL CABLE/CONDUIT ENTRY/EXIT PORTS SHALL BE WEATHERPROOFED DURING INSTALLATION USING A SILICONE SEALANT.
16. WHERE EXISTING CONDITIONS DO NOT MATCH THOSE SHOWN IN THIS PLAN SET, CONTRACTOR SHALL NOTIFY THE VERIZON WIRELESS REP AND ENGINEER OF RECORD IMMEDIATELY.
17. CONTRACTOR SHALL ENSURE ALL SUBCONTRACTORS ARE PROVIDED WITH A COMPLETE AND CURRENT SET OF DRAWINGS AND SPECIFICATIONS FOR THIS PROJECT.
18. CONTRACTOR SHALL REMOVE ALL RUBBISH AND DEBRIS FROM THE SITE AT THE END OF EACH DAY.
19. CONTRACTOR SHALL COORDINATE WORK SCHEDULE WITH AMERICAN TOWER CORPORATION (ATC) AND TAKE PRECAUTIONS TO MINIMIZE IMPACT AND DISRUPTION OF OTHER OCCUPANTS OF THE FACILITY.
20. CONTRACTOR SHALL FURNISH VERIZON WIRELESS AND AMERICAN TOWER CORPORATION (ATC) WITH A PDF MARKED UP AS-BUILT SET OF DRAWINGS UPON COMPLETION OF WORK.
21. PRIOR TO SUBMISSION OF BID, CONTRACTOR SHALL COORDINATE WITH VERIZON WIRELESS REP TO DETERMINE WHAT, IF ANY, ITEMS WILL BE PROVIDED. ALL ITEMS NOT PROVIDED SHALL BE PROVIDED AND INSTALLED BY THE CONTRACTOR. CONTRACTOR WILL

INSTALL ALL ITEMS PROVIDED.

22. PRIOR TO SUBMISSION OF BID, CONTRACTOR SHALL COORDINATE WITH VERIZON WIRELESS REP TO DETERMINE WHAT, IF ANY, PERMITS WILL BE OBTAINED BY CONTRACTOR, ALL REQUIRED PERMITS NOT OBTAINED BY VERIZON WIRELESS MUST BE OBTAINED, AND PAID FOR, BY THE CONTRACTOR.
23. CONTRACTOR SHALL INSTALL ALL SITE SIGNAGE IN ACCORDANCE WITH VERIZON WIRELESS SPECIFICATIONS AND REQUIREMENTS.
24. CONTRACTOR SHALL SUBMIT ALL SHOP DRAWINGS TO VERIZON WIRELESS FOR REVIEW AND APPROVAL PRIOR TO FABRICATION.
25. ALL EQUIPMENT SHALL BE INSTALLED ACCORDING TO MANUFACTURER'S SPECIFICATIONS AND LOCATED ACCORDING TO VERIZON WIRELESS SPECIFICATIONS, AND AS SHOWN IN THESE PLANS.
26. THE CONTRACTOR SHALL SUPERVISE AND DIRECT THE PROJECT DESCRIBED HEREIN. THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR ALL THE CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES AND PROCEDURES AND FOR COORDINATING ALL PORTIONS OF THE WORK UNDER THE CONTRACT.
27. CONTRACTOR SHALL NOTIFY VERIZON WIRELESS REP A MINIMUM OF 48 HOURS IN ADVANCE OF POURING CONCRETE OR BACKFILLING ANY UNDERGROUND UTILITIES, FOUNDATIONS OR SEALING ANY WALL, FLOOR OR ROOF PENETRATIONS FOR ENGINEERING REVIEW AND APPROVAL.
28. WHEN THE PROJECT SCOPE REQUIRES THE USE OF THE SAFETY CLIMB, THE GENERAL CONTRACTOR SHALL ENSURE THE SAFETY CLIMB IS FREE OF OBSTRUCTIONS, NOT RUBBING ON OR TRAPPED BY ANY INSTALLED CUSTOMER EQUIPMENT. IT VISUALLY TAUT, MEETS MANUFACTURER INSTALLATION SPECIFICATIONS, AND IS FIRMLY SECURED AT ALL CABLE GUIDE LOCATIONS UPON PROJECT COMPLETION.
29. COMPLETION OF PROJECT SHALL NOT OBSTRUCT, TRAP, LOOSEN, OR OTHERWISE CAUSE FAILURE TO MEET MANUFACTURER INSTALLATION REQUIREMENTS FOR THE SAFETY CLIMB.
30. CONTRACTOR SHALL BE RESPONSIBLE FOR SITE SAFETY INCLUDING COMPLIANCE WITH ALL APPLICABLE OSHA STANDARDS AND RECOMMENDATIONS AND SHALL PROVIDE ALL NECESSARY SAFETY DEVICES INCLUDING PPE AND PPM AND CONSTRUCTION DEVICES SUCH AS WELDING AND FIRE PREVENTION, TEMPORARY SHORING, SCAFFOLDING, TRENCH BOXES/DIGGING, BARRIERS, ETC.
31. THE CONTRACTOR SHALL PROTECT AT HIS OWN EXPENSE, ALL EXISTING FACILITIES AND SUCH OF HIS NEW WORK LIABLE TO INJURY DURING THE CONSTRUCTION PERIOD, ANY DAMAGE CAUSED BY NEGLIGENCE ON THE PART OF THE CONTRACTOR OR HIS REPRESENTATIVES, OR BY THE ELEMENTS DUE TO NEGLIGENCE ON THE PART OF THE CONTRACTOR OR HIS REPRESENTATIVES, EITHER TO THE EXISTING WORK, OR TO HIS WORK OR THE WORK OF ANY OTHER CONTRACTOR, SHALL BE REPAIRED AT HIS EXPENSE TO THE OWNER'S SATISFACTION.
32. ALL WORK SHALL BE INSTALLED IN A FIRST CLASS, NEAT AND WORKMANLIKE MANNER BY MECHANICS SKILLED IN THE TRADE INVOLVED. THE QUALITY OF WORKMANSHIP SHALL BE SUBJECT TO THE APPROVAL OF THE VERIZON WIRELESS REP. ANY WORK FOUND BY THE VERIZON WIRELESS REP TO BE OF INFERIOR QUALITY AND/OR WORKMANSHIP SHALL BE REPLACED AND/OR REWORKED AT CONTRACTOR EXPENSE UNTIL APPROVAL IS OBTAINED.
33. IN ORDER TO ESTABLISH STANDARDS OF QUALITY AND PERFORMANCE, ALL TYPES OF MATERIALS LISTED HEREINAFTER BY MANUFACTURER'S NAMES AND/OR MANUFACTURER'S CATALOG NUMBER SHALL BE PROVIDED BY THESE MANUFACTURERS AS SPECIFIED.
34. VERIZON WIRELESS FURNISHED EQUIPMENT SHALL BE PICKED UP AT THE VERIZON WIRELESS WAREHOUSE, NO LATER THAN 48HR AFTER BEING NOTIFIED INSURED, STORED, UNCRATE, PROTECTED AND INSTALLED BY THE CONTRACTOR WITH ALL APURTENANCES REQUIRED TO PLACE THE EQUIPMENT IN OPERATION, READY FOR USE, THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE EQUIPMENT AFTER PICKING IT UP.
35. VERIZON WIRELESS OR HIS ARCHITECT/ENGINEER RESERVES THE RIGHT TO REJECT ANY EQUIPMENT OR MATERIALS WHICH IN HIS OWN OPINION ARE NOT IN COMPLIANCE WITH THE CONTRACT DOCUMENTS, EITHER BEFORE OR AFTER INSTALLATION AND THE EQUIPMENT SHALL BE REPLACED WITH EQUIPMENT CONFORMING TO THE REQUIREMENTS OF THE CONTRACT DOCUMENTS BY THE CONTRACTOR AT NO COST TO VERIZON WIRELESS OR THEIR ARCHITECT/ENGINEER.

SPECIAL CONSTRUCTION

ANTENNA INSTALLATION NOTES:

1. WORK INCLUDED
- A. ANTENNA AND COAXIAL/HYBRID CABLES ARE FURNISHED BY VERIZON WIRELESS UNDER A SEPARATE CONTRACT, THE CONTRACTOR SHALL ASSIST ANTENNA INSTALLATION. CONTRACTOR IN TERMS OF COORDINATION AND SITE ACCESS, ERECTION SUBCONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF PERSONNEL.
- B. INSTALL ANTENNAS AS INDICATED ON DRAWINGS AND VERIZON WIRELESS SPECIFICATIONS.
- C. INSTALL GALVANIZED STEEL ANTENNA MOUNTS AS INDICATED ON DRAWINGS.
- D. INSTALL FURNISHED GALVANIZED STEEL OR ALUMINUM WAVEGUIDE.
- E. INSTALL COAXIAL/HYBRID CABLES AND TERMINATING BETWEEN ANTENNAS AND EQUIPMENT PER MANUFACTURER'S RECOMMENDATIONS, WEATHERPROOF ALL CONNECTIONS BETWEEN THE ANTENNA AND EQUIPMENT PER MANUFACTURER'S REQUIREMENTS. TERMINATE ALL COAXIAL/HYBRID CABLE THREE (3) FEET IN EXCESS OF ENTRY PORT LOCATION UNLESS OTHERWISE STATED.
2. ANTENNA AND COAXIAL/HYBRID CABLE GROUNDING
- A. ALL EXTERIOR #6 GREEN GROUND WIRE "DAISY CHAIN" CONNECTIONS ARE TO BE

WEATHER SEALED WITH RFS CONNECTORS/SPlice WEATHERPROOFING KIT #221213 OR EQUAL.

- B. ALL COAXIAL/HYBRID CABLE GROUNDING KITS ARE TO BE INSTALLED ON STRAIGHT RUNS OF COAXIAL/HYBRID CABLE (NOT WITHIN BENDS)

ALL DISCREPANCIES FROM WHAT IS SHOWN ON THESE CONSTRUCTION DRAWINGS SHALL BE COMMUNICATED TO ATC ENGINEERING IMMEDIATELY FOR CORRECTION OR RE-DESIGN. FAILURE TO COMMUNICATE DIRECTLY WITH ATC ENGINEERING OR ANY CHANGES FROM THE DESIGN CONDUCTED WITHOUT PRIOR APPROVAL FROM ATC ENGINEERING SHALL BE THE SOLE RESPONSIBILITY OF THE GENERAL CONTRACTOR.



328 TRYON ROAD
RALEIGH, NC 27603-3530
OFFICE: (919) 661-6351
www.atcgroupp.net

FL CO#A: 31011

ATC SITE NUMBER:
302623

ATC SITE NAME:
FOREST LAKE FL 2

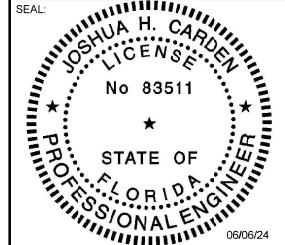
VERIZON WIRELESS SITE NAME:
FL ATC FOREST LAKE

SITE ADDRESS:
631 SELF ESTEEM WAY
ALTAMONTE SPRINGS, FL 32714-2736

REV.	DESCRIPTION	BY	DATE
△	PRELIMINARY	SAS	05/30/24
△	100% CONSTRUCTION	KAG	06/06/24
△			
△			

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verizon

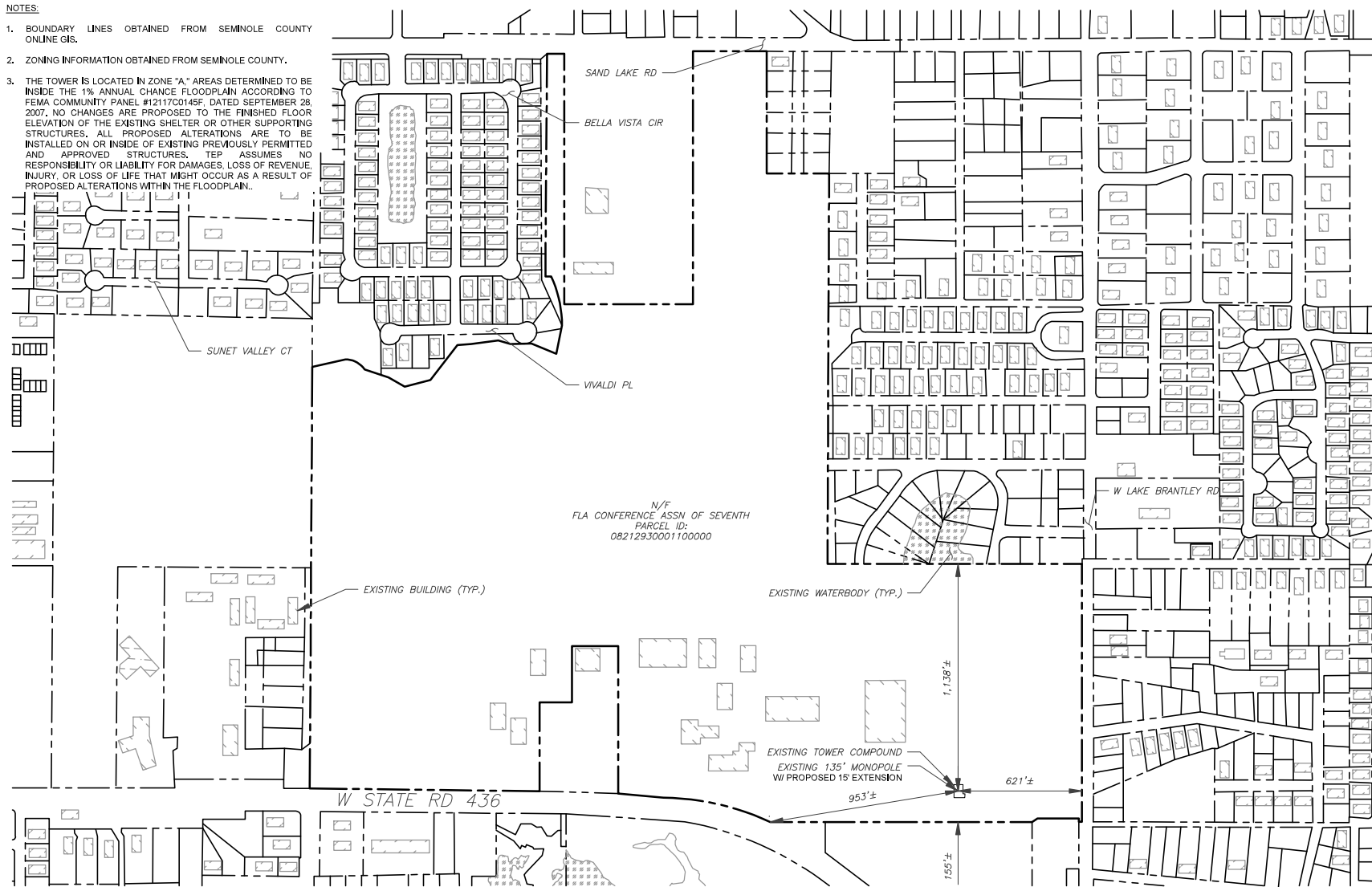
DATE DRAWN:	06/06/24
ATC JOB NO:	14752529
CUSTOMER NAME:	FL ATC FOREST LAKE
CUSTOMER ID:	171540

GENERAL NOTES

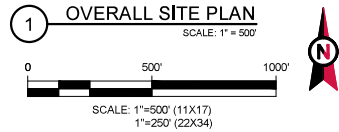
SHEET NUMBER: G-002	REVISION: 0
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NOTES:

1. BOUNDARY LINES OBTAINED FROM SEMINOLE COUNTY ONLINE GIS.
2. ZONING INFORMATION OBTAINED FROM SEMINOLE COUNTY.
3. THE TOWER IS LOCATED IN ZONE "A" AREAS DETERMINED TO BE INSIDE THE 1% ANNUAL CHANCE FLOODPLAIN ACCORDING TO FEMA COMMUNITY PANEL #1211700145F, DATED SEPTEMBER 28, 2007. NO CHANGES ARE PROPOSED TO THE FINISHED FLOOR ELEVATION OF THE EXISTING SHELTER OR OTHER SUPPORTING STRUCTURES. ALL PROPOSED ALTERATIONS ARE TO BE INSTALLED ON OR INSIDE OF EXISTING PREVIOUSLY PERMITTED AND APPROVED STRUCTURES. TEP ASSUMES NO RESPONSIBILITY OR LIABILITY FOR DAMAGES, LOSS OF REVENUE, INJURY, OR LOSS OF LIFE THAT MIGHT OCCUR AS A RESULT OF PROPOSED ALTERATIONS WITHIN THE FLOODPLAIN.



LEGEND	
	EXISTING PROPERTY LINE
	EXISTING ADJACENT PROPERTY LINE
	EXISTING LEASE AREA



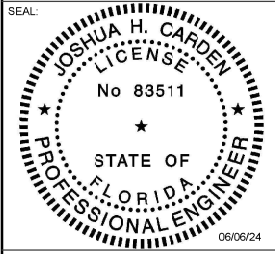
326 TRYON ROAD
RALEIGH, NC 27603-3530
OFFICE: (919) 661-6351
www.atgroup.net

FL CO# 31011
ATC SITE NUMBER:
302623
ATC SITE NAME:
FOREST LAKE FL 2
VERIZON WIRELESS SITE NAME:
FL ATC FOREST LAKE
SITE ADDRESS:
631 SELF ESTEEM WAY
ALTAMONTE SPRINGS, FL 32714-2736

REV.	DESCRIPTION	BY	DATE
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DATE DRAWN:	06/06/24
ATC JOB NO:	14752529
CUSTOMER NAME:	FL ATC FOREST LAKE
CUSTOMER ID:	171540

OVERALL SITE PLAN

SHEET NUMBER:	REVISION:
C-001	0

SITE PLAN NOTES:

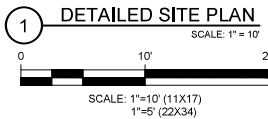
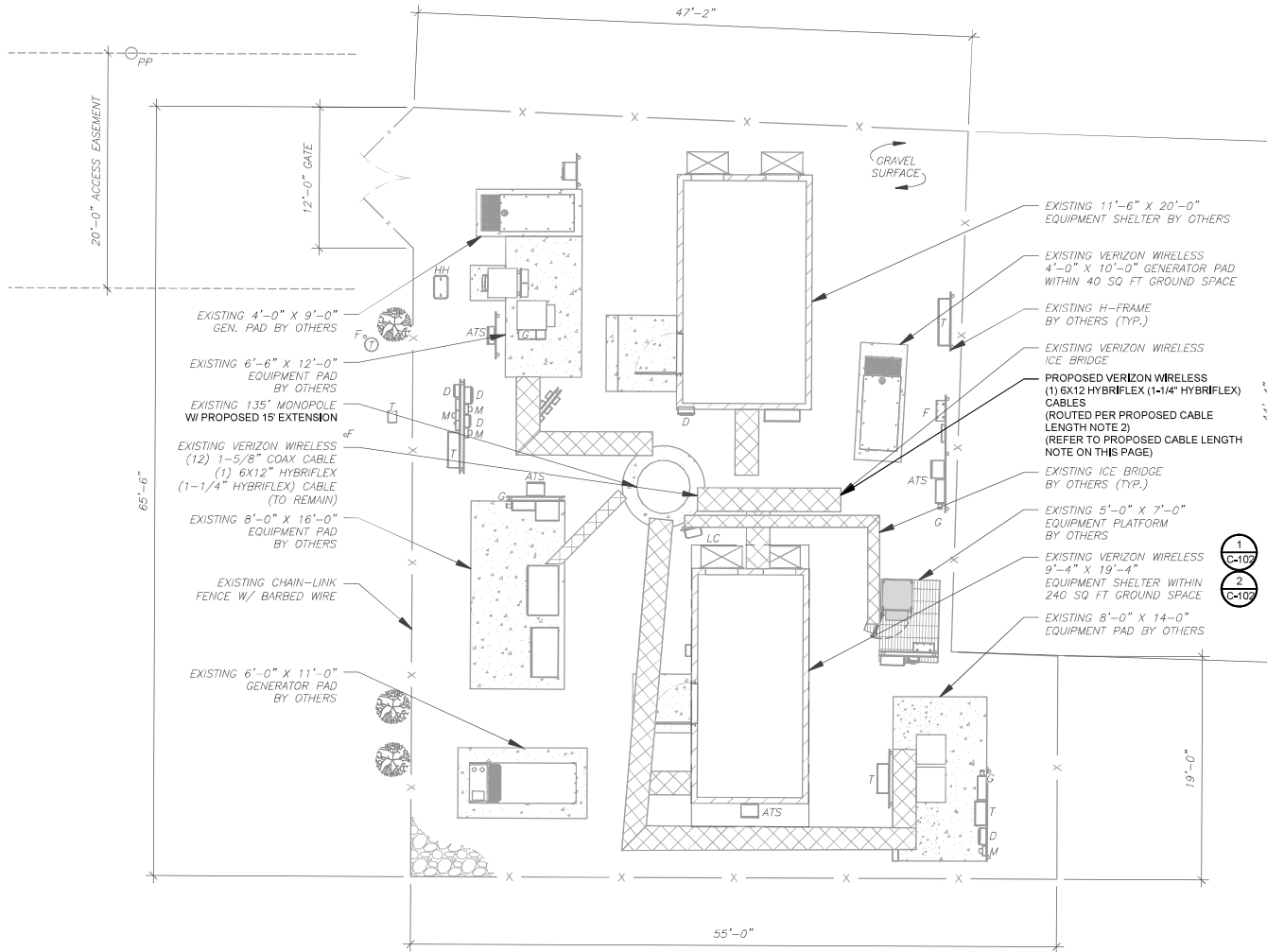
- THIS SITE PLAN REPRESENTS THE BEST PRESENT KNOWLEDGE AVAILABLE TO THE ENGINEER AT THE TIME OF THIS DESIGN. THE CONTRACTOR SHALL VISIT THE SITE PRIOR TO CONSTRUCTION AND VERIFY ALL EXISTING CONDITIONS RELATED TO THE SCOPE OF WORK FOR THIS PROJECT.
- ICE BRIDGE, CABLE LADDER, COAX PORT, AND COAX CABLE ARE SHOWN FOR REFERENCE ONLY. CONTRACTOR SHALL CONFIRM THE EXACT LOCATION OF ALL PROPOSED AND EXISTING EQUIPMENT AND STRUCTURES DEPICTED ON THIS PLAN. BEFORE UTILIZING EXISTING CABLE SUPPORTS, COAX PORTS, INSTALLING NEW PORTS OR ANY OTHER EQUIPMENT, CONTRACTOR SHALL VERIFY ALL ASPECTS OF THE COMPONENTS MEET THE ATC SPECIFICATIONS.
- THIS CONSTRUCTION DRAWING SET IS NOT INTENDED TO ADDRESS ANY ELECTRICAL UPGRADES NEEDED. ANY ELECTRICAL UPGRADES WILL BE SHOWN IN A SEPARATE CONSTRUCTION DRAWING SET.

LEGEND

⊗	GROUNDING TEST WELL
ATS	AUTOMATIC TRANSFER SWITCH
B	BOLLARD
CSC	CELL SITE CABINET
D	DISCONNECT
E	ELECTRICAL
F	FIBER
GEN	GENERATOR
G	GENERATOR RECEPTACLE
HH, V	HAND HOLE, VAULT
IB	ICE BRIDGE
K	KENTROX BOX
LC	LIGHTING CONTROL
M	METER
PB	PULL BOX
PP	POWER POLE
T	TELCO
TRN	TRANSFORMER
— x —	CHAINLINK FENCE

PROPOSED CABLE NOTES:

- ESTIMATED LENGTH OF PROPOSED CABLE IS 200'. ESTIMATED LENGTH OF CABLE WAS PROVIDED BY CUSTOMER OR CALCULATED BY ADDING THE RAD CENTER AND THE DISTANCE FROM THE SHELTER ENTRY PLATE TO THE TOWER (ALONG THE ICE BRIDGE) AND A SAFETY FACTOR MEASUREMENT OF 15% (OF THE TWO PREVIOUS VALUES). CDS DEFER TO GREATEST CABLE LENGTH.
- ROUTE PROPOSED CABLES ALONG SAME PATH AS EXISTING CABLES AND IN ACCORDANCE WITH STRUCTURAL ANALYSIS. IF ADEQUATE SPACE EXISTS, ROUTE CABLES THROUGH ENTRY PORT HOLE, UP INSIDE OF MONOPOLE, AND THROUGH EXIT PORT HOLE, IF ROUTING OUTSIDE THE MONOPOLE, ATTACH CABLES USING STAND-OFF ADAPTERS MOUNTED TO TOWER USING STAINLESS STEEL BANDING, ADEQUATELY SECURE CABLES USING EITHER APPROPRIATELY SIZED STAINLESS STEEL SNAP-INS OR MOUNTING HARDWARE AND BRACKETS AS SPECIFIED BY CABLE MANUFACTURER.



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FL CO# 31011

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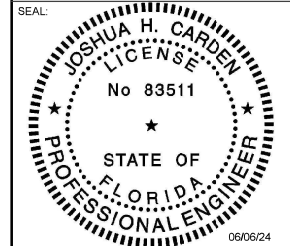
ATC SITE NAME:
FOREST LAKE FL 2
VERIZON WIRELESS SITE NAME:
FL ATC FOREST LAKE

SITE ADDRESS:
631 SELF ESTEEM WAY
ALTAMONTE SPRINGS, FL 32714-2736

REV.	DESCRIPTION	BY	DATE
1	PRELIMINARY	SAS	05/30/24
2	100% CONSTRUCTION	KAG	06/06/24
3			
4			

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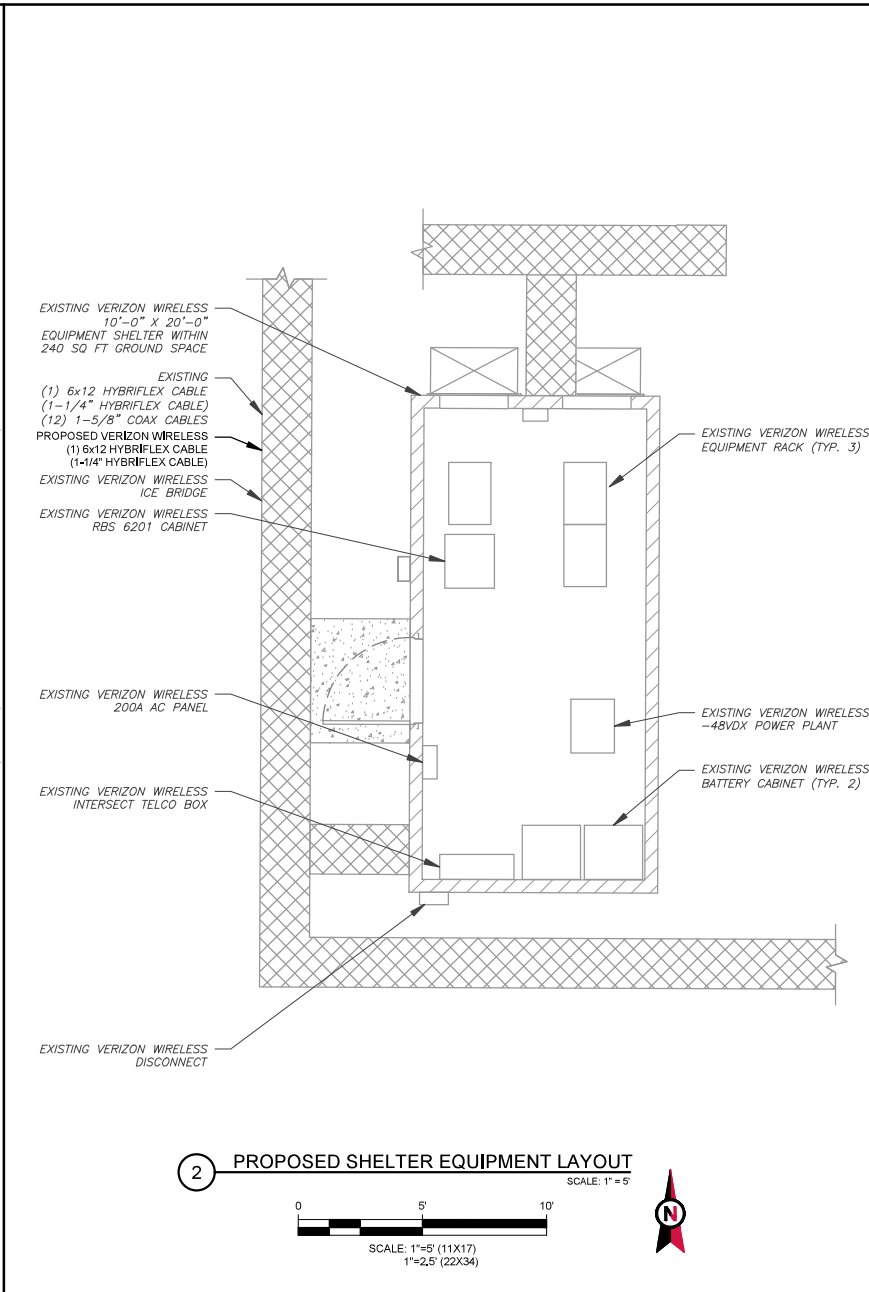
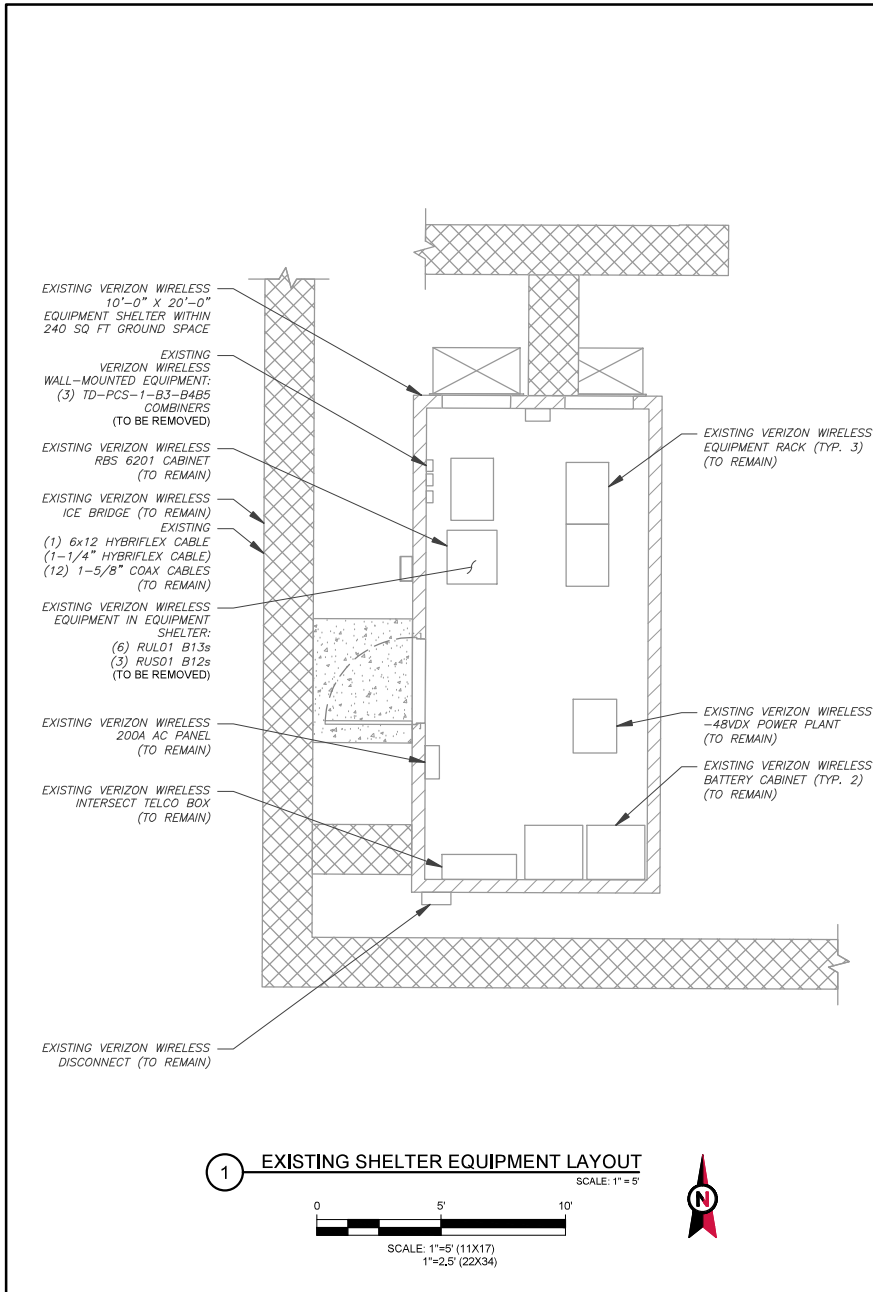
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DATE DRAWN:	06/06/24
ATC JOB NO:	14752529
CUSTOMER NAME:	FL ATC FOREST LAKE
CUSTOMER ID:	171540

DETAILED SITE PLAN

SHEET NUMBER:	REVISION:
C-101	0





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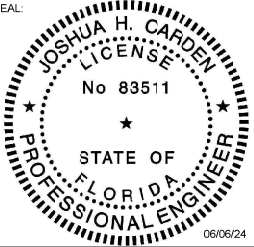
FL COA# 31011
ATC SITE NUMBER:
302623
ATC SITE NAME:
FOREST LAKE FL 2
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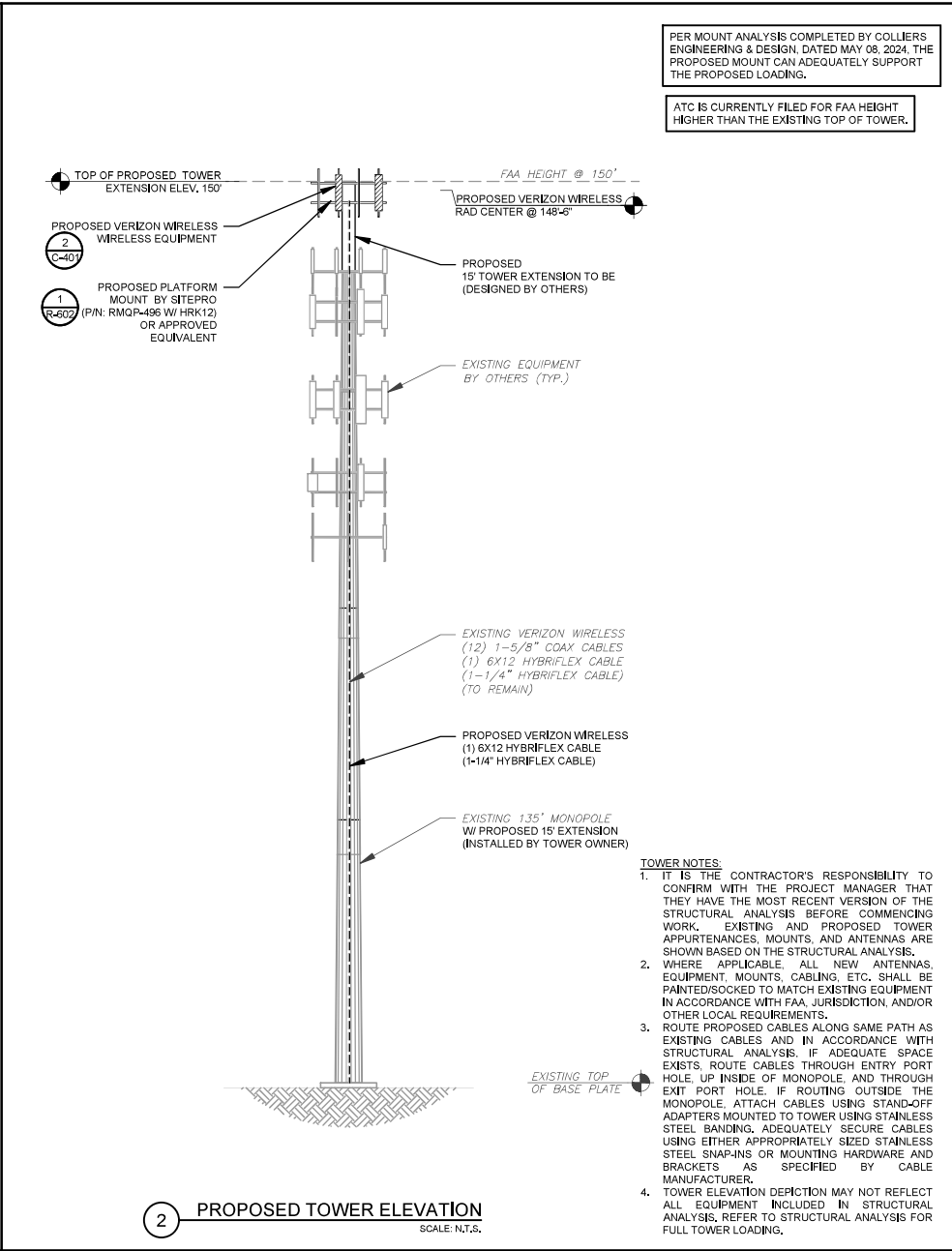
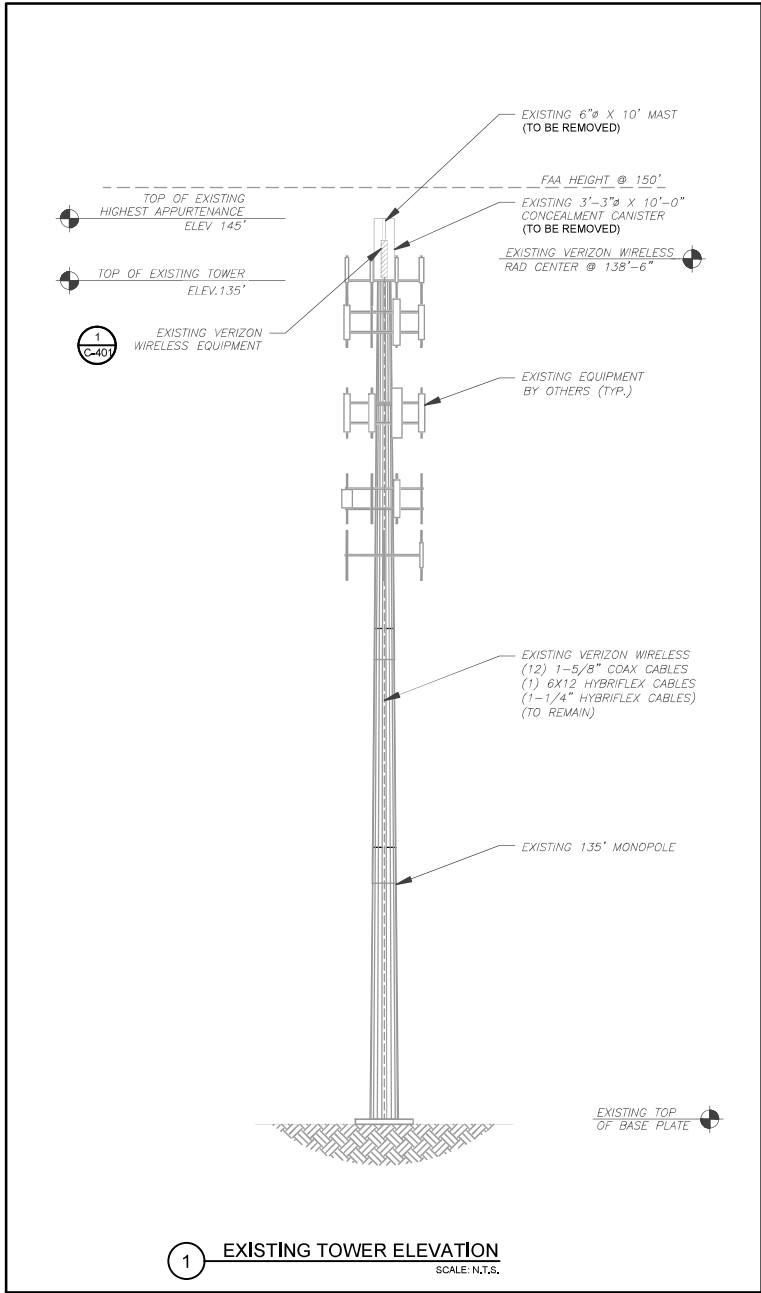




DATE DRAWN:	06/06/24
ATC JOB NO:	14752529
CUSTOMER NAME:	FL ATC FOREST LAKE
CUSTOMER ID:	171540


DETAILED EQUIPMENT LAYOUT

SHEET NUMBER:	REVISION:
C-102	0



PER MOUNT ANALYSIS COMPLETED BY COLLIER'S ENGINEERING & DESIGN, DATED MAY 08, 2024, THE PROPOSED MOUNT CAN ADEQUATELY SUPPORT THE PROPOSED LOADING.

ATC IS CURRENTLY FILED FOR FAA HEIGHT HIGHER THAN THE EXISTING TOP OF TOWER.



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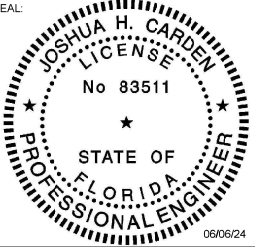
FL CO# 31011
ATC SITE NUMBER:
302623
ATC SITE NAME:
FOREST LAKE FL 2
VERIZON WIRELESS SITE NAME:
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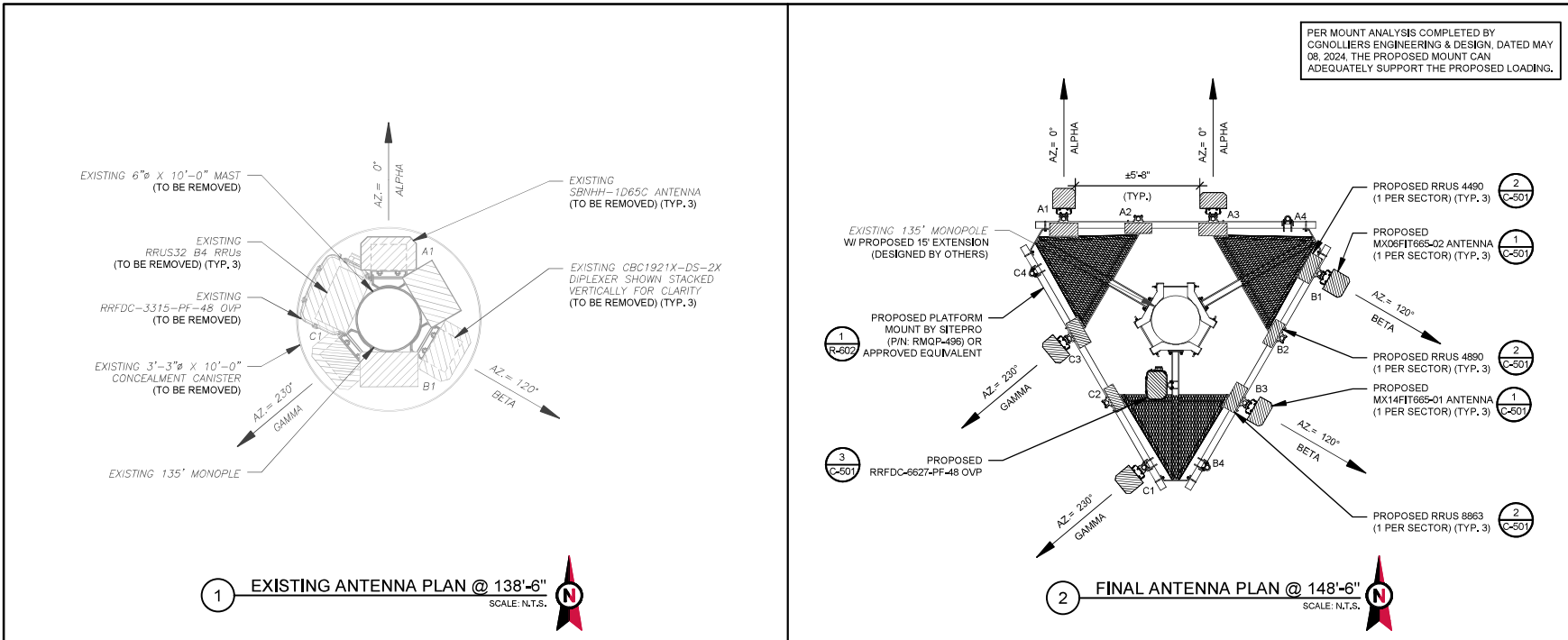




DATE DRAWN:	06/06/24
ATC JOB NO:	14752529
CUSTOMER NAME:	FL ATC FOREST LAKE
CUSTOMER ID:	171540

TOWER ELEVATION

SHEET NUMBER:	REVISION:
C-201	0



EXISTING ANTENNA SCHEDULE								
LOCATION			ANTENNA SUMMARY				NON ANTENNA SUMMARY	
SECTOR	RAD	AZ	POS	ANTENNA	BAND	MECH/ ELEC D-TILT	STATUS	ADDITIONAL TOWER MOUNTED EQUIPMENT
ALPHA	138'-6"	0°	A1	SBNHH-1D65B	LTE 700/LTE 1900/ LTS AWS	-	RMV	(1) CBC1921X-DS-2X (1) RRUS32 B4 RRU
BETA	138'-6"	120°	B1	SBNHH-1D65B	LTE 700/LTS 1900/ LTS AWS	-	RMV	(1) CBC1921X-DS-2X (1) RRUS32 B4 RRU
GAMMA	138'-6"	230°	C1	SBNHH-1D65B	LTE 700/LTS 1900/ LTS AWS	-	RMV	(1) CBC1921X-DS-2X (1) RRUS32 B4 RRU

* - SEE RFDS FOR VALUES

- NOTES**
1. CONFIRM WITH VERIZON WIRELESS REP FOR APPLICABLE UPDATES/REVISIONS AND MOST RECENT RFDS FOR NSN CONFIGURATION (CONFIG), GC TO CAP ALL UNUSED PORTS.
 2. CONFIRM SPACING OF PROPOSED EQUIP DOES NOT CAUSE TOWER CONFLICTS NOR IMPEDE TOWER CLIMBING PEGS.
 3. TEP DID NOT VERIFY THE EXISTING LOADING. LOADING DATA PROVIDED BY ATC AND VERIZON.

STATUS ABBREVIATIONS

RMV: TO BE REMOVED
REL: TO BE RELOCATED
ADD: TO BE ADDED

CABLE LENGTHS FOR JUMPERS

JUNCTION BOX TO RRU: 15'
RRU TO ANTENNA: 10'

FINAL ANTENNA SCHEDULE								
LOCATION			ANTENNA SUMMARY				NON ANTENNA SUMMARY	
SECTOR	RAD	AZ	POS	ANTENNA	BAND	MECH/ ELEC D-TILT	STATUS	ADDITIONAL TOWER MOUNTED EQUIPMENT
ALPHA	148'-6"	0°	A1	MX06FT665-02	LTE 700/LTE 1900/ 5G 1900/	-	ADD	(1) RRUS 4490
			A2	-	-	-	-	(1) RRUS 4890
			A3	MX14FT665-01	LTE 700/LTE 1900/5G 1900/LTE AWS3/LTE AWS	-	ADD	(1) RRUS 8863
			A4	-	-	-	-	-
BETA	148'-6"	120°	B1	MX06FT665-02	LTE 700/LTE 1900/ 5G 1900/	-	ADD	(1) RRUS 4490
			B2	-	-	-	-	(1) RRUS 4890
			B3	MX14FT665-01	LTE 700/LTE 1900/5G 1900/LTE AWS3/LTE AWS	-	ADD	(1) RRUS 8863
			B4	-	-	-	-	-
GAMMA	148'-6"	230°	C1	MX06FT665-02	LTE 700/LTE 1900/ 5G 1900/	-	ADD	(1) RRUS 4490
			C2	-	-	-	-	(1) RRUS 4890
			C3	MX14FT665-01	LTE 700/LTE 1900/5G 1900/LTE AWS3/LTE AWS	-	ADD	(1) RRUS 8863
			C4	-	-	-	-	-

* - SEE RFDS FOR VALUES

EXISTING FIBER DISTRIBUTION/OVP BOX		EXISTING CABLING SUMMARY		
MODEL NUMBER	STATUS	COAX	HYBRIFLEX	STATUS
(1) RRFDC-3315-PF-48	RMV	(12) 1-5/8"	(1) 6x12 (1-1/4")	RMN

3 EQUIPMENT SCHEDULES

FINAL FIBER DISTRIBUTION / OVP BOX		FINAL CABLING SUMMARY		
MODEL NUMBER	STATUS	COAX	HYBRIFLEX	STATUS
(1) RRFDC-6627-PF-48	ADD	-	(1) 6x12 (1-1/4")	ADD
-	-	(12) 1-5/8"	(1) 6x12 (1-1/4")	RMN

AMERICAN TOWER

328 TRYON ROAD
RALEIGH, NC 27603-3530
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FL CO# 31011
ATC SITE NUMBER:
302623
ATC SITE NAME:
FOREST LAKE FL 2
VERIZON WIRELESS SITE NAME:
FL ATC FOREST LAKE
SITE ADDRESS:
631 SELF ESTEEM WAY
ALAMONTE SPRINGS, FL 32714-2736

REV.	DESCRIPTION	BY	DATE
1	PRELIMINARY	SAS	05/30/24
2	100% CONSTRUCTION	KAG	06/06/24

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SEAL:

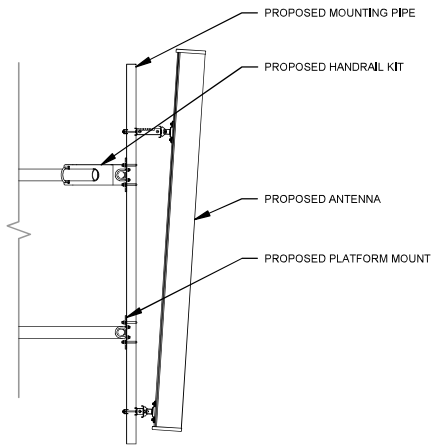
JOSHUA H. CARDEN
LICENSE
No 83511
STATE OF FLORIDA
PROFESSIONAL ENGINEER
06/06/24

verizon

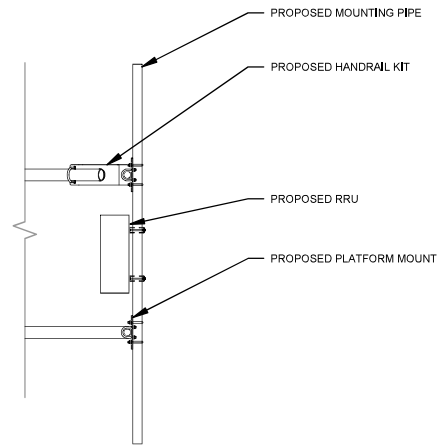
DATE DRAWN:	06/06/24
ATC JOB NO:	14752529
CUSTOMER NAME:	FL ATC FOREST LAKE
CUSTOMER ID:	171540

ANTENNA INFORMATION & SCHEDULE

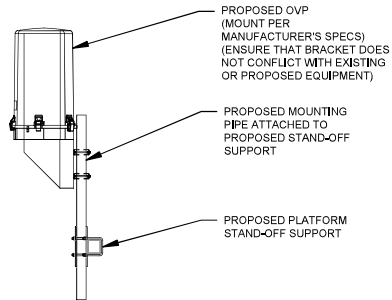
SHEET NUMBER:	REVISION:
C-401	0



1 PROPOSED ANTENNA MOUNTING DETAIL
SCALE: N.T.S.



2 PROPOSED RRU MOUNTING DETAIL
SCALE: N.T.S.



3 PROPOSED OVP MOUNTING DETAIL - TYPICAL
SCALE: N.T.S.



328 TRYON ROAD
RALEIGH, NC 27603-3530
OFFICE: (919) 861-4351
www.atgroup.net

FL CO# 31011

ATC SITE NUMBER:

302623

ATC SITE NAME:

FOREST LAKE FL 2

VERIZON WIRELESS SITE NAME:

FL ATC FOREST LAKE

SITE ADDRESS:

631 SELF ESTEEM WAY

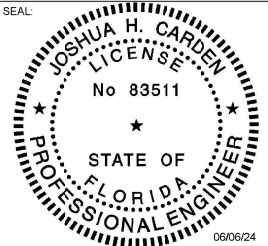
ALTAMONTE SPRINGS, FL 32714-2736

REV.	DESCRIPTION	BY	DATE
△	PRELIMINARY	SAS	05/30/24
△	100% CONSTRUCTION	KAG	06/06/24
△			
△			

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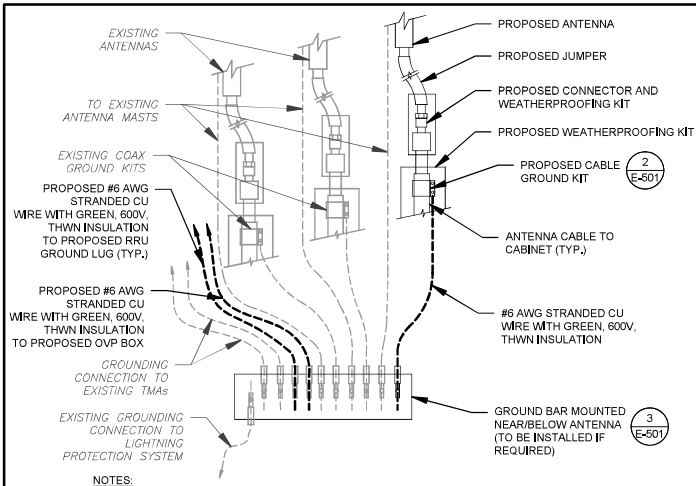


verizon

DATE DRAWN:	06/06/24
ATC JOB NO:	14752529
CUSTOMER NAME:	FL ATC FOREST LAKE
CUSTOMER ID:	171540

CONSTRUCTION
DETAILS

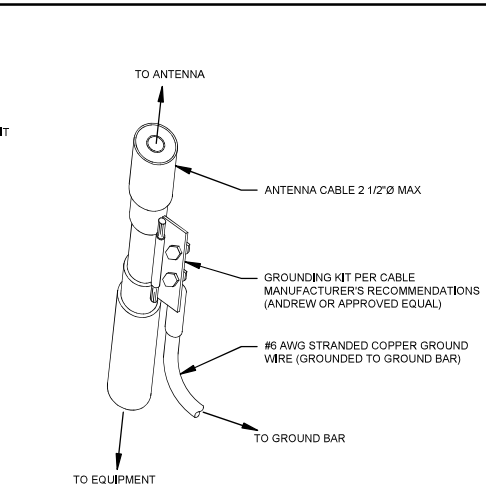
SHEET NUMBER:	REVISION:
C-501	0



1 **TYPICAL ANTENNA GROUNDING DIAGRAM**
SCALE: N.T.S.

NOTES:

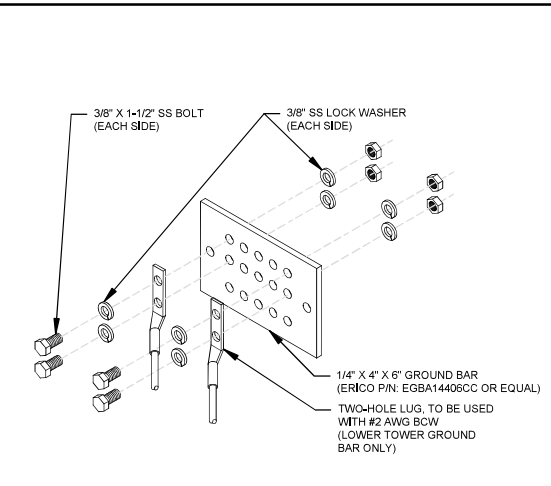
1. THIS DETAIL IS INTENDED TO SHOW THE GENERAL GROUNDING REQUIREMENTS. SLIGHT ADJUSTMENTS MAY BE REQUIRED BASED ON EXISTING SITE CONDITIONS. THE CONTRACTOR SHALL MAKE FIELD ADJUSTMENTS AS NEEDED AND INFORM THE CONSTRUCTION MANAGER OF ANY CONFLICTS.
2. SITE GROUNDING SHALL COMPLY WITH VERIZON WIRELESS GROUNDING STANDARDS, LATEST EDITION, AND COMPLY WITH VERIZON WIRELESS GROUNDING CHECKLIST, LATEST VERSION, WHEN NATIONAL AND LOCAL GROUNDING CODES ARE MORE STRINGENT THEY SHALL GOVERN.



2 **CABLE GROUND KIT CONNECTION DETAIL**
SCALE: N.T.S.

GROUND KIT NOTES:

1. DO NOT INSTALL CABLE GROUND KIT AT A BEND AND ALWAYS DIRECT GROUND WIRE DOWN TO GROUND BAR.
2. CONTRACTOR SHALL PROVIDE WEATHERPROOFING KIT (ANDREW PART NUMBER 221213) AND INSTALL/TAPE PER MANUFACTURER'S SPECIFICATIONS.



3 **TOWER GROUND BAR DETAIL**
SCALE: N.T.S.

GROUND BAR NOTES:

1. GROUND BAR KITS COME WITH ALL HARDWARE, NUTS, BOLTS, WASHERS, ETC, EXCEPT THE STRUCTURAL MOUNTING MEMBER(S).
2. GROUND BAR TO BE BONDED DIRECTLY TO TOWER.

328 TRYON ROAD
RALEIGH, NC 27603-3530
OFFICE: (919) 861-4351
www.atgroup.net

FL CO# 31011
ATC SITE NUMBER:
302623
ATC SITE NAME:
FOREST LAKE FL 2
VERIZON WIRELESS SITE NAME:
FL ATC FOREST LAKE
SITE ADDRESS:
631 SELF ESTEEM WAY
ALTA MONTE SPRINGS, FL 32714-2736

REV.	DESCRIPTION	BY	DATE
△	PRELIMINARY	SAS	05/30/24
△	100% CONSTRUCTION	KAG	06/06/24
△			
△			

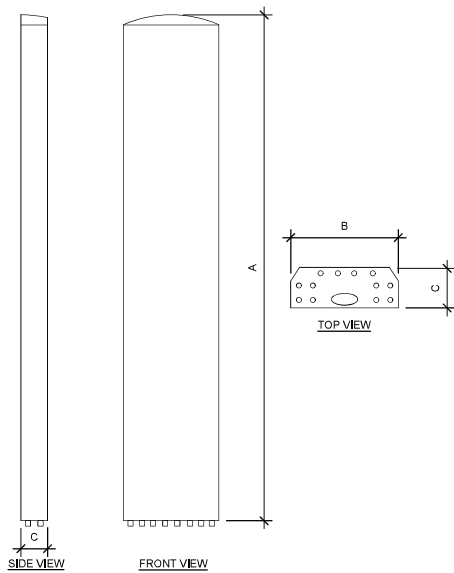
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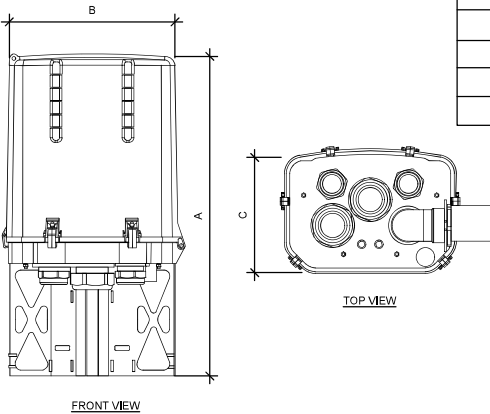
DATE DRAWN:	06/06/24
ATC JOB NO:	14752529
CUSTOMER NAME:	FL ATC FOREST LAKE
CUSTOMER ID:	171540

GROUNDING DETAILS

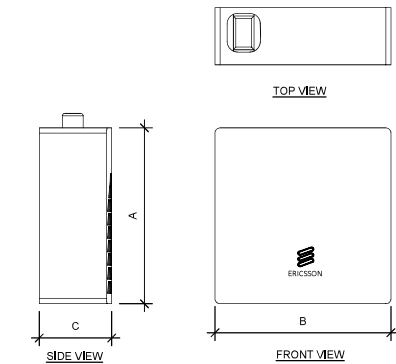
SHEET NUMBER:	REVISION:
E-501	0



ANTENNA SPECIFICATIONS				
ANTENNA MODEL	A	B	C	WEIGHT (LBS)
MX14FIT665-01	72.0"	14.2"	8.5"	63.0
MX06FIT665-02	71.3"	12.2"	10.7"	45.0



OVP SPECIFICATIONS				
RAYCAP MODEL	A	B	C	WEIGHT (LBS)
RRFDC-6627-PF-48	71.3"	12.2"	10.7"	45.0



RRU SPECIFICATIONS				
RRU MODEL	A	B	C	WEIGHT (LBS)
RRUS 4490	20.6"	15.7"	7"	68.4
RRUS 4890	20.6"	15.7"	7.2"	69.5
RRUS 8863	18.9"	14.8"	6.7"	57.4



EQUIPMENT SPECIFICATIONS

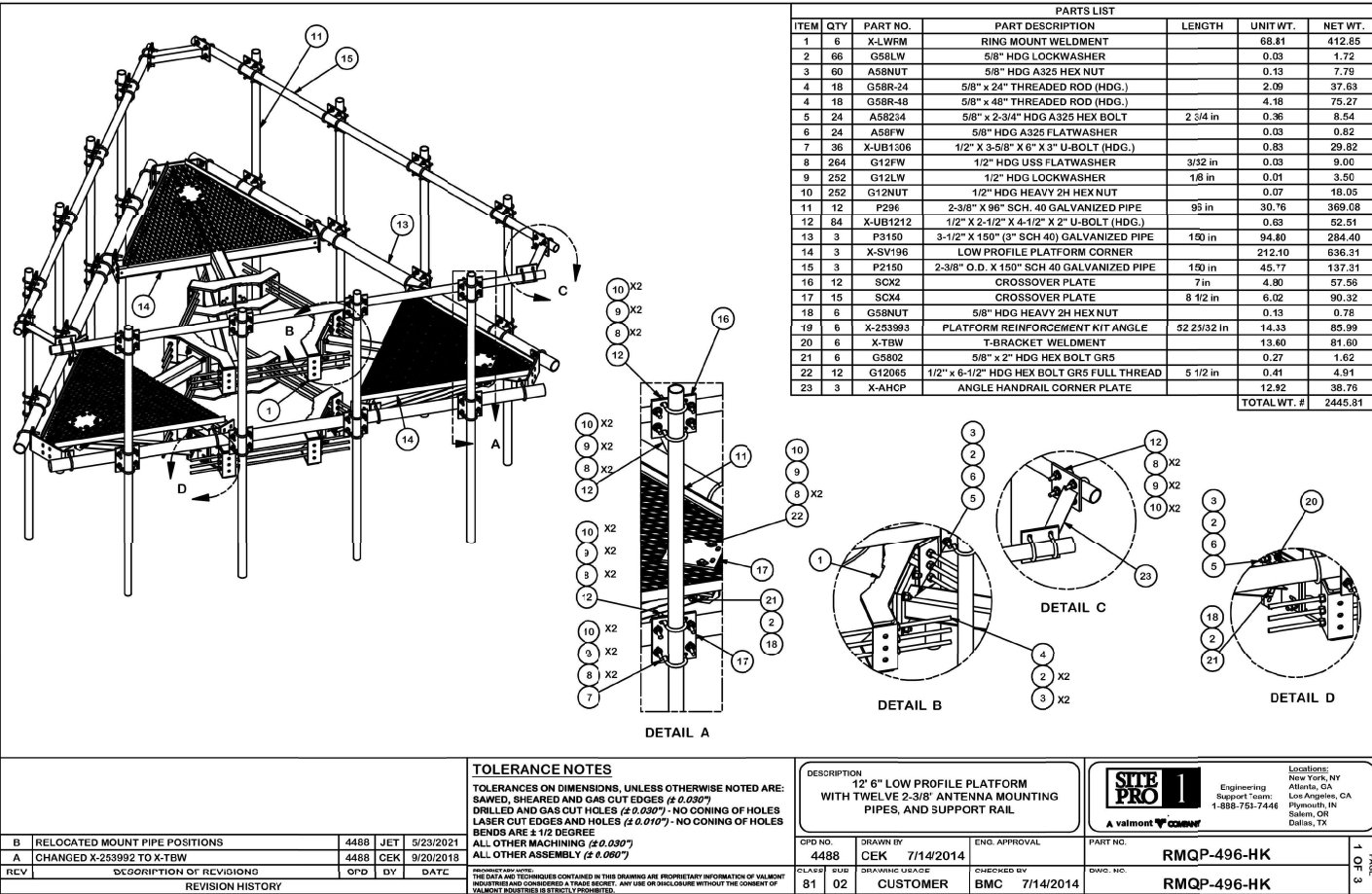
SCALE: N.T.S.

SUPPLEMENTAL

SHEET NUMBER: REVISION:

R-601

-



1 PROPOSED PLATFORM MOUNT DETAIL
SCALE: N.T.S.

NOTE: THIS SHEET WAS CREATED BY OTHERS AND PROVIDED AT THE REQUEST OF CUSTOMER WITHOUT EDIT.

SUPPLEMENTAL

SHEET NUMBER: R-602 REVISION: -



Colliers Engineering & Design
5141 Virginia Way, Suite 420
Brentwood, TN 37027
615.686.2575
ashley.sustek@collierseng.com

Mount Structural Analysis Report
(1) 12.50-Ft Platform

May 8, 2024
Site ID: 5000301346-VZW / FL ATC FOREST LAKE
Page | 5

New/Replacement Antenna Mount Analysis Report and PMI Requirements

Mount ReAnalysis-VZW

SMART Tool Project #: 10224432
Colliers Engineering & Design Project #: 22944038 (Rev 1)

May 8, 2024

Site Information

Site ID: 5000301346-VZW / FL ATC FOREST LAKE
Site Name: FL ATC FOREST LAKE
Carrier Name: Verizon Wireless
Address: 631 Self Esteem Way
Altamonte Springs, Florida 32714
Seminole County
Latitude: 28.669639°
Longitude: -81.433400°

Structure Information

Tower Type: 150-Ft Monopole
Mount Type: 12.50-Ft Platform

FUZE ID # 16493925

Analysis Results

Platform: 45.4% Pass w/ Mount Replacement
(1) Site Pro 1 RMQP-496

*Antennas and equipment to be installed in compliance with PMI Requirements of this mount analysis.

***Contractor PMI Requirements:

Included at the end of this MA report
Available & Submitted via portal at <https://pmi.vzwsmart.com>
For additional questions and support, please reach out to:
pmisupport@colliersengineering.com

Report Prepared By: Jared Adkins



Digitally signed by Dejian Xu, PE
/c=US; o=Colliers Engineering & Design; ou=Engineering & Design; email=dejian.xu@collierseng.com

MOUNT ANALYSIS
SCALE: N.T.S.

Mount Steel (EPA)a per ANSI/TIA-222-H Section 2.6.11.2:

Ice Thickness (In)	Mount Pipes Excluded		Mount Pipes Included	
	Front (EPA)a (Sq. Ft.)	Side (EPA)a (Sq. Ft.)	Front (EPA)a (Sq. Ft.)	Side (EPA)a (Sq. Ft.)
0	23.0	23.0	40.1	40.1
0.5	31.8	31.8	56.1	56.1
1	39.0	39.0	70.5	70.5

Notes:

- (EPA)a values listed above may be used in the absence of more precise information
- (EPA)a values in the table above include 3 sector(s).
- Ka factors included in (EPA)a calculations

Requirements:

The proposed antenna mounts are **SUFFICIENT** for the final loading configuration (attachment 2) upon completion of the mount replacement (attachment 3) and requirements below.

Refer to additional PMI Documents and instructions attached at the end of this report. Contact EOR if this information is not available.

ANGL/AGOP rigging plan review services compliant with the requirements of ANGL/TIA 322 are available for a Construction Class IV site or other, if required. Separate review fees will apply.

Attachments:

1. Contractor Required Post Installation Inspection (PMI) Report Deliverables
2. Antenna Placement Diagrams
3. Mount Manufacturer Drawings
4. Existing Mount Photos
5. Analysis Calculations

NOTE: THIS SHEET WAS CREATED BY OTHERS AND PROVIDED AT THE REQUEST OF THE CUSTOMER WITHOUT EDIT. PLEASE REFERENCE THE MOUNT ANALYSIS REPORT FOR COMPLETE MOUNT ANALYSIS CALCULATIONS AND DETAILS. SUPPLEMENTAL PAGES INCLUDED IN THE CONSTRUCTION DRAWINGS ARE FOR REFERENCE ONLY. GENERAL CONTRACTOR IS TO VERIFY THEY HAVE THE MOST RECENT MOUNT ANALYSIS PRIOR TO CONSTRUCTION.

SUPPLEMENTAL

SHEET NUMBER:

R-603

REVISION:

-

EXISTING 135'-0" MONOPOLE WITH PROPOSED 15'-0" EXTENSION

5000301346: FL ATC FOREST LAKE

631 SELF ESTEEM WAY
ALTAMONTE SPRINGS, FLORIDA 32714
SEMINOLE COUNTY
LAT: 28° 40' 10.56"; LONG: -81° 26' 00.60"

PROJECT CONTACTS

CLIENT:
COLLIERS ENGINEERING
CONTACT: ASHLEY SUSTEK AT ASHLEY.SUSTEK@COLLIERSENG.COM
PH: 877 627-3772

ENGINEER OF RECORD:
PJFTELECOM@PAULJFORD.COM

DESIGN DATA

REFERENCE STANDARD	ANSI/TIA-222-H-2017
LOCAL CODE	2023 FLORIDA BUILDING CODE 8TH EDITION
TIA-222-H, ANNEX S USED (Y/N)	N
SITE SPECIFIC WIND STUDY (Y/N)	N
ULTIMATE WIND SPEED (3-SECOND GUST, V_{ULT})	135
RISK CATEGORY	II
EXPOSURE CATEGORY	B
TOPOGRAPHIC CATEGORY	1
CREST HEIGHT	0
SITE CLASS	D
SEISMIC IMPORTANCE FACTOR	1
S_s	0.08
S_1	0.04
DESIGN BASE SHEAR (KIPS)	1.51
C_s	0.03
R	1.5
SEISMIC ANALYSIS PROCEDURE	EQUIVALENT LATERAL FORCE PROCEDURE

SHEET INDEX

SHEET NUMBER	DESCRIPTION
T-1	TITLE SHEET
BOM-1	BILL OF MATERIALS
MI-1	SI CHECKLIST AND NOTES
N-1	GENERAL NOTES
S-1	MONOPOLE PROFILE
S-2	EXTENSION PROFILE
S-3	EXTENSION DETAILS
S-4	EXTENSION DETAILS

ATC TOWER #:	302623
ATC STRUCTURAL ENG. #:	14178098_C3_03
ATC CUSTOMER:	VERIZON WIRELESS

QUALIFIED ENGINEERING SERVICES ARE AVAILABLE FROM PAUL J. FORD & COMPANY TO ASSIST CONTRACTORS IN CLASS IV RIGGING PLAN REVIEWS. FOR REQUESTED QUALIFIED ENGINEERING SERVICES, PLEASE CONTACT PJFTELECOM@PAULJFORD.COM.



04/23/2024

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PAUL J. FORD & COMPANY
250 E Broad St, Ste 600- Columbus, OH 43215
Phone 614.221.6679
www.pauljford.com



5000301346: FL ATC FOREST LAKE
ALTAMONTE SPRINGS, FLORIDA
EXISTING 135'-0" MONOPOLE WITH PROPOSED 15'-0" EXTENSION

PROJECT No: 22724-0007,001,7700
DRAWN BY: TAN
DESIGNED BY: TJD
CHECKED BY: [Signature]
DATE: 4/19/2024

TITLE SHEET

T-1

BILL OF MATERIALS								
QUANTITY COUNTED	QUANTITY PROVIDED	PART NUMBER	DESCRIPTIONS	LENGTH	SHEET LIST	PART WEIGHT	WEIGHT (LBS)	NOTES
1	1	CP1	CAP PLATE, 1/4" THK x 32 1/2"ø OD		S-3	58	58	GALVANIZED
1	1	FP1	FLANGE PLATE, 1 3/4" THK x 32 1/2"ø OD x 18"ø ID		S-3	273	273	GALVANIZED
1	1	FP2	FLANGE PLATE, 1 3/4" THK x 32 1/2"ø OD x 18"ø ID		S-3	241	241	GALVANIZED
4	4	MF1	MOUSE HOLE PORTS, 12"H x 7"W x 7 9/16"D x 1/2"THK		S-3	10	40	GALVANIZED
3	3	HRH812	SITE PRO 1 PORT, 12"H x 6"W x 2 1/2"D x 1/2"THK		S-3	12	36	GALVANIZED
1	1	P1	EXTENSION PIPE, 24"ø x 14" THK	14'-6 1/2"	S-3	1397	1397	GALVANIZED
12	15	BK-100-450-A315	1"ø ASTM A315 BOLTS	4 1/2"	S-2			
4	6	BK-100-350-A315	1"ø ASTM A315 BOLTS	3 1/2"	S-2			
TOTAL WEIGHT =							2045	PAGE 1 OF 1

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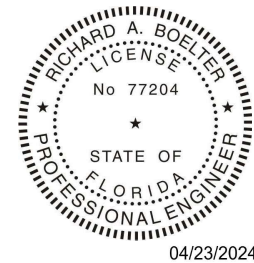
Colliers
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& Design

5000301346: FL ATC FOREST LAKE
ALTAMONTE SPRINGS, FLORIDA
EXISTING 135'-0" MONOPOLE WITH PROPOSED 15'-0"
EXTENSION

PROJECT No:	22724-0007.001.7700
DRAWN BY:	TAN
DESIGNED BY:	TJD
CHECKED BY:	KAT
DATE:	4/19/2024

BILL OF MATERIALS

BOM-1



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V:\10-2272-4000\201\DWG

SPECIAL INSPECTION CHECKLIST								
INSPECTION DOCUMENT	DESCRIPTION	INSPECTION TESTING REQUIRED	RESPONSIBILITY	SI REVIEW REQUIRED			INSPECTION FREQUENCY	
				PRE CX	DURING CX	POST CX	PERIODIC	CONTINUOUS
SPECIAL INSPECTION FIELD WORK & REPORT	DOCUMENTATION AND SITE VISIT TO BE CONDUCTED BY AN ATC APPROVED SPECIAL INSPECTOR AS REQUIRED BY ATC AND OTHER AUTHORITIES HAVING JURISDICTION. INSPECTION PARAMETERS TO FOLLOW ATC'S STANDARD SPECIFICATION FOR WIRELESS TOWER SITES.	Y	SI			X	X	
ENGINEERING ASSEMBLY DRAWINGS	GENERAL CONTRACTOR TO SUBMIT DRAWINGS TO SPECIAL INSPECTOR FOR INCLUSION IN THE SPECIAL INSPECTION REPORT	Y	GC	X			X	
FABRICATED MATERIAL VERIFICATION & INSPECTION	MATERIAL TEST REPORTS AND/OR MATERIAL TEST CERTIFICATE FOR SUPPLIED MATERIALS TO BE PROVIDED TO SPECIAL INSPECTOR BY GENERAL CONTRACTOR TO BE INCLUDED IN SPECIAL INSPECTION REPORT WHEN REQUIRED BY TOWER OWNER	Y	SI	X			X	
CERTIFIED WELD INSPECTION	INSPECTION AND REPORT OF STRUCTURAL WELDING PERFORMED DURING PROJECT COMPLETED BY A CMI AND INCLUDED WITHIN SI REPORT	Y	GC / TA	X			X	
FOUNDATION INSPECTION & VERIFICATION	VISUAL OBSERVATION AND APPROVAL OF FOUNDATION EXCAVATION, REBAR PLACEMENT, CASINGS/SHORING/FORMING PLACEMENT, AND ANCHOR TEMPLATE AND ANCHOR PLACEMENT - TO BE SI APPROVED PRIOR TO CONCRETE POUR AND DOCUMENTED IN THE SI REPORT	N	SI					
ANCHOR, ROCK ANCHOR OR HELICAL PULL-OUT TEST	PULL TESTING OF INSTALLED ANCHORS TO BE COMPLETED AND DOCUMENTED IN SPECIAL INSPECTION REPORT	N	GC / TA					
CONCRETE INSPECTION & VERIFICATION	CONCRETE MIX DESIGN, SLUMP TEST, COMPRESSIVE TESTING, AND SAMPLE GATHERING TECHNIQUES ARE TO BE PROVIDED FOR INCLUSION IN THE SPECIAL INSPECTION REPORT. SPECIAL INSPECTOR SHALL VERIFY CONCRETE PLACEMENT AS REQUIRED BY THE DESIGN DOCUMENTS (INSPECTION FREQUENCY IS MARKED CONTINUOUS)	N	GC / TA					
DYWIDAG PLACEMENT/ANCHOR BOLT EMBEDMENT - EPOXY/GROUT INSTALL	ANCHOR/BAR EMBEDMENT, HOLE SIZE, EPOXY/GROUT TYPE, INSTALLATION TEMPERATURE AND INSTALLATION SHALL BE VERIFIED BY THE SPECIAL INSPECTOR AND INCLUDED IN THE SPECIAL INSPECTION REPORT	N	GC / SI					
BASE PLATE GROUT INSPECTION & VERIFICATION	BASE PLATE GROUTING TYPE AND PLACEMENT SHALL BE CONFIRMED BY THE SPECIAL INSPECTOR AND INCLUDED IN THE SPECIAL INSPECTION REPORT	N	GC / SI					
EARTHWORK INSPECTION & VERIFICATION	EXCAVATION, FILL, SLOPE, GRADE AND OTHER EARTHWORK REQUIREMENTS PER PLANS SHALL BE VERIFIED BY THE SPECIAL INSPECTOR AND INCLUDED IN THE SPECIAL INSPECTION REPORT	N	GC / TA					
COMPACTION VERIFICATION	CONTRACTOR SHALL PROVIDE AN INDEPENDENT THIRD PARTY CERTIFIED INSPECTION WHICH PROVIDES TEST RESULTS FOR COMPACTION TEST OF SOILS IN PLACE TO ASTM STANDARDS	N	GC / TA					
GROUND TESTING & VERIFICATION	GENERAL CONTRACTOR SHALL PROVIDE DOCUMENTATION SHOWING THAT THE GROUNDING SYSTEM SHALL HAVE A MEASURED RESISTANCE TO THE GROUND OF NOT MORE THAN THE RECOMMENDED 10 OHMS, PER THE ATC CONSTRUCTION SPECIFICATION UNDER SECTION 2.15 THIS DOCUMENTATION MUST BE AN INDEPENDENT CERTIFICATION.	N	GC					
STEEL CONSTRUCTION INSPECTION & VERIFICATION	VISUAL OBSERVATION AND APPROVAL OF STEEL CONSTRUCTION TO BE PERFORMED BY THE SPECIAL INSPECTOR. INSPECTION TO INCLUDE VERIFICATION OF NEW CONSTRUCTION OR MODIFICATION OF EXISTING CONSTRUCTION PER ENGINEERED PLANS. DETAILED VERIFICATION SHALL BE INCLUDED IN SPECIAL INSPECTION REPORT	Y	SI			X	X	
ON-SITE COLD GALVANIZING VERIFICATION	SPECIAL INSPECTOR SHALL VERIFY WITH GENERAL CONTRACTOR ALL COLD GALVANIZATION TYPE AND APPLICATION AND INCLUDE SUMMARY IN SPECIAL INSPECTION REPORT	Y	GC			X	X	
GUY WIRE TENSIONING & TOWER ALIGNMENT REPORT	GENERAL CONTRACTOR SHALL PROVIDE SPECIAL INSPECTOR EVIDENCE OF PROPER GUY TENSIONING AND TOWER PLUMB PER PLANS. SPECIAL INSPECTOR SHALL VERIFY AND INCLUDE PLUMB AND TENSION REPORTING IN SPECIAL INSPECTION REPORT	N	GC					
GC AS-BUILT DRAWINGS WITH CONSTRUCTION RED-LINES	GENERAL CONTRACTOR SHALL SUBMIT "AS-BUILT" DRAWINGS INDICATING ANY APPROVED CHANGES TO ENGINEERED PLANS TO SPECIAL INSPECTOR FOR APPROVAL/REVIEW AND INCLUSION IN SPECIAL INSPECTION REPORT	Y	GC			X	X	
SPECIAL INSPECTION AS-BUILT DRAWINGS WITH INSPECTION RED-LINES (AS REQUIRED)	SPECIAL INSPECTOR SHALL SUBMIT "AS-BUILT" DRAWINGS INDICATING ANY APPROVED CHANGES TO ENGINEERED PLANS WITHIN SPECIAL INSPECTION REPORT	Y	SI			X	X	
TIA INSPECTION	SPECIAL INSPECTOR SHALL COMPLETE TIA INSPECTION AND PROVIDE SEPARATE TIA INSPECTION DOCUMENTATION TO ATC CONSTRUCTION MANAGER	N	SI					
PHOTOGRAPHS	PHOTOGRAPHIC EVIDENCE OF SPECIAL INSPECTION, ON SITE REMEDIATION, AND ITEMS FAILING INSPECTION & REQUIRING FOLLOWUP TO BE INCLUDED WITHIN THE SPECIAL INSPECTION REPORT. COMPLETE PHOTO LOG IS TO BE SUBMITTED WITHIN SPECIAL INSPECTION REPORT.	Y	GC / SI			X	X	
NOTE: SPECIAL INSPECTIONS ARE INTENDED TO BE A COLLABORATIVE EFFORT BETWEEN GENERAL CONTRACTOR AND SPECIAL INSPECTOR. WHENEVER POSSIBLE GENERAL CONTRACTOR IS TO PROVIDE SPECIAL INSPECTOR WITH PHOTOGRAPHIC OR OTHER ACCEPTABLE EVIDENCE OF PROPER INSTALLATION IF PERIODIC INSPECTION FREQUENCY IS ACCEPTABLE, THE GENERAL CONTRACTOR AND SPECIAL INSPECTOR SHALL WORK TO COMPILE EVIDENCE OF PROPER CONSTRUCTION AND LIMIT THE NUMBER OF SPECIAL INSPECTOR SITE VISITS REQUIRED.								
TABLE KEY: SI - ATC APPROVED SPECIAL INSPECTOR CX - CONSTRUCTION GC - GENERAL CONTRACTOR CM - CONSTRUCTION MANAGER TA - 3RD PARTY TESTING AGENCY ATC - AMERICAN TOWER CORPORATION								

MODIFICATION INSPECTION NOTES

THE SPECIAL INSPECTION (SI) PROCEDURE IS INTENDED TO CONFIRM THAT CONSTRUCTION AND INSTALLATION MEETS ENGINEERING DESIGN, ATC PROCEDURES AND ATC STANDARD SPECIFICATION FOR WIRELESS TOWER SITES.

TO ENSURE THAT THE REQUIREMENT OF THE SI ARE MET, IT IS VITAL THAT THE GENERAL CONTRACTOR AND THE INSPECTOR BEGIN COMMUNICATING AND COORDINATING AS SOON AS A PO IS RECEIVED FROM AMERICAN TOWER CORPORATION (ATC). IT IS EXPECTED THAT EACH PARTY WILL PROACTIVELY REACH OUT TO THE OTHER PARTY, IF CONTACT INFORMATION IS NOT KNOWN, CONTACT YOUR AMERICAN TOWER POINT OF CONTACT.

SPECIAL INSPECTOR

THE SPECIAL INSPECTOR IS REQUIRED TO CONTACT THE GENERAL CONTRACTOR AS SOON AS RECEIVING A PO FROM ATC. UPON RECEIVING A PO FROM ATC THE SPECIAL INSPECTOR AT A MINIMUM MUST:

- REVIEW THE REQUIREMENTS OF THE SI CHECKLIST.
- WORK WITH THE GENERAL CONTRACTOR TO DEVELOP A SCHEDULE TO CONDUCT ON-SITE INSPECTIONS, INCLUDING FOUNDATION INSPECTIONS.
- ANY CONCERNS WITH THE SCOPE OF WORK OR PROJECT COMMITMENT MUST BE RELAYED TO THE ATC POINT OF CONTACT IMMEDIATELY.

THE SPECIAL INSPECTOR IS RESPONSIBLE FOR COLLECTING ALL GENERAL CONTRACTOR INSPECTION AND TEST REPORTS, REVIEWING THESE DOCUMENTS FOR ADHERENCE TO CONTRACTOR DOCUMENTS, CONDUCTING THE IN-FIELD INSPECTIONS, AND SUBMITTING THE SI REPORT TO AMERICAN TOWER CORPORATION.

GENERAL CONTRACTOR

THE GENERAL CONTRACTOR IS REQUIRED TO CONTACT THE SI INSPECTOR AS SOON AS RECEIVING A PO FOR THE MODIFICATION INSTALLATION OR TURNKEY PROJECT TO, AT A MINIMUM:

- REVIEW THE REQUIREMENT OF THE SI CHECKLIST
- WORK WITH THE SI TO DEVELOP A SCHEDULE TO CONDUCT ON-SITE INSPECTIONS, INCLUDING FOUNDATION INSPECTIONS.
- BETTER UNDERSTANDING ALL INSPECTION AND TESTING REQUIREMENTS.

THE GENERAL CONTRACTOR SHALL PERFORM AND RECORD THE TEST AND INSPECTION RESULTS IN ACCORDANCE WITH THE REQUIREMENTS OF THE SI CHECKLIST.

REV	DATE	DESCRIPTION
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04/23/2024

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5000301346: FL ATC FOREST LAKE
 ALTAMONTE SPRINGS, FLORIDA
 EXISTING 135'-0" MONOPOLE WITH PROPOSED 15'-0" EXTENSION

PROJECT No:	22724-0007.001.7700
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DESIGNED BY:	TJD
CHECKED BY:	KAT
DATE:	4/19/2024

SI CHECKLIST AND NOTES

MI-1

GENERAL

- ALL WORK TO BE COMPLETED PER APPLICABLE LOCAL, STATE, FEDERAL CODES AND ORDINANCES AND COMPLY WITH ATC CONSTRUCTION SPECIFICATIONS FOR WIRELESS TOWER SITES, THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING AND ABIDING BY ALL REQUIRED PERMITS
- THE CONTRACTOR SHALL NOTIFY THE ENGINEER OF RECORD IMMEDIATELY OF ANY INSTALLATION INTERFERENCES. ALL NEW WORK SHALL ACCOMMODATE EXISTING CONDITIONS, DETAILS NOT SPECIFICALLY SHOWN ON THE DRAWINGS SHALL FOLLOW SIMILAR DETAILS FOR THIS JOB.
- ANY SUBSTITUTIONS MUST CONFORM TO THE REQUIREMENTS OF THESE NOTES AND SPECIFICATIONS, AND SHOULD BE SIMILAR TO THOSE SHOWN, ALL SUBSTITUTIONS SHALL BE SUBMITTED TO THE ENGINEER OF RECORD FOR REVIEW AND APPROVAL PRIOR TO FABRICATION.
- ANY MANUFACTURED DESIGN ELEMENTS MUST CONFORM TO THE REQUIREMENTS OF THESE NOTES AND SPECIFICATIONS AND SHOULD BE SIMILAR TO THOSE SHOWN, THESE DESIGN ELEMENTS MUST BE STAMPED BY AN ENGINEER PROFESSIONALLY REGISTERED IN THE STATE OF THE PROJECT, AND SUBMITTED TO THE ENGINEER OF RECORD FOR APPROVAL PRIOR TO FABRICATION.
- ALL WORK SHALL BE DONE IN ACCORDANCE WITH LOCAL CODES AND OSHA SAFETY REGULATIONS.
- THE CONTRACTOR IS RESPONSIBLE FOR THE DESIGN AND EXECUTION OF ALL MISCELLANEOUS SHORING, BRACING, TEMPORARY SUPPORTS, ETC., NECESSARY, PER 10A-019-04-2011, TO PROVIDE A COMPLETE AND STABLE STRUCTURE AS SHOWN IN THESE DRAWINGS.
- CONTRACTOR'S PROPOSED INSTALLATION SHALL NOT INTERFERE, NOR DENY ACCESS TO, ANY EXISTING OPERATIONAL AND SAFETY EQUIPMENT.

STRUCTURAL STEEL

- ALL DETAILING, FABRICATION AND ERECTION OF STRUCTURAL STEEL SHALL CONFORM TO THE AISC SPECIFICATIONS, LATEST EDITION.
- ALL EXPOSED STRUCTURAL STEEL MEMBERS SHALL BE HOT-DIPPED GALVANIZED AFTER FABRICATION PER ASTM A123. EXPOSED STEEL HARDWARE AND ANCHOR BOLTS SHALL BE GALVANIZED PER ASTM A153 OR B695.
- ALL U-BOLTS SHALL BE ASTM A36 OR EQUIVALENT, WITH LOCKING DEVICE, UNLESS NOTED OTHERWISE.
- FIELD CUT EDGES, EXCEPT DRILLED HOLES, SHALL BE GROUND SMOOTH.
- ALL FIELD CUT SURFACES, FIELD DRILLED HOLES & GROUND SURFACES WHERE EXISTING PAINT OR GALVANIZATION REMOVAL WAS REQUIRED SHALL BE REPAIRED WITH (2) BRUSHED COATS OF ZRC GALVALUTE COLD GALVANIZING COMPOUND PER ASTM A780 AND MANUFACTURERS RECOMMENDATIONS.
- ALL STRUCTURAL STEEL EMBEDDED IN THE CONCRETE SHALL BE APPLIED WITH (2) BRUSHED COATS OF POLYGUARD CA-9 MASTIC OR EQUIVALENT. REFER TO THE MANUFACTURER SPECIFICATIONS FOR SURFACE PREPARATION AND APPLICATION. APPLICATION OF POLYGUARD 400 WRAP IS NOT ESSENTIAL.
- CONTRACTOR SHALL PERFORM WORK ON ONLY ONE (1) TOWER FACE AND REPLACEMENT/REINFORCE ONE (1) BOLT/MEMBER AT A TIME.
- ALL FIELD DRILLED HOLES TO BE USED FOR FIELD BOLTING INSTALLATION SHALL BE STANDARD HOLES, AS DEFINED BY AISC, UNLESS NOTED OTHERWISE.
- PRIOR TO FABRICATION AND INSTALLATION, CONTRACTOR SHALL FIELD VERIFY ALL LENGTHS AND QUANTITIES GIVEN. LENGTH AND QUANTITIES PROVIDED ARE FOR QUOTING PURPOSES ONLY AND SHALL NOT BE USED FOR FABRICATION. THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR THE PROPER FIT AND CLEARANCE OF THE REINFORCING MATERIAL IN THE FIELD, THE CONTRACTOR IS EXPECTED TO PERFORM A SITE VISIT BEFORE FABRICATING ANY MATERIAL.
- ALL STEEL SHALL CONFORM TO THE FOLLOWING (UNO):
 - PIPE: ASTM A53 GR B (35 KSI YIELD POINT MATERIAL)
 - ROUND HSS: ASTM A500 GR C (46 KSI YIELD POINT MATERIAL)
 - SQUARE HSS: ASTM A500 GR C (50 KSI YIELD POINT MATERIAL)
 - ANGLES, PLATES, SOLID RODS: ASTM A572 GR 50 (50 KSI YIELD POINT MATERIAL)
 - FLANGE PLATES: ASTM A572 GR 50 (50 KSI YIELD POINT MATERIAL)
 - ALL OTHER STEEL SHAPES: ASTM A36 (36 KSI YIELD POINT MATERIAL)
- ALL BOLTS (EXCEPT U-BOLTS) SHALL CONFORM TO THE REQUIREMENTS OF ASTM A325.

PAINT

- AS REQUIRED, CLEAN AND PAINT PROPOSED STEEL ACCORDING TO FAA ADVISORY CIRCULAR AC 70/7460-1L.

WELDING

- ALL WELDING TO BE PERFORMED BY AWS CERTIFIED WELDERS AND CONDUCTED IN ACCORDANCE WITH THE LATEST EDITION OF THE AWS WELDING CODE D1.1.
- ALL WELDS SHALL BE INSPECTED VISUALLY, 25% OF WELDS SHALL BE INSPECTED WITH DYE PENETRANT OR MAGNETIC PARTICLE (100% IF REJECTABLE DEFECTS ARE FOUND) TO MEET THE ACCEPTANCE CRITERIA OF AWS D1.1. REPAIR ALL WELDS AS NECESSARY.
- INSPECTION SHALL BE PERFORMED BY AN AWS CERTIFIED WELD INSPECTOR.
- ALL ELECTRODES TO BE LOW HYDROGEN, MATCHING FILLER METAL, PER AWS D1.1, UNLESS NOTED OTHERWISE.
- MINIMUM WELD SIZE TO BE 0.1875 INCH FILLET WELDS, UNLESS NOTED OTHERWISE.
- PRIOR TO FIELD WELDING GALVANIZED MATERIAL, CONTRACTOR SHALL GRIND OFF GALVANIZING 1/2" BEYOND ALL FIELD WELD SURFACES. AFTER WELD AND WELD INSPECTION IS COMPLETE, REPAIR ALL GROUND AND WELDED SURFACES WITH ZRC GALVALUTE COLD GALVANIZING COMPOUND PER ASTM A780 AND MANUFACTURERS RECOMMENDATIONS.

BOLT TIGHTENING PROCEDURE

- STRUCTURAL CONNECTIONS TO BE ASSEMBLED AND INSPECTED IN ACCORDANCE WITH RCSC SPECIFICATIONS.
- FLANGE BOLTS SHALL BE INSTALLED AND TIGHTENED USING DIRECT TENSION INDICATING (DTI) SQUIRTER WASHERS, DTI SQUIRTER WASHERS ARE TO BE INSTALLED AND ORIENTED / TIGHTENED PER MANUFACTURER SPECIFICATIONS TO ACHIEVE DESIRED LEVEL OF BOLT PRE-TENSION.
- IN LIEU OF USING DTI SQUIRTER WASHERS, FLANGE BOLTS MAY BE TIGHTENED USING AISC / RCSC "TURN-OF-THE-NUT" METHOD, PENDING APPROVAL BY THE ENGINEER OF RECORD (EOR), TIGHTEN FLANGE BOLTS USING THE CHART BELOW:

BOLT LENGTHS UP TO AND INCLUDING FOUR DIAMETERS

1/2"	BOLTS UP TO AND INCLUDING 2.0 INCH LENGTH	+1/3 TURN BEYOND SNUG TIGHT
5/8"	BOLTS UP TO AND INCLUDING 2.5 INCH LENGTH	+1/3 TURN BEYOND SNUG TIGHT
3/4"	BOLTS UP TO AND INCLUDING 3.0 INCH LENGTH	+1/3 TURN BEYOND SNUG TIGHT
7/8"	BOLTS UP TO AND INCLUDING 3.5 INCH LENGTH	+1/3 TURN BEYOND SNUG TIGHT
1"	BOLTS UP TO AND INCLUDING 4.0 INCH LENGTH	+1/3 TURN BEYOND SNUG TIGHT
1-1/8"	BOLTS UP TO AND INCLUDING 4.5 INCH LENGTH	+1/3 TURN BEYOND SNUG TIGHT
1-1/4"	BOLTS UP TO AND INCLUDING 5.0 INCH LENGTH	+1/3 TURN BEYOND SNUG TIGHT
1-3/8"	BOLTS UP TO AND INCLUDING 5.5 INCH LENGTH	+1/3 TURN BEYOND SNUG TIGHT
1-1/2"	BOLTS UP TO AND INCLUDING 6.0 INCH LENGTH	+1/3 TURN BEYOND SNUG TIGHT

BOLT LENGTHS OVER FOUR DIAMETERS BUT NOT EXCEEDING EIGHT DIAMETERS

1/2"	BOLTS 2.25 TO 4.0 INCH LENGTH	+1/2 TURN BEYOND SNUG TIGHT
5/8"	BOLTS 2.75 TO 5.0 INCH LENGTH	+1/2 TURN BEYOND SNUG TIGHT
3/4"	BOLTS 3.25 TO 6.0 INCH LENGTH	+1/2 TURN BEYOND SNUG TIGHT
7/8"	BOLTS 3.75 TO 7.0 INCH LENGTH	+1/2 TURN BEYOND SNUG TIGHT
1"	BOLTS 4.25 TO 8.0 INCH LENGTH	+1/2 TURN BEYOND SNUG TIGHT
1-1/8"	BOLTS 4.75 TO 9.0 INCH LENGTH	+1/2 TURN BEYOND SNUG TIGHT
1-1/4"	BOLTS 5.25 TO 10.0 INCH LENGTH	+1/2 TURN BEYOND SNUG TIGHT
1-3/8"	BOLTS 5.75 TO 11.0 INCH LENGTH	+1/2 TURN BEYOND SNUG TIGHT
1-1/2"	BOLTS 6.25 TO 12.0 INCH LENGTH	+1/2 TURN BEYOND SNUG TIGHT

- SPLICE BOLTS SUBJECT TO DIRECT TENSION SHALL BE INSTALLED AND TIGHTENED AS PER SECTION 8.2.1 OF THE AISC "SPECIFICATION FOR STRUCTURAL JOINTS USING A325 OR A490 BOLTS", LOCATED IN THE AISC MANUAL OF STEEL CONSTRUCTION. THE INSTALLATION PROCEDURE IS PARAPHRASED AS FOLLOWS:

FASTENERS SHALL BE INSTALLED IN PROPERLY ALIGNED HOLES AND TIGHTENED BY ONE OF THE METHODS DESCRIBED IN SUBSECTION 8.2.1 THROUGH 8.2.4.

8.2.1 TURN-OF-NUT PRETENSIONING

BOLTS SHALL BE INSTALLED IN ALL HOLES OF THE CONNECTION AND BROUGHT TO A SNUG TIGHT CONDITION AS DEFINED IN SECTION 8.1. UNTIL ALL THE BOLTS ARE SIMULTANEOUSLY SNUG TIGHT AND THE CONNECTION IS FULLY COMPACTED, FOLLOWING THIS INITIAL OPERATION ALL BOLTS IN THE CONNECTION SHALL BE TIGHTENED FURTHER BY THE APPLICABLE AMOUNT OF ROTATION SPECIFIED ABOVE, DURING THE TIGHTENING OPERATION THERE SHALL BE NO ROTATION OF THE PART NOT TURNED BY THE WRENCH. TIGHTENING SHALL PROGRESS SYSTEMATICALLY.
- ALL OTHER BOLTED CONNECTIONS SHALL BE BROUGHT TO A SNUG TIGHT CONDITION AS DEFINED IN SECTION 8.1 OF THE SPECIFICATION.

ALL BOLT HOLES SHALL BE ALIGNED TO PERMIT INSERTION OF THE BOLTS WITHOUT UNDUE DAMAGE TO THE THREADS. BOLTS SHALL BE PLACED IN ALL HOLES WITH WASHERS POSITIONED AS REQUIRED AND NUTS THREADED TO COMPLETE THE ASSEMBLY, COMPACTING THE JOINT TO THE SNUG-TIGHT CONDITION SHALL PROGRESS SYSTEMATICALLY FROM THE MOST RIGID PART OF THE JOINT. THE SNUG-TIGHTENED CONDITION IS THE TIGHTNESS THAT IS ATTAINED WITH A FEW IMPACTS OF AN IMPACT WRENCH OR THE FULL EFFORT OF AN IRONWORKER USING AN ORDINARY SPUD WRENCH TO BRING THE CONNECTED PIES INTO FIRM CONTACT.

APPLICABLE CODES AND STANDARDS

- ANSI/AIA: STRUCTURAL STANDARDS FOR STEEL ANTENNA TOWERS AND ANTENNA SUPPORTING STRUCTURES, 222-41 EDITION.
- 2018 INTERNATIONAL BUILDING CODE
- ACI 318: AMERICAN CONCRETE INSTITUTE, BUILDING CODE REQUIREMENTS FOR STRUCTURAL CONCRETE, REFERENCE LATEST APPROPRIATE EDITION TO MATCH LOCAL AND/OR INTERNATIONAL BUILDING CODE(S) LISTED ABOVE.
- CRSI: CONCRETE REINFORCING STEEL INSTITUTE, MANUAL OF STANDARD PRACTICE, LATEST EDITION.
- AISC: AMERICAN INSTITUTE OF STEEL CONSTRUCTION, MANUAL OF STEEL CONSTRUCTION, LATEST EDITION.
- AWS: AMERICAN WELDING SOCIETY D1.1, STRUCTURAL WELDING CODE, LATEST EDITION.

SPECIAL INSPECTION

- A QUALIFIED INDEPENDENT TESTING LABORATORY, EMPLOYED BY THE OWNER, SHALL PERFORM INSPECTION AND TESTING IN ACCORDANCE WITH IBC 2018, SECTION 1704 AS REQUIRED BY PROJECT SPECIFICATIONS FOR THE FOLLOWING CONSTRUCTION WORK:
 - STRUCTURAL WELDING (CONTINUOUS INSPECTION OF FIELD WELD ONLY)
 - HIGH STRENGTH BOLTS (PERIODIC INSPECTION OF A325 EXTENSION FLANGE BOLTS BE TIGHTENED PER "TURN-OF-THE-NUT" METHOD)
- THE INSPECTION AGENCY SHALL SUBMIT INSPECTION AND TEST REPORTS TO THE BUILDING DEPARTMENT, THE ENGINEER OF RECORD, AND THE OWNER IN ACCORDANCE WITH IBC 2018, SECTION 1704, UNLESS THE FABRICATOR IS APPROVED BY THE BUILDING OFFICIAL TO PERFORM SUCH WORK WITHOUT THE SPECIAL INSPECTIONS.



04/23/2024

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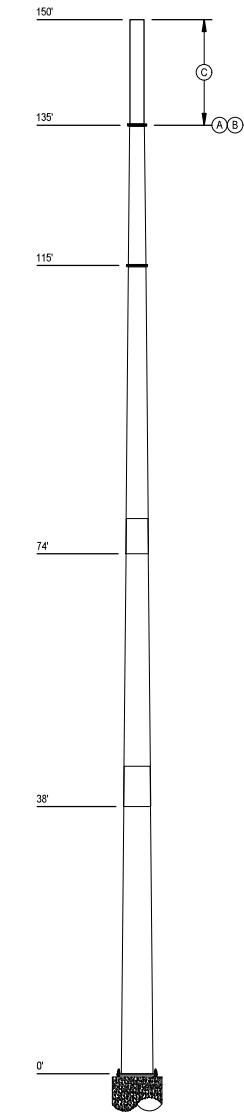
5000301346: FL ATC FOREST LAKE
ALTAMONTE SPRINGS, FLORIDA
EXISTING 135'-0" MONOPOLE WITH PROPOSED 15'-0" EXTENSION

PROJECT No: 22724-0007,001,7700
DRAWN BY: TAN
DESIGNED BY: TJD
CHECKED BY: *RAF*
DATE: 4/19/2024

GENERAL NOTES

N-1

V1.0.22724-0007.DWG

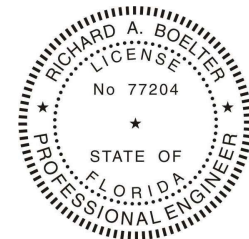


POLE ELEVATION

1
S-1

TOWER MODIFICATION SCHEDULE			REFERENCE SHEETS
	ELEVATION	TOWER MODIFICATION DESCRIPTION	
(A)	135'	REMOVE EXISTING MONOPOLE TOP HAT	
(B)	135'	RELOCATE EXISTING EQUIPMENT AS REQUIRED.	
(C)	135' TO 150'	INSTALL NEW POLE EXTENSION	
PRIOR TO FABRICATION AND INSTALLATION CONTRACTOR SHALL VERIFY ALL LENGTHS AND QUANTITIES GIVEN. LENGTH AND QUANTITIES PROVIDED ARE FOR QUOTING PURPOSES ONLY AND SHALL NOT BE USED FOR FABRICATION.			

MANUFACTURER POLE SPECIFICATIONS								
TAPER	0.221371 IN/FT							
BASE PLATE STEEL	ASTM A572 GR 50 (FY=50 KSI)							
ANCHOR RODS	2.25"ø ASTM A615 (FY=75 KSI)							
FLANGE BOLTS	1"ø ASTM A325 (FY=92 KSI) & 1.25"ø ASTM A325 (FY=81 KSI)							
SHAFT SECTION DATA								
SHAFT SECTION	SECTION LENGTH (FT)	POLE SHAFT THICKNESS (IN)	LAP SPLICE (FT)	DIAMETER ACROSS FLATS (IN)		POLE GRADE (KSI)	FLANGE PLATE GRADE (KSI)	POLE SHAPE
				@ TOP	@ BOTTOM			
1	20.00	0.21875		25.3	29.727	60	50	18-SIDED
2	41.00	0.3125	5.00	29.727	38.804	65	50	18-SIDED
3	41.00	0.375	5.75	37.072	46.148	65		18-SIDED
4	43.75	0.375		44.125	53.810	65		18-SIDED
NOTE: DIMENSIONS SHOWN DO NOT INCLUDE GALVANIZING TOLERANCES								



04/23/2024

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Phone 614.221.6679
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5000301346: FL ATC FOREST LAKE
ALTAMONTE SPRINGS, FLORIDA
EXISTING 135'-0" MONOPOLE WITH PROPOSED 15'-0" EXTENSION

PROJECT No:	22724-0007.001.7700
DRAWN BY:	TAN
DESIGNED BY:	TJD
CHECKED BY:	<i>[Signature]</i>
DATE:	4/19/2024

MONOPOLE
PROFILE

S-1

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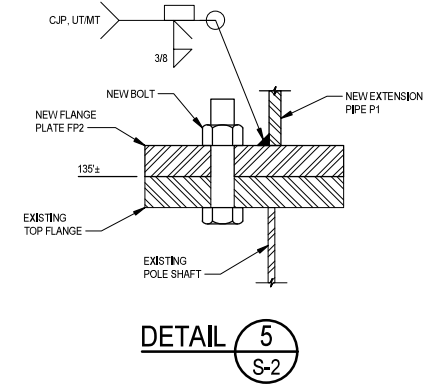
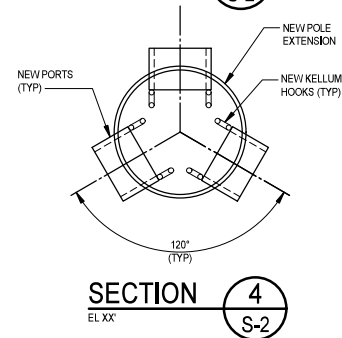
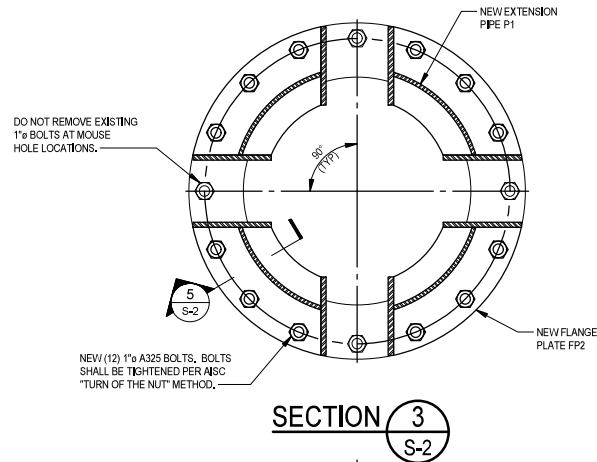
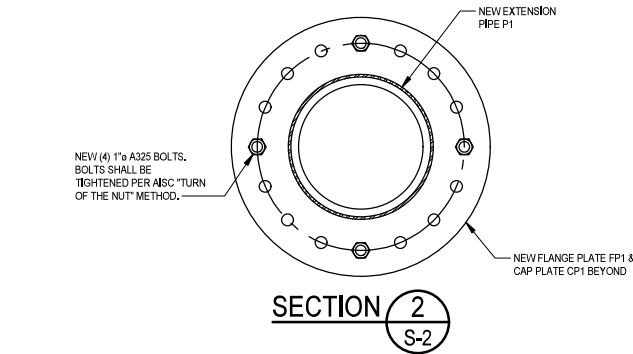
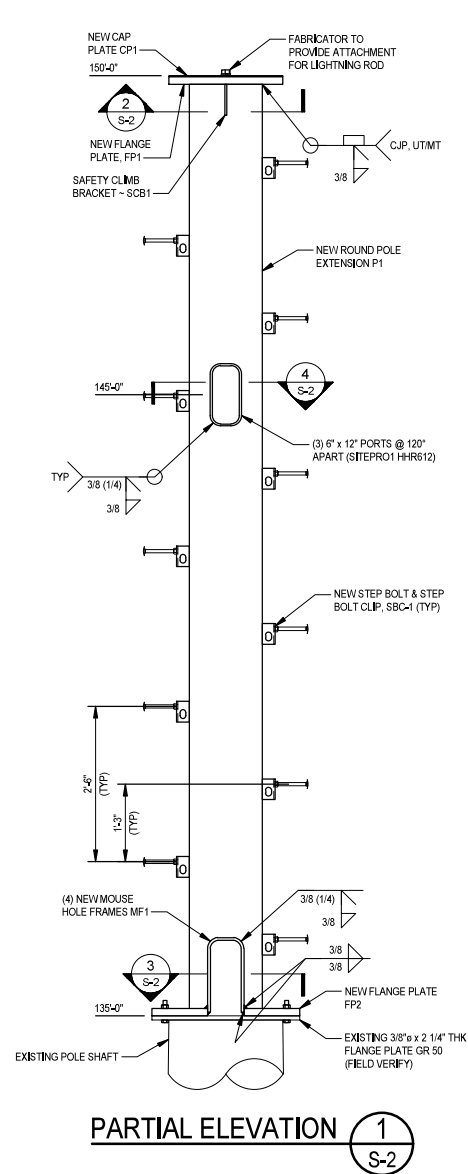
Engineering & Design
Colliers

5000301346: FL ATC FOREST LAKE
ALTAMONTE SPRINGS, FLORIDA
EXISTING 135'-0" MONOPOLE WITH PROPOSED 15'-0" EXTENSION

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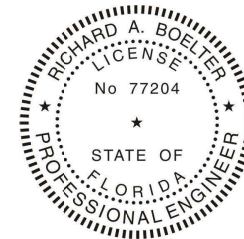
EXTENSION
PROFILE

S-2



PORTS TO BE INSTALLED PRIOR TO HOT-DIP GALVANIZING

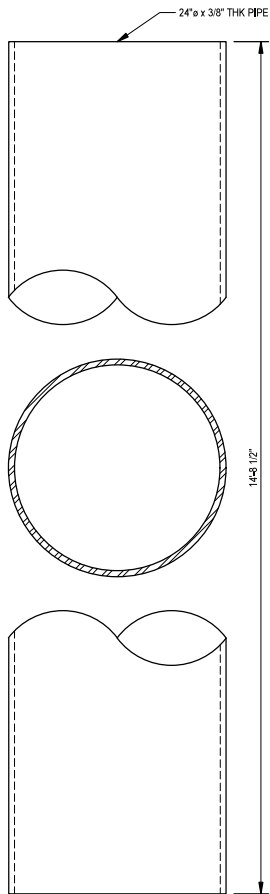
ALL BOLTS SHALL BE TIGHTENED PER THE AISC 'TURN OF THE NUT' METHOD UNO.



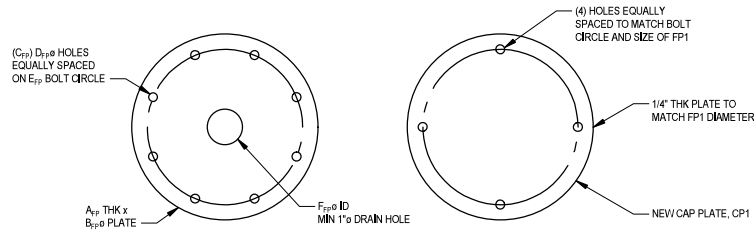
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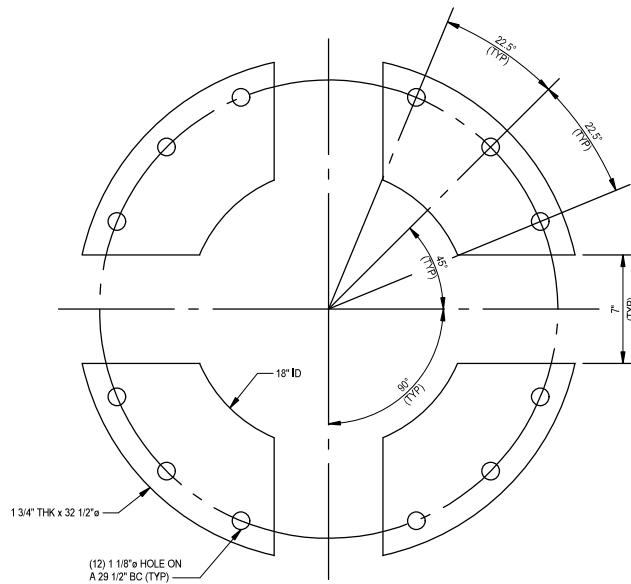
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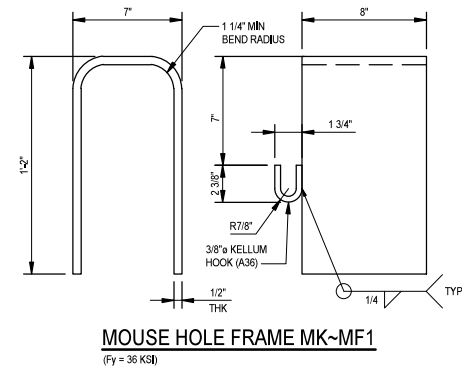
EXTENSION PIPE MK~P1
ASTM A53 GR B (Fy = 35 KSI)



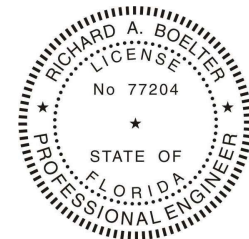
FLANGE PLATE									
PART #	ELEVATION	QTY	MAT'L SPEC	A _{FP} (IN)	B _{FP} (IN)	C _{FP}	D _{FP} (IN)	E _{FP} (IN)	F _{FP} (IN)
FP1	150'-0"	1	ASTM A36	1 3/4	32 1/2	16	1 1/8	29 1/2	18



FLANGE PLATE MK~FP2
(1 REQUIRED) (Fy = 50 KSI)



MOUSE HOLE FRAME MK~MF1
(Fy = 36 KSI)



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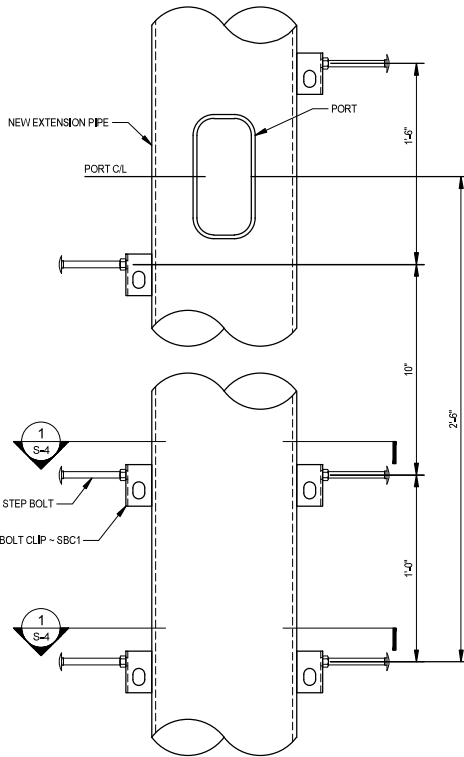
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EXISTING 135'-0" MONOPOLE WITH PROPOSED 15'-0" EXTENSION

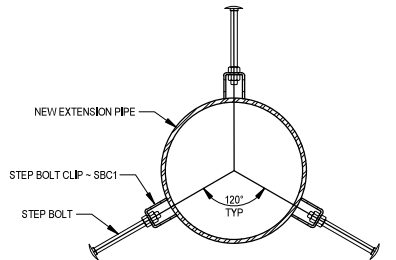
PROJECT No:	22724-0007,001,7700
DRAWN BY:	TAN
DESIGNED BY:	TJD
CHECKED BY:	RM
DATE:	4/19/2024

EXTENSION DETAILS

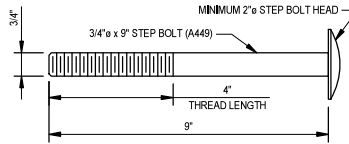
S-3



STEP BOLT LAYOUT WITH PORT



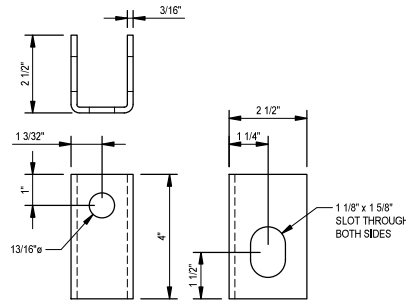
STEP BOLT LAYOUT 1
S-4



STEP BOLT

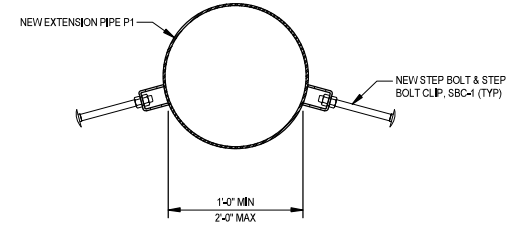
NOTES:

1. CONTRACTOR SHALL USE ALL NEW STEP BOLTS AND HARDWARE.
2. CENTER TO CENTER STAGGERED SPACINGS SHOULD BE MATCHED TO EXISTING FIELD CONDITIONS. STAGGERED SPACINGS SHALL BE A MINIMUM OF 10" AND MAXIMUM OF 16" IN THE VERTICAL DIRECTION.
3. HORIZONTAL SPREAD IS NOT TO EXCEED 24".
4. STEP BOLTS MATERIAL SHALL MEET THE REQUIREMENTS OF ASTM A449 AND SHALL BE TESTED AS FINISHED STEP BOLTS AT TEST FREQUENCY P (PIECE TESTING) OF ASTM A673 TO MEET MINIMUM ABSORBED ENERGY REQUIREMENT AT -20 DEGREES F [29 DEGREES C] OF 15 FT-LBS [20 J] AVERAGE FOR 3 SPECIMENS AND A MINIMUM OF 12 FT-LBS [16 J] FOR ANY ONE SPECIMEN IN ACCORDANCE WITH ASTM A370.



STEP BOLT CLIP ~ SBC1

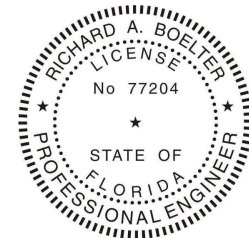
(A572 GR 50)



SAFETY CLIMB & STEP BOLT LAYOUT

NOTE:

CONTRACTOR SHALL COORDINATE LOCATIONS OF EXISTING STEP BOLTS WITH NEW EXTENSION PRIOR TO FABRICATION. CONTRACTOR SHALL COORDINATE SOLUTION WITH OWNER PRIOR TO FABRICATION. THE NEW SYSTEM SHALL BE CROWN APPROVED PRIOR TO CONSTRUCTION.



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DATE: 4/19/2024

EXTENSION DETAILS

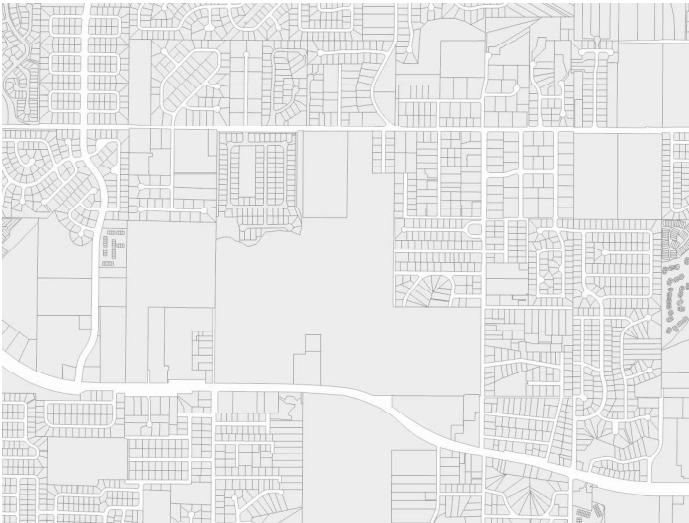
S-4

Property Record Card



Parcel: 08-21-29-300-0110-0000
Property Address: 500 EDUCATION LOOP APOPKA, FL 32703
Values: 2024 Market \$33,269,137 Assessed \$33,269,137
Owners: FLA CONFERENCE ASSN OF SEVENTH-DAY ADVENTISTS

Parcel Location



Site View



Parcel Information

Parcel	08-21-29-300-0110-0000
Property Address	500 EDUCATION LOOP APOPKA, FL 32703
Mailing Address	351 S STATE ROAD 434 ALTAMONTE SPG, FL 32714-3824
Subdivision	
Tax District	01:County Tax District
DOR Use Code	71:Churches
Exemptions	36-CHURCH/RELIGIOUS(2007)
AG Classification	No

Value Summary

	2024 Working Values	2023 Certified Values
Valuation Method	Cost/Market	Cost/Market
Number of Buildings	23	23
Depreciated Building Value	\$12,227,363	\$12,632,408
Depreciated Other Features	\$386,870	\$329,489
Land Value (Market)	\$20,654,904	\$20,654,904
Land Value Agriculture	\$0	\$0
Market Value	\$33,269,137	\$33,616,801
Portability Adjustment	\$0	\$0
Save Our Homes Adjustment/Maximum Portability	\$0	\$0
P&G Adjustment	\$0	\$0
Non-Hx 10% Cap (AMD 1)	\$0	\$0
Assessed Value	\$33,269,137	\$33,616,801

2023 Certified Tax Summary

Tax Amount w/o Exemptions	\$447,372.39
Tax Bill Amount	\$0.00
Tax Savings with Exemptions	\$447,372.39

Owner(s)

Name - Ownership Type

Note: Does NOT INCLUDE Non Ad Valorem Assessments

Legal Description

SEC 08 TWP 21S RGE 29E
S 1/2 OF NW 1/4 (LESS E 1/8 OF N
1/2 & W 660 FT OF E 1390 FT & RD ON
N) & SW 1/4 N OF SR 436 & SW 1/4 OF
SE 1/4 (LESS E 20 FT FOR RD & BEG W 1/4 COR
RUN N 1374.36 FT E 1193.75 FT S 1153.92 FT E
22.77 FT SLY ON CURVE 406.12 FT N 67 DEG 03
MIN 32 SEC W 140.70 FT W 99.05 FT N 79 DEG
55 MIN 50 SEC W 65.55 FT S 80 DEG 33 MIN 30
SEC W 138.10 FT S 87 DEG 46 MIN 19 SEC W
73.95 FT S 39 DEG 05 MIN 59 SEC W 227.39 FT
S 69 DEG 49 MIN 38 SEC W 86.67 FT S 77 DEG
36 MIN 35 SEC W 29.82 FT N 80 DEG 40 MIN 35
SEC W 22.96 FT N 59 DEG 15 MIN 30 SEC W
90.61 FT N 72 DEG 42 MIN 36 SEC W 111.22 FT
N 52 DEG 58 MIN 49 SEC W 57.36 FT N 74 DEG
53 MIN 53 SEC W 69.28 FT S 81 DEG 18 MIN 34
SEC W 80.89 FT S 74 DEG 17 MIN 53 SEC W
93.24 FT N 241.41 FT TO BEG) & E
1/2 OF NW 1/4 OF 17-21-29 N OF SR
436 (LESS TENANT DUPLEXES & 4.55
ACRES OF LAND & TENANT WAREHOUSE &
1.4 ARCES OF LAND & PT PLATTED FOREST
LAKE COMMERCIAL)

Taxes

Taxing Authority	Assessed	Exempt Amount	Taxable
COUNTY GENERAL FUND	\$33,269,137	\$33,269,137	\$0
Schools	\$33,269,137	\$33,269,137	\$0
FIRE	\$33,269,137	\$33,269,137	\$0
ROAD DISTRICT	\$33,269,137	\$33,269,137	\$0
SJWM(Saint Johns Water Management)	\$33,269,137	\$33,269,137	\$0

Sales

Deed Type	Date	Sale Amount	Book / Page	Sale Type	Qualified?
QUIT CLAIM DEED	7/1/2007	\$100	06941/1625	Improved	No

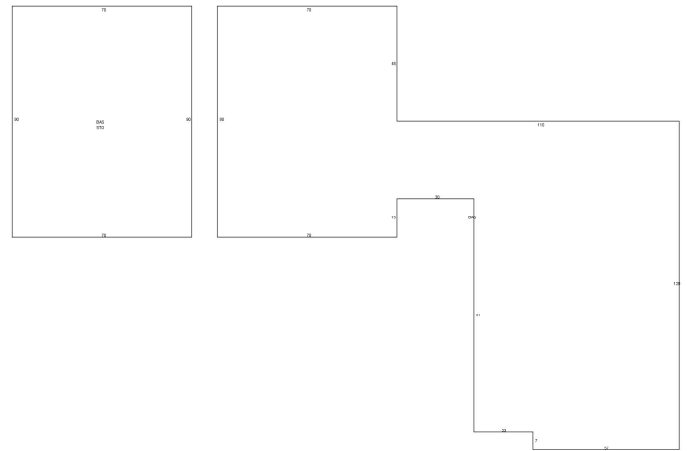
Land

Units	Rate	Assessed	Market
94.90 Acres	\$62,969.50/Acre	\$5,975,806	\$5,975,806
48.30 Acres	\$299,231.06/Acre	\$14,452,860	\$14,452,860

71.40 Acres	\$572.45/Acre	\$40,873	\$40,873
1 Lot	\$185,365.03/Lot	\$185,365	\$185,365

Building Information	
#	1
Use	MASONRY PILASTER .
Year Built*	1985
Bed	
Bath	
Fixtures	0
Base Area (ft²)	23579
Total Area (ft²)	
Constuction	BRICK COMMON - MASONRY
Replacement Cost	\$1,964,878
Assessed	\$1,119,980

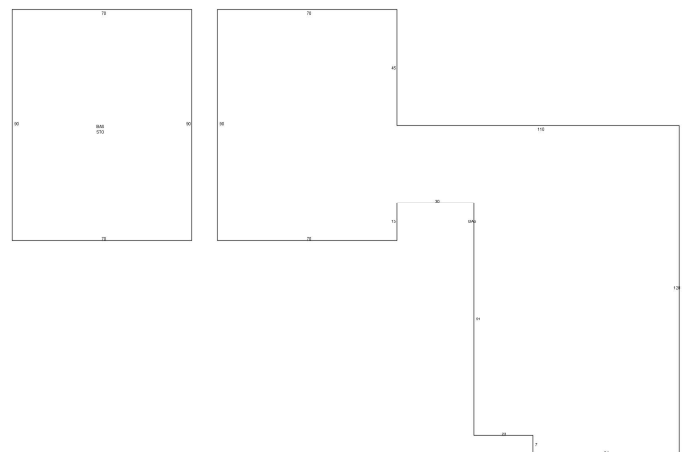
* Year Built = Actual / Effective



Building 1

Building Information	
#	2
Use	MASONRY PILASTER .
Year Built*	1965
Bed	
Bath	
Fixtures	0
Base Area (ft²)	25444
Total Area (ft²)	
Constuction	BRICK COMMON - MASONRY
Replacement Cost	\$2,775,357
Assessed	\$1,110,143

* Year Built = Actual / Effective



Building 2

Building Information	
#	3
Use	MASONRY PILASTER .
Year Built*	1965
Bed	
Bath	
Fixtures	0
Base Area (ft²)	26718
Total Area (ft²)	
Constuction	BRICK COMMON - MASONRY
Replacement Cost	\$2,916,884
Assessed	\$1,166,754

Building 3

Appendages	
Description	Area (ft²)
OPEN PORCH FINISHED	429
UTILITY UNFINISHED	1320

Building 4

Appendages	
Description	Area (ft²)
OPEN PORCH FINISHED	938

Building Information	
#	5
Use	MASONRY PILASTER .
Year Built*	1963
Bed	
Bath	
Fixtures	0
Base Area (ft²)	19860
Total Area (ft²)	
Constuction	CONCRETE BLOCK - MASONRY
Replacement Cost	\$2,059,211
Assessed	\$823,684

Building 5

* Year Built = Actual / Effective

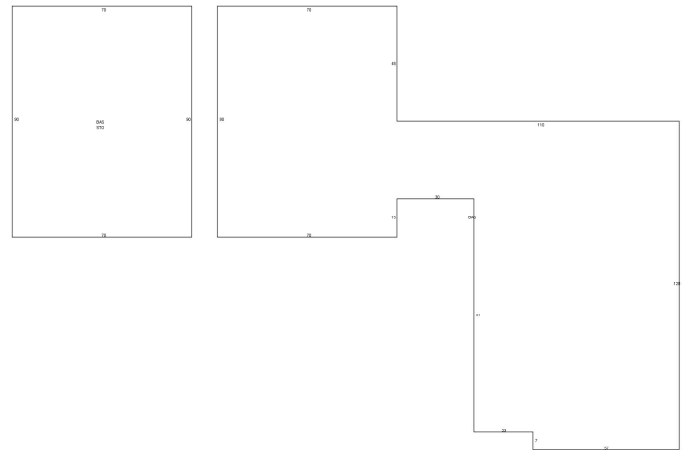
Building Information	
#	6
Use	MASONRY PILASTER .
Year Built*	1963/1970
Bed	
Bath	
Fixtures	0
Base Area (ft²)	27625
Total Area (ft²)	
Constuction	CONCRETE BLOCK - MASONRY
Replacement Cost	\$2,955,847
Assessed	\$1,182,339

Building 6

* Year Built = Actual / Effective

Building Information	
#	9
Use	MASONRY PILASTER .
Year Built*	1963
Bed	
Bath	
Fixtures	0
Base Area (ft²)	43631
Total Area (ft²)	
Constuction	BRICK COMMON - MASONRY
Replacement Cost	\$4,643,872
Assessed	\$1,857,549

* Year Built = Actual / Effective

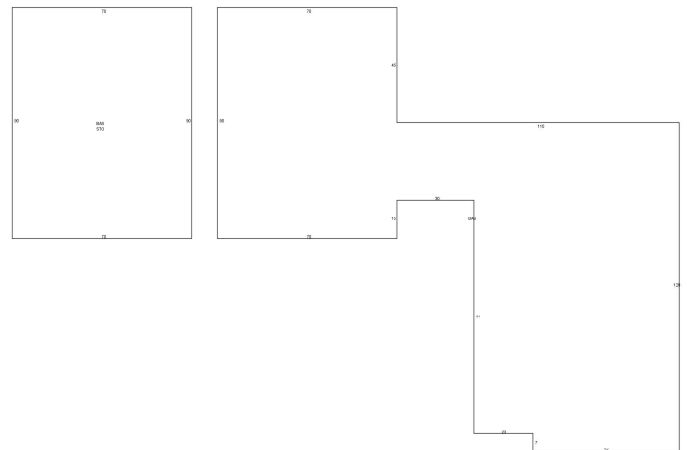


Building 9

Appendages	
Description	Area (ft²)
CARPORT UNFINISHED	576
OPEN PORCH FINISHED	1640
UTILITY UNFINISHED	1200

Building Information	
#	10
Use	MASONRY PILASTER .
Year Built*	1963
Bed	
Bath	
Fixtures	0
Base Area (ft²)	5640
Total Area (ft²)	
Constuction	CONCRETE BLOCK - MASONRY
Replacement Cost	\$914,425
Assessed	\$365,770

* Year Built = Actual / Effective



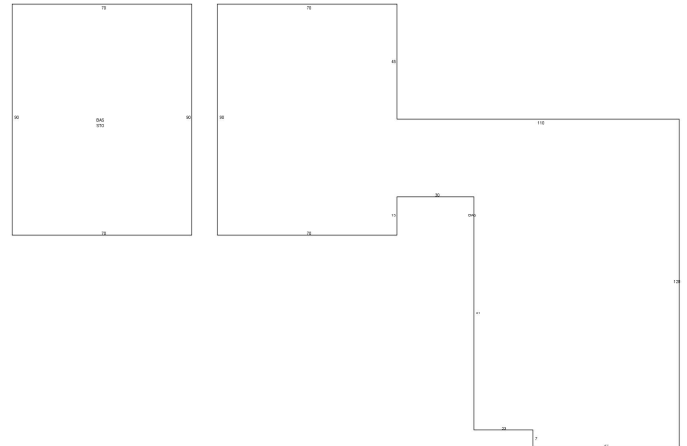
Building 10

Appendages	
Description	Area (ft²)
CARPORT UNFINISHED	480

OPEN PORCH FINISHED	576
OPEN PORCH UNFINISHED	234
UTILITY FINISHED	3640
UTILITY FINISHED	2880
UTILITY FINISHED	3068

Building Information	
#	11
Use	MASONRY PILASTER .
Year Built*	1955
Bed	
Bath	
Fixtures	0
Base Area (ft²)	2353
Total Area (ft²)	
Constuction	CONCRETE BLOCK - MASONRY
Replacement Cost	\$711,625
Assessed	\$284,650

* Year Built = Actual / Effective

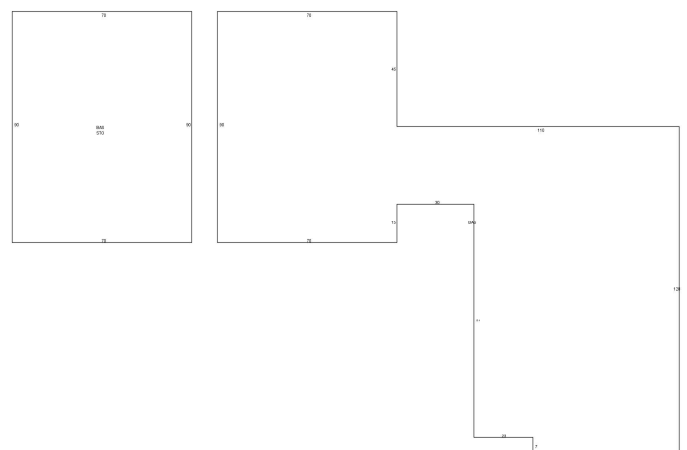


Building 11

Appendages	
Description	Area (ft²)
GARAGE FINISHED C.B.S.	11417
OPEN PORCH UNFINISHED	560

Building Information	
#	12
Use	MASONRY PILASTER .
Year Built*	1974
Bed	
Bath	
Fixtures	0
Base Area (ft²)	3324
Total Area (ft²)	
Constuction	CONCRETE BLOCK-STUCCO - MASONRY
Replacement Cost	\$690,400
Assessed	\$276,160

* Year Built = Actual / Effective

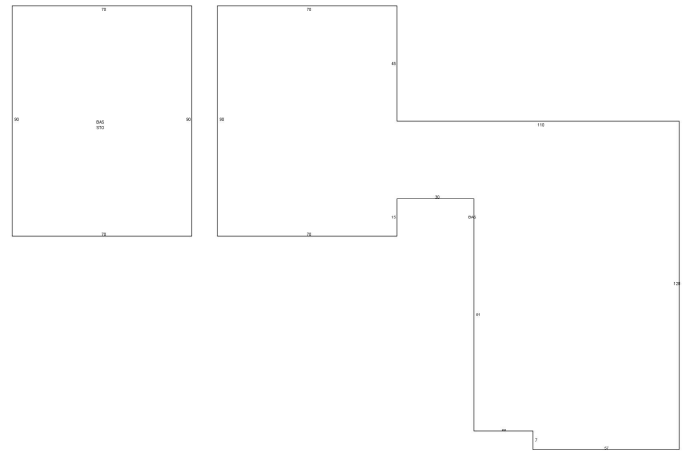


Building 12

Appendages	
Description	Area (ft²)
BASE SEMI FINISHED	5302
CARPORT FINISHED	690
OPEN PORCH FINISHED	209

Building Information	
#	13
Use	MASONRY PILASTER .
Year Built*	1965/1975
Bed	
Bath	
Fixtures	0
Base Area (ft²)	540
Total Area (ft²)	
Constuction	CONCRETE BLOCK - MASONRY
Replacement Cost	\$109,430
Assessed	\$45,961

* Year Built = Actual / Effective



Building 13

Appendages	
Description	Area (ft²)
GARAGE DETACHED C.B.S.	624
OPEN PORCH FINISHED	32

* Year Built = Actual / Effective

* Year Built = Actual / Effective

Friday, June 28, 2024

Building Information	
#	18
Use	MASONRY PILASTER .
Year Built*	1965
Bed	
Bath	
Fixtures	0
Base Area (ft²)	2056
Total Area (ft²)	
Constuction	METAL PREFINISHED
Replacement Cost	\$483,102
Assessed	\$193,241

Building 18

* Year Built = Actual / Effective

Appendages

Description	Area (ft²)
BASE SEMI FINISHED	5440

Building Information	
#	19
Use	MASONRY PILASTER .
Year Built*	1977
Bed	
Bath	
Fixtures	0
Base Area (ft²)	5500
Total Area (ft²)	
Constuction	CONCRETE BLOCK-STUCCO - MASONRY
Replacement Cost	\$620,172
Assessed	\$282,178

Building 19

* Year Built = Actual / Effective

Appendages

Description	Area (ft²)
OPEN PORCH FINISHED	138

* Year Built = Actual / Effective

Description	Area (ft²)
BASE SEMI FINISHED	4732
GARAGE FINISHED C.B.S.	768
OPEN PORCH FINISHED	138

The figure consists of three diagrams illustrating the construction of a polygon by adding rectangles to a square.

- Diagram 1:** A square with side length 10. The top side is labeled 10, the bottom side is labeled 10, the left side is labeled 10, and the right side is labeled 10.
- Diagram 2:** A rectangle with width 10 and height 20 is added to the right side of the square. The top side of the square is labeled 10. The right side of the square is labeled 10. The bottom side of the square is labeled 10. The right side of the rectangle is labeled 20. The top side of the rectangle is labeled 10.
- Diagram 3:** A rectangle with width 10 and height 10 is added to the bottom side of the shape from Diagram 2. The top side of the square is labeled 10. The right side of the square is labeled 10. The bottom side of the square is labeled 10. The right side of the rectangle is labeled 20. The top side of the rectangle is labeled 10. The bottom side of the rectangle is labeled 10.

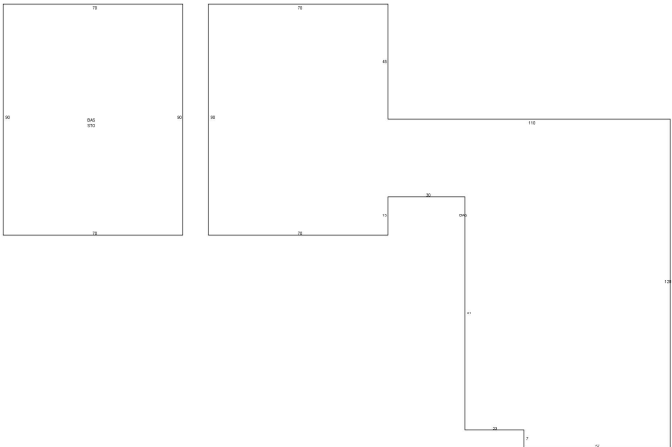
* Year Built = Actual / Effective

Description	Area (ft ²)
-------------	-------------------------

OPEN PORCH FINISHED	340
UTILITY UNFINISHED	364
UTILITY UNFINISHED	364

Building Information	
#	22
Use	MULTIFAMILY
Year Built*	1965/1975
Bed	
Bath	
Fixtures	0
Base Area (ft²)	2184
Total Area (ft²)	
Constuction	CONCRETE BLOCK-STUCCO - MASONRY
Replacement Cost	\$321,058
Assessed	\$231,162

* Year Built = Actual / Effective

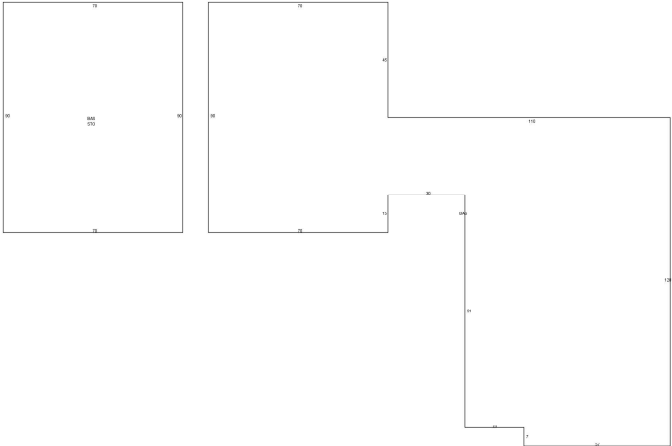


Building 22

Appendages	
Description	Area (ft²)
OPEN PORCH FINISHED	416

Building Information	
#	23
Use	MASONRY PILASTER .
Year Built*	1986
Bed	
Bath	
Fixtures	0
Base Area (ft²)	7341
Total Area (ft²)	
Constuction	BRICK COMMON - MASONRY
Replacement Cost	\$861,603
Assessed	\$501,884

* Year Built = Actual / Effective



Building 23

Appendages	
Description	Area (ft²)

Permits				
Permit #	Description	Value	CO Date	Permit Date
06263	531 HARLEY LESTER LN: REROOF COMMERCIAL-Church Gift and Thrift Store	\$34,265		5/3/2024
17536	2735 SAND LAKE RD: ALTERATION COMMERCIAL-	\$85,560		3/6/2024
00208	2735 SAND LAKE RD: GAS - COMMERCIAL-	\$0		1/10/2024
12592	2735 SAND LAKE RD: FENCE/WALL COMMERCIAL-Fence	\$31,866		9/2/2022
00879	2735 SAND LAKE RD: WINDOW / DOOR REPLACEMENT-	\$19,991		8/1/2022
03277	631 SELF ESTEEM WAY: CELL TOWER-cell tower equipment upgrade	\$30,000		7/1/2022
02683	631 SELF ESTEEM WAY: CELL TOWER-Cell Tower	\$20,000		3/4/2022
17401	631 SELF ESTEEM WAY: CELL TOWER- Preexisting Dish Cellular Tower	\$25,000		1/25/2022
22704	624 CAMPUS LOOP: DEMO COMMERCIAL BLDGS/STRUCTURES-Pool/ Pump House	\$27,000	1/18/2022	12/17/2021
22708	625 CAMPUS LOOP: DEMO COMMERCIAL BLDGS/STRUCTURES-Hotel DEMO	\$9,000	1/18/2022	12/17/2021
22706	3932 DIRECTIONS LN: DEMO COMMERCIAL BLDGS/STRUCTURES-Hotel	\$7,000	1/18/2022	12/17/2021
22410	3932 DIRECTIONS LN: PLUMBING - COMMERCIAL-	\$1,350		12/8/2021
22406	625 CAMPUS LOOP: PLUMBING - COMMERCIAL-	\$1,350		12/7/2021
17104	500 EDUCATION LOOP: ALTERATION COMMERCIAL-	\$403,953	8/12/2022	12/1/2021
18400	2735 SAND LAKE RD: SIGN (POLE,WALL,FACIA)-ground sign 32 SF	\$47,988		10/25/2021
18299	515 HARLEY LESTER LN: REROOF COMMERCIAL-CONCRETE BLOCK	\$41,600		9/29/2021
16390	617 CAMPUS LOOP: DEMO COMMERCIAL BLDGS/STRUCTURES	\$41,100	10/6/2021	9/14/2021
16623	617 CAMPUS LOOP: PLUMBING - COMMERCIAL-metal building	\$1,050		8/31/2021
03030	631 SELF ESTEEM WAY: CELL TOWER- Existing communications Tower	\$20,000		8/2/2021
07429	515 HARLEY LESTER LN: ADDITION TO COMMERCIAL STRUCTURE-Portico	\$214,768	12/22/2021	7/7/2021
01266	631 SELF ESTEEM WAY: OTHER BUILDING COMMERCIAL-REMODEL EQUIPMENT SHELTER CC	\$65,000		4/8/2021
01639	631 SELF ESTEEM WAY: ELECTRIC - GENERATOR-generator	\$10,000		3/22/2021
02578	631 SELF ESTEEM WAY: ELECTRICAL - COMMERCIAL-A2E0627A Power Upgrade Electric Plans	\$7,000		3/10/2021

12932	609 CAMPUS LOOP: MECHANICAL - COMMERCIAL-Install New AC in Industrial Art Bldg	\$125,000	5/3/2021	12/28/2020
21104	609 CAMPUS LOOP: ELECTRICAL - COMMERCIAL-	\$2,000		12/28/2020
19908	609 CAMPUS LOOP: ELECTRICAL - COMMERCIAL-	\$1,800		12/22/2020
01290	594 CAMPUS LOOP: ALTERATION COMMERCIAL-STAGE/PLATFORM AND SEATING LEVEL 1 ALT	\$10,000	10/6/2020	7/7/2020
15145	631 SELF ESTEEM WAY: CELL TOWER- ADD ANTENNAS	\$30,000	6/11/2020	4/15/2020
17230	2735 SAND LAKE RD: OTHER BUILDING COMMERCIAL-8x12 Modular storage shed	\$2,450		1/16/2020
10580	500 EDUCATION LOOP: REROOF COMMERCIAL-	\$54,600		8/9/2019
10579	510 EDUCATION LOOP: REROOF COMMERCIAL-	\$30,300		8/7/2019
10578	594 CAMPUS LOOP: REROOF COMMERCIAL-AUDITORIUM	\$153,700		8/2/2019
10575	624 CAMPUS LOOP: REROOF COMMERCIAL-	\$44,500		8/1/2019
20189	631 SELF ESTEEM WAY: GENERATOR- GENERATOR ON NEW SLAB	\$25,000	7/17/2019	3/27/2019
02796	500 EDUCATION LOOP: PLUMBING - COMMERCIAL	\$1,498		3/6/2019
00060	631 SELF ESTEEM WAY: CELL TOWER- ADD ANNTENAS	\$70,036	4/1/2020	1/24/2019
16897	515 HARLEY LESTER LN: PLUMBING - COMMERCIAL	\$3,500		10/25/2018
02626	SITE LIGHTING- 515 HARLEY LESTER LN	\$160,000		7/30/2018
06846	531 HARLEY LESTER LN: STRUCTURES OTHER THAN BUILDINGS-TEMP OFFICE TRAILER	\$2,500		6/22/2018
13851	CHURCH & CLASS ROOM ADDITION- 515 HARLEY LESTER LN	\$6,500,000	8/19/2019	6/14/2018
01917	CELL TOWER- 631 SELF ESTEEM WAY	\$30,000	3/11/2019	4/9/2018
03923	REROOF- 632 CAMPUS LOOP	\$40,460		3/2/2018
17989	REROOF - 500 EDUCATION LOOP	\$120,000		12/19/2017
15891	CELL TOWER- 631 SELF ESTEEM WAY	\$2,500		11/14/2017
08814	ELECTRIC - 635 SELF ESTEEM WAY	\$1,995		6/27/2017
08223	PLUMBING - 635 SELF ESTEEM WAY	\$2,205		6/15/2017
06608	REROOF INDUSTRIAL ARTS BUILDING - 609 CAMPUS LOOP	\$66,634		6/14/2017
03361	TENANT IMPROVEMENT - INSTALL NEW FIRE ALARM SYSTEM - 635 SELF ESTEEM WAY	\$10,426		6/14/2017
05089	COMMUNICATION TOWER - 631 SELF ESTEEM WAY	\$21,500		4/19/2017
02107	REROOF - 537 HARLEY LESTER LN	\$23,900		2/20/2017
14160	TENANT IMPROVEMENTS - HOPE CLINIC - CHANGE OF OCCUPANCY - 635 SELF ESTEEM EAY	\$448,700	9/7/2017	12/8/2016
09854	HOOD SYSTEM - 612 CAMPUS LOOP	\$2,400		8/22/2016

05438	CELL TOWER UPGRADES - INSTALL CBINETS & COAX - 631 SELF ESTEEM WAY	\$10,000		5/11/2016
00718	CELL TOWER UPGRADES - MASTEC NETWORK SOLUTIONS LLC - 631 SELF ESTEEM WAY	\$20,000		1/22/2016
06291	CELL TOWER ANTENNA	\$21,000		7/22/2015
11984	REROOF - 601 CAMPUS LOOP	\$227,581		12/9/2014
11243	12' X 26' METAL ACCESSORY STRUCTURE - 539 HARLEY LESTER LN	\$4,680		11/17/2014
05807	INSTALLATION OF FIRE ALARM FOR 3 NEW HVAC SYSTEMS	\$9,500		6/12/2014
04522	INSTALL 12' X 21' METAL STRUCTURE - 539 HARLEY LESTER LN	\$3,780		5/14/2014
04355	AT&T - REPLACING ANTENNAS & ADDING RADIOS TO EXISTING TOWER SITE - 631 SELF ESTEEM WAY	\$50,000		5/9/2014
02916	MECHANICAL	\$700,000		4/3/2014
02082	ADD ANTENNAS TO EXISTING CELL TOWER/SPRINT	\$25,000		3/10/2014
06379	LOW VOLTAGE FOR CABLING - 500 EDUCATION LOOP	\$1,000		7/29/2013
06298	INSTALL LOW VOLTAGE WIRING FOR ACCESS CONTROL SYSTEM	\$39,690		7/25/2013
05017	ANTENNA REPLACEMENT - 631 SELF ESTEEM WAY	\$12,500		6/17/2013
04963	ELECTRICAL - 500 EDUCATION LOOP	\$1,800		6/14/2013
04997	INSTALL NEW FIRE ALARM SYSTEM IN TENANT SPACE - 601 CAMPUS LOOP	\$38,200		6/14/2013
04777	ADDING WIRELESS RADIO TO FACP FOR FIRE ALARM	\$972		6/11/2013
03465	07/30/2013 02:53:39 PM Created by: Kim Permit Key 12013050203465 was added!	\$7,843		5/2/2013
02540	INTERIOR ALTERATION - 500 EDUCATION LOOP	\$5,000		4/8/2013
02150	ELECTRICAL - 537 HARLEY LESTER LN	\$31,000		3/26/2013
01768	MOVE 4 LIGHT POLES - 500 EDUCATION LOOP	\$5,000		3/12/2013
01357	INSTALLING LOW VOLTAGE PAGING SYSTEM - FL HOSPITAL LAUNDRY FACILITY	\$9,905		2/26/2013
01324	CELL TOWER ANTENNAS FOR T-MOBILE - 631 SELF ESTEEM WAY	\$25,000		2/25/2013
01195	CONCRETE RETAINING WALL & HANDRAIL - FL HOSPITAL LAUNDRY	\$23,000		2/20/2013
09190	SITE LIGHTING	\$22,000		12/12/2012
08690	FOUNDATION ONLY	\$515,000		11/21/2012
08406	FIRE SPRINKLER SYSTEM INSTALLATION	\$60,000		11/8/2012
08219	BUILD A NEW STATE OF THE ART LAUNDRY PROCESSING PLANT	\$6,585,000	8/1/2013	10/31/2012
07352	DEMOLISH 1 WAREHOUSE, 3 SMALL BLDGS, & LARGE BLDG - 3940 DIRECTIONS LN	\$20,000		9/27/2012

06022	CELL TOWER EQUIPMENT - 631 SELF ESTEEM WAY	\$30,000	8/8/2012
05921	ANTENNAS REPLACED ON CELL TOWER - 631 SELF ESTEEM WAY	\$30,000	8/6/2012
05430	RE-BUILD ENTRANCE AREA	\$26,000	7/19/2012
02154	ADD WIRELESS RADIO FOR FIRE ALARM MONITORING - 601 CAMPUS LOOP	\$868	3/23/2012
01322	REROOF - 625 CAMPUS LOOP	\$6,560	2/28/2012
00656	REPLACE 3 EXISTING ANTENNAS W/3 NEW ANTENNAS - T-MOBILE - 631 SELF ESTEEM WAY	\$9,100	1/31/2012
00286	REROOF - 2735 SAND LAKE RD	\$65,000	1/13/2012
06815	ELECTRICAL; PAD PER PERMIT 631 SELF ESTEEM WAY	\$1,000	8/23/2011
05518	INSTALLING FIRE ALARM SYSTEM; PAD PER PERMIT 500 EDUCATION LOOP	\$1,086	7/8/2011
05516	INSTALLING FIRE ALARM SYSTEM; PAD PER PERMIT 632 CAMPUS LOOP	\$1,086	7/8/2011
05357	ANTENNAS ON EXISTING TOWER - 631 SELF ESTEEM WAY	\$91,300	7/1/2011
05214	INSTALLING FIRE ALARM SYSTEM IN EXISTING BUILDING - 2735 SAND LAKE RD	\$10,925	6/27/2011
03265	ALUMINUM ROOF AWNING; PAD PER PERMIT 530 HARLEY LESTER LN	\$1,600	4/28/2011
02973	MOVE EXISTING 100 AMP METER W/NEW POLE; PAD PER PERMIT 627 SELF ESTEEM WAY	\$1,000	4/21/2011
02054	INSTALL 13' X 30' ALUMINUM AWNING; PAD PER PERMIT 530 HARLEY LESTER LN	\$5,850	3/23/2011
01323	REROOF - 3932 DIRECTIONS LN	\$7,995	2/28/2011
09334	DUMPSTER ENCLOSURE; PAD PER PERMIT 515 HARLEY LESTER LN	\$4,900	12/3/2010
09092	REROOF; PAD PER PERMIT 632 CAMPUS LOOP	\$350,000	11/22/2010
08269	ELECTRICAL; PAD PER PERMIT 515 HARLEY LESTER LN	\$80,000	10/19/2010
05486	CHANGE OF USE; PAD PER PERMIT 635 SELF ESTEEM WAY	\$20,422	7/12/2010
09259	CELL TOWER; PAD PER PERMIT 631 SELF ESTEEM WAY	\$20,000	11/23/2009
08368	MECHANICAL; PAD PER PERMIT 612 CAMPUS LOOP	\$32,000	10/21/2009
07888	ELECTRICAL; PAD PER PERMIT 570 CAMPUS LOOP	\$4,890	10/2/2009
07129	REPLACE GENERATOR ON CELL TOWER; PAD PER PERMIT 639 SELF ESTEEM WAY	\$10,000	9/2/2009
05848	REROOF; PAD PER PERMIT 530 HARLEY LESTER LN	\$16,400	7/17/2009
05191	2 WALL SIGNS - CAMPUS LOOP	\$4,459	6/29/2009
04923	REROOF-PERMIT PAD 632 CAMPUS LOOP	\$130,000	6/18/2009
03311	WALL SIGN - PERMIT PAD 2735 SAND LAKE RD	\$4,200	4/30/2009
11731	DROP CEILING OVER BRICK WALL; PAD PER PERMIT 570 CAMPUS LOOP	\$16,309	12/2/2008

09824	ALUMINUM FENCE; PAD PER PERMIT 1379 W SR 436	\$90,000		9/24/2008
08820	DEMOLISH OLD BOY'S DORM; PAD PER PERMIT 640 CAMPUS LOOP	\$69,500		8/26/2008
07007	REPAIR DETERIORATING PLUMBING LINES & ASSOCIATED FIXTURES	\$60,000		6/30/2008
05024	REROOF; PAD PER PERMIT 635 SELF ESTEEM WAY	\$18,920		5/13/2008
04277	INSTALLING GENERATOR; PAD PER PERMIT 639 SELF ESTEEM WAY	\$11,000		4/23/2008
01017	INSTALL 8 CEILING SPEAKERS & CABLE TO CONNECT TO PHONE; PAD PER PERMIT 578 CAMPUS LOOP	\$1,386		1/31/2008
00951	187' X 5' ALUMINUM FENCE W/DOUBLE GATE & 258' X 6' VINYL CHAIN-LINK FENCE W/GATE; PAD PER PERMIT 1407 VIVALDI PL	\$8,500		1/29/2008
12488	ADD SUN SHADES TO THE EXTERIOR OF THE DORMITORY BUILDING; PAD PER PERMIT 578 CAMPUS LOOP	\$19,500		11/26/2007
12039	ELECTRICAL; PAD PER PERMIT 570 CAMPUS LOOP	\$2,350		11/8/2007
08899	INSTALL FIRE ALARM SYSTEM; PAD PER PERMIT 570 CAMPUS LOOP	\$750		8/8/2007
08545	INSTALL FIRE SPRINKLERS; PAD PER PERMIT 578 CAMPUS LOOP	\$34,000		8/1/2007
07986	INSTALL FIRE SPRINKLERS; PAD PER PERMIT 578 CAMPUS LOOP	\$7,200		7/20/2007
07588	INSTALL FIRE ALARM SYSTEM; PAD PER PERMIT 578 CAMPUS LOOP	\$35,700		7/11/2007
06583	RENOVATION; PAD PER PERMIT 3916 E SR 436	\$145,475		6/18/2007
05746	CELL TOWER; PAD PER PERMIT 639 SELF ESTEEM WAY	\$18,000		5/29/2007
05442	REROOF; PAD PER PERMIT 578 CAMPUS LOOP	\$86,850		5/21/2007
02779	INSTALL FIRE SPRINKLERS; PAD PER PERMIT 578 CAMPUS LOOP	\$67,342		3/19/2007
01546	REROOF	\$58,795		2/14/2007
12338	RENOVATION & EXPANSION OF DORMITORY; PAD PER PERMIT 578 CAMPUS LOOP	\$4,900,000	11/20/2007	11/1/2006
11547	REROOF; PAD PER PERMIT 3916 E SR 436	\$92,000		10/11/2006
11550	REROOF; PAD PER PERMIT 3912 E SR 436	\$160,000		10/11/2006
03418	REROOF CHURCH	\$39,650		3/28/2006
00343	GROUND SIGN; PAD PER PERMIT 3851 E SR 436	\$57,000		1/11/2006
14180	REROOF DUE TO HURRICANE DAMAGE; PAD PER PERMIT 631 SELF ESTEEM WAY	\$6,900		11/9/2004
14210	REROOF DUE TO HURRICANE DAMAGE; PAD PER PERMIT 583 CAMPUS LOOP	\$6,900		11/9/2004
02098	ADDING ANTENNAES TO EXISTING TOWER; PAD PER PERMIT 631 SELF ESTEEM WAY	\$10,000		2/26/2004
12101	INSTALL FIRE ALARM SYSTEM	\$1,358		10/28/2003

03589	INSTALL FIRE ALARM SYSTEM	\$1,358		4/1/2003
01784	MOVE MODULAR CLUBHOUSE TO ANOTHER LOCATION ON PROPERTY; PAD PER PERMIT 3898 FACULTY LN	\$35,000	6/3/2004	2/20/2003
08381	REROOF; PAD PER PERMIT 3903 FACULTY LN	\$2,400		8/1/2002
00116	PAD PER PERMIT; 629 SELF ESTEEM WAY INSTALL FIRE ALARM	\$400		1/1/2001
09506	FIRE PROTECTION; NEXTEL NORTHEAST EQUIPMENT SHELTER; PAD PER PERMIT 631 SELF ESTEEM WAY	\$36,900		10/19/2000
09525	FIRE PROTECTION; PAD PER PERMIT 631 SELF ESTEEM WAY	\$15,000		10/19/2000
09133	ELECTRIC WIRING; PAD PER PERMIT 3702 E SR 436	\$0		10/5/2000
08660	FOREST LAKE ACADEMY - AWNING; PAD PER PERMIT 591 SERVICE LN	\$1,200		9/20/2000
03871	INSTALL FIRE ALARM SYSTEM; PAD PER PERMIT 591 SERVICE LN	\$3,300		4/1/2000
02307	FOREST LAKE ACADEMY - DOUBLE WIDE MOD CLASS; PAD PER PERMIT 591 SERVICE LN	\$20,000		3/1/2000
10577	612 CAMPUS LOOP: REROOF COMMERCIAL-CAFETERIA	\$44,500		1/1/2000
10431	ELECTRIC WIRING; PAD PER PERMIT 631 SELF ESTEEM WAY	\$0		12/16/1999
08223	FIRE ALARM; PAD PER PERMIT 525 HARLEY LESTER LN	\$9,000		11/1/1999
07735	INSTALL PYRO CHEM FIRE SYSTEM; PAD PER PERMIT 525 HARLEY LESTER LN	\$1,300		9/1/1999
05558	STORAGE SHED; PAD PER PERMIT 629 SELF ESTEEM WAY	\$3,600		7/1/1999
04675	INSTALL FIRE SPRINKLER SYSTEM; 3801 SEMORAN BLVD E	\$28,660		6/1/1999
04042	YOUTH SERVICES BLDG; PAD PER PERMIT 535 HARLEY LESTER LN	\$103,000		5/1/1999
01231	SDA DORM 3-STORY REROOF; PAD PER PERMIT 3909 SEMORAN BLVD E	\$25,000		2/1/1999
09233	ELECT ROOM (SHED); PAD PER PERMIT 490 GOLF CT	\$1,200		11/1/1998
08054	MODULAR CLUB HOUSE; THE PRACTICE TEE/ORLANDO; PAD PER PERMIT 500 GOLF CT	\$2,499		10/1/1998
07395	128 SQ FT SHED; PAD PER PERMIT 611 CAMPUS LOOP	\$4,000	6/4/1999	9/1/1998
07522	FIRE ALARM; PAD PER PERMIT 599 CAMPUS LOOP	\$4,455		9/1/1998
05478	CHANGE-OUT METER BASE & WIRE; PAD PER PERMIT 2909 SR 436 W	\$800		7/1/1998
05312	REROOF 25 SQ; PAD PER PERMIT 2909 SR 436 E	\$3,100		7/1/1998
03327	SERVICE, LIGHTS, POLES	\$45,000		5/1/1998
04732	IRRIGATION WELL; PAD PER PERMIT 500 GOLF CT	\$0		7/1/1997
06713	GYMNASIUM MISC ELECTRICAL; PAD PER PERMIT 3909 SEMORAN BLVD E	\$2,499		10/1/1996

06239	GYMNASIUM-AUDIO SYSTEM PAD PER PERMIT 632 CAMPUS LOOP FOREST LAKE ACADEMY	\$5,920		9/1/1996
06109	SDA LAUNDRY A/C CHANGEOUT PAD PER PERMIT 3909 SEMORAN BLVD E FOREST LAKE ACADEMY LAUNDRY	\$4,500		9/1/1996
05974	PLAYGROUND SLAB PAD PER PERMIT 3909 SEMORAN BLVD E	\$8,000		9/1/1996
01743	GYM-SPRINKLERS	\$24,295		3/1/1996
01473	GYMNASIUM	\$740,000	9/27/1996	3/1/1996
00809	GYM	\$24,000		2/1/1996
07643	FOREST LAKE THRIFT STORE	\$1,952		11/1/1995
07436	LAUNDRY RM W/CHAIR & RAMP & DOCK	\$5,000	1/9/1997	11/1/1995
05601	SECURITY SYSTEM	\$445		8/1/1995
05376		\$2,000		8/1/1995
04937	INDUSTRIAL EDUCATION BLDG	\$3,600,000	1/23/1996	7/1/1995
03662	EAST GATE MAIN SWING GATE	\$24,000		6/1/1995
03663	WEST GATE PROJECT SECONDARY	\$24,000		6/1/1995
05563	CARPORT	\$2,475		8/1/1994
04710	FENCE 2801 SAND LAKE RD	\$7,000		7/1/1994
08933	FOREST LAKE CHURCH SANCTUARY 3801 SEMORAN BLVD E	\$250,000		9/1/1993
05280	SHED TO STORE ATHELETIC EQUIP	\$4,368		5/1/1993
01658	WHEELCHAIR REAMPS & CART STORAGE PER PERMIT: 3909 ST RD 436	\$40,000	6/22/1993	2/1/1993
05864	DEMOLISH 2 STRUCTURES; PERMIT ADDRESS: 3909 E SEMORAN BLVD	\$0		10/1/1991
06208	STORAGE BLDG - 192 SQ FT 3944 DIRECTIONS LN	\$3,800		9/1/1990

Extra Features				
Description	Year Built	Units	Cost	Assessed
POOL COMMERCIAL	1965	3465	\$202,079	\$121,247
FIREPLACE 2	1979	1	\$6,000	\$2,400
ALUM PORCH W/CONC FL	1982	299	\$2,733	\$1,093
ALUM UTILITY BLDG W/CONC FL	1960	1500	\$19,800	\$7,920
COMMERCIAL ASPHALT DR 2 IN	1982	152000	\$372,400	\$148,960
COMMERCIAL CONCRETE DR 4 IN	1986	25300	\$117,898	\$47,159
BLOCK WALL	1965	1000	\$9,200	\$3,680
6' CHAIN LINK FENCE	1965	300	\$3,504	\$1,402
COOL DECK PATIO	1965	2995	\$13,208	\$5,283
10' CHAIN LINK FENCE	1965	340	\$6,620	\$2,648
ALUM UTILITY BLDG W/CONC FL	1960	1344	\$17,741	\$7,096
POLE LIGHT 1 ARM	1982	3	\$5,562	\$5,562
WOOD UTILITY BLDG	1960	3168	\$32,789	\$13,116

4' CHAIN LINK FENCE	1965	95	\$740	\$296
COMM: TENNIS COURT	1965	10920	\$44,990	\$17,996
10' CHAIN LINK FENCE	1965	130	\$2,531	\$1,012

Zoning	
Zoning	PD
Description	Planned Development
Future Land Use	PD
Description	Planned Development

Political Representation	
Commissioner	District 3 - Lee Constantine
US Congress	District 7 - Cory Mills
State House	District 39 - Doug Bankson
State Senate	District 10 - Jason Brodeur
Voting Precinct	Precinct 37

School Districts	
Elementary	Wekiva
Middle	Teague
High	Lake Brantley

Utilities	
Fire Station #	Station: 13 Zone: 134
Power Company	DUKE
Phone (Analog)	CENTURY LINK
Water	Sunshine Water Services
Sewage	Sunshine Water Services
Garbage Pickup	
Recycle	
Yard Waste	
Hauler #	

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**Seminole County Government
Development Services Department
Planning and Development Division
Credit Card Payment Receipt**

If you have questions about your application or payment, please email us eplandesk@seminolecountyfl.gov or call us at: (407) 665-7371.

Receipt Details

Date: 7/2/2024 8:54:09 AM
Project: 24-80000091
Credit Card Number: 44*****3041
Authorization Number: 027339
Transaction Number: 020724C2B-B43C5892-272B-4FF2-92D0-C0AE60AE08B8
Total Fees Paid: 52.50

Fees Paid

Description	Amount
CC CONVENIENCE FEE -- PZ	2.50
PRE APPLICATION	50.00
Total Amount	52.50

SEMINOLE COUNTY GOVERNMENT
 1101 EAST FIRST STREET, 2ND FLOOR, WEST WING
 SANFORD, FLORIDA 32771

PROJECT NAME:	FOREST LAKE - PRE-APPLICATION	PROJ #: 24-80000091
APPLICATION FOR:	DR - PRE-APPLICATION DRC	
APPLICATION DATE:	6/28/24	
RELATED NAMES:	EP SIMONE JOHNSON	
PROJECT MANAGER:	KATHY HAMMEL (407) 665-7389	
PARCEL ID NO.:	08-21-29-300-0110-0000	
PROJECT DESCRIPTION	PROPOSED SPECIAL EXCEPTION FOR EXTENDING AN EXISTING COMMUNICATION TOWER BY 15' ON 196.43 ACRES IN THE PD ZONING DISTRICT LOCATED ON THE SOUTH SIDE OF SAND LAKE RD, EAST OF HUNT CLUB BLVD	
NO OF ACRES	196.43	
BCC DISTRICT	Lee Constantine	
CURRENT ZONING	PD	
LOCATION	ON THE SOUTH SIDE OF SAND LAKE RD, EAST OF HUNT CLUB BLVD	
FUTURE LAND USE-	PD	
SEWER UTILITY	SUNSHINE WATER SERVICES	
WATER UTILITY	SUNSHINE WATER SERVICES	
APPLICANT:	CONSULTANT:	
SIMONE JOHNSON AMERICAN TOWER CORPORATION 10 PRESIDENTIAL WAY WOBURN MA 01801 (407) 724-2626 SJOHNSON@TEPGROUP.NET	N/A	

Please be advised, these comments are intended to assist you in finding information that will enable you to prepare for your plan review. They are not intended to replace or exempt you from the applicable Codes and Ordinances as they pertain to your project. These comments are informational only and do not grant any approvals. Also be advised, from time to time Codes and Ordinances are amended and the comments provided only reflect the regulations in effect at the time of review.

The development project review will be completed utilizing Electronic Plan Review (ePlan). For questions regarding this process, please consult the Electronic Plan Review Applicant User Guide that can be found [HERE](#).

PROJECT MANAGER COMMENTS

A Special Exception was approved in 1998 for a 115' foot communication tower. The existing tower is 135' because the Seminole County Land Development Code Sec 30.6.6.7 (d) allows for an increase of 20' when co-locating an additional antenna. The proposed increase of 15' will require an amendment to the Special Exception.

PROJECT AREA ZONING AND AERIAL MAPS



AGENCY/DEPARTMENT COMMENTS

Item	REVIEWED BY	TYPE
1	Building Division	Any building construction and/or modification will require Building permits and engineered plans to meet the current 8th ed (2023) Florida Building Codes.
2	Public Safety - Fire Marshal	Fire department access road shall have an unobstructed width of not less than 20 ft in accordance with the specifications of NFPA 1, Section 18.2.3.5.1.1
3	Public Safety - Fire Marshal	Please verify the composition of the fire department access road (driveway) to the site/structure. This shall be a compacted all weather surface and comprised of asphalt, concrete, millings, etc. It shall not consist of sugar sand. NFPA 1, 18.2.3.4.2
4	Public Safety - Fire	If any actual structure is required (other than the pole) the following shall be required: Adequate water supply with fire flow calculations for fire protection (hydrants) shall be provided per section 18.3 and 18.4 of NFPA 1.
5	Public Safety - Fire Marshal	Fire department access roads shall have an unobstructed vertical clearance of not less than 13 feet 6 inch (NFPA 1, 18.2.3.5.1.2)
6	Buffers and CPTED	A full buffer review will be done at time of site plan review, or at rezone if rezoning to a Planned Development.
7	Public Works - Engineering	Based on FEMA FIRM Map the entire tower site appears to be within the floodplain (Zone A). Seminole County does not allow fill in the floodplain without equal volumetric compensation. The applicant shall consider moving the proposed equipment outside of the floodplain or elevating the equipment at least one (1) foot above the the 100-yr flood line. Based on the available County data, the site appears to be near wetland area. Please be advised that the County wetland maps can be used only as guidelines and cannot be used to make jurisdictional wetlands determination. A field determination can be made by a qualified environmental scientist. Wetland boundaries need to be delineated by a wetlands specialist and approved by Seminole County and staff of FDEP if residential not in the WRPA or SJRWMD if residential in the WRPA or if in a Commercial plat. The plat must show the approved wetland line and provide the date and name of the SJRWMD reviewer. A 15-foot minimum, 25-foot average undisturbed upland buffer must be provided from all approved jurisdictional wetland boundaries.
8	Public Works - Engineering	Depending on the size and weight of the vehicles delivering the new tower equipment and the vehicles that will be accessing the site for regular maintenance of the tower, a stabilized access road to the tower site may be required at the Site Plan permitting.
9	Public Works - Engineering	The proposed project is located within the Little Wekiva Drainage Basin (Tributary C).
10	Planning and Development	The proposed project is subject to Site Plan Review Process: SCLDC Chapter 40. Information can be found at: http://cdn.seminolecountyfl.gov/departments-services/development-services/planning-development/development-processes-requirements/index.shtml

- 11 Planning and Development Seminole County requires community meetings for all Future Land Use Amendments, Rezones, Special Exceptions, and non-residential Variances. Please see the Community Meetings link in the Resources tab located at the top of your ePlan task window or below for the requirements that the applicant must meet. <https://www.seminolecountyfl.gov/core/fileparse.php/3423/urlt/Community-Meeting-Procedure.pdf>
- 12 Planning and Development Seminole County requires community meetings for all Future Land Use Amendments, Rezones, Special Exceptions, and non-residential Variances. Please see the Community Meetings link in the Resources tab located at the top of your ePlan task window or below for the requirements that the applicant must meet. <https://www.seminolecountyfl.gov/core/fileparse.php/3423/urlt/Community-Meeting-Procedure.pdf>
- 13 Planning and Development New Public Notification Procedures are required for all Future land Use Amendments, Rezones, Special Exceptions, and non-residential Variances. Please see the Public Notification Procedures link in the Resources tab located at the top of your ePlan task window or below for the requirements: <https://www.seminolecountyfl.gov/core/fileparse.php/3423/urlt/Public-Notice-Amendment-Procedures.pdf>

AGENCY/DEPARTMENT EFORM COMMENTS AND PROJECT STATUS

This section shows the reviewers of this project from the various County agencies. It may also include additional comments for review and response.

DEPARTMENT	REVIEWER
Planning and Development	Kathy Hammel khammel@seminolecountyfl.gov
Public Safety - Fire Marshal	Matthew Maywald mmaywald@seminolecountyfl.gov
Buffers and CPTED	Maya Athanas mathanas@seminolecountyfl.gov
Environmental Services	James Van Alstine jvanalstine@seminolecountyfl.gov
Public Works - Engineering	Vladimir Simonovski vsimonovski@seminolecountyfl.gov
Natural Resources	Sarah Harttung sharttung@seminolecountyfl.gov
Public Works - Impact Analysis	William Wharton wwharton@seminolecountyfl.gov
Building Division	Jay Hamm jhamm@seminolecountyfl.gov

RESOURCE INFORMATION

Seminole County Land Development Code:

<http://www.seminolecountyfl.gov/departments-services/development-services/planning-development/codes-regulations/>

Seminole County Comprehensive Plan:

<http://www.seminolecountyfl.gov/departments-services/development-services/planning-development/codes-regulations/comprehensive-plan/index.shtml>

Development Services:

<http://www.seminolecountyfl.gov/departments-services/development-services/>

Wekiva Consistency form:

<http://www.seminolecountyfl.gov/core/fileparse.php/3207/urlt/WekivaConReview.pdf>

Seminole County Property Appraiser Maps:

<http://www.scpafl.org>

Seminole County Wetland Information:

<http://www.seminolecountyfl.gov/departments-services/development-services/planning-development/forms-applications-resources/wetl-dock-information.shtml>

FEMA LOMR (Letter of Map Revision):

www.fema.gov

Cities:

Altamonte Springs	(407) 571-8150	www.altamonte.org
Casselberry	(407) 262-7751	www.casselberry.org
Lake Mary	(407) 585-1369	www.lakemaryfl.com
Longwood	(407) 260-3462	www.longwoodfl.org
Oviedo	(407) 971-5775	www.cityofoviedo.net
Sanford	(407) 688-5140	www.sanfordfl.gov
Winter Springs	(407) 327-5963	www.winterspringsfl.org

Other Agencies:

Florida Dept of Transportation	FDOT		www.dot.state.fl.us
Florida Dept of Enviro Protection	FDEP	(407) 897-4100	www.dep.state.fl.us
St. Johns River Water Mgmt Dist	SJRWMD	(407) 659-4800	www.sjrwmd.com
Health Department	Septic	(407) 665-3621	

Other Resources:

Flood Prone Areas	www.seminolecountyfl.gov/gm/building/flood/index.aspx
Watershed Atlas	www.seminole.wateratlas.usf.edu
Seminole Co. Property Appraiser	www.scpafl.org

COMMUNICATION TOWER GUIDELINES (Sec. 30.1362.-1371.)

Communication tower: A tower (including the antenna component) which supports communication (transmission and receiving) equipment. Amateur radio operators' equipment, as licensed by the FCC, shall not be deemed to be a communication tower. Examples of the methods which communication towers may be designed are: (a) self supporting lattice; (b) guyed; (c) monopole, and (d) camouflage.

Written Report (Sec. 30.1363.(i))

Explain and detail the reasons that collocation, camouflaging, alternative site, or a less intrusive tower or antenna was not proposed.

Master Plan (Sec. 30.1368.(f))

1. Setbacks (Sec. 30.1364.(a))
2. Minimum Separations from off-site uses (Sec. 30.1364.(b))
Consent letters are required if reduction is requested (Sec. 30.1364.(b)(3))
3. Location and separation distance between surrounding towers (Sec. 30.1364.(c))
4. Proposed Height (Sec. 30.1364.(d))
5. Structural Design Elements
 - a. Illumination (Sec. 30.1365.(a))
 - b. Finished Color (Sec. 30.1365.(b))
6. Fencing (Sec. 30.1365.(c))
7. Landscaping (Sec. 30.1365.(d))

Surety Bond (Sec. 30.1366.(e)).

Submittal as acceptable guarantee to remove tower in the event of abandonment.

Co-locations (Sec. 30.1368.(f))

Statement describing the anticipated communication tower needs over the next ten (10) years.

Permitting (Sec. 30.1365.(e))

Submittal for permitting as per Building Department requirements.

TELECOMMUNICATION TOWER CHECK LIST

SEMINOLE COUNTY, FLORIDA

Required submittal for use approval	Permitted Towers	Co-location on Existing Towers	Location of ancillary structures that may be approved by the granting of an Administrative Special Exception	Towers Requiring A Special Exception
♦ Application for Special Exception & fee				X
♦ Application for Concurrency Review & fee. <i>(If a Special Exception is required and the site is unmanned this process may be deferred until the site plan approval process. Please complete a Deferral Application.)</i>	X			X
♦ Site Plan detailing the location of all equipment, structures and tower.	X	X	X	X
♦ Provide the proposed coordinates (longitude & latitude).	X	X		X
♦ Legal Description of property. <i>(digital preferred.)</i>	X	X	X	X
♦ Detailed landscape plan & irrigation plan. <i>(Irrigation plan is required for use of medium and high water use plant materials.)</i>	X	X	X	X
♦ A diagram indicating the separation distance from other towers, property zoned residential, property with a residential land use designation or with an existing residence or mobile home.	X			X
♦ If a variance to the separation requirement is requested, provide competent substantial evidence demonstrating unique planning considerations and compatibility impacts.	X			X
♦ An elevation drawing of the tower indicating the type of tower, total height, location of antenna array and type of lighting if applicable. In the case of Camouflage towers photo sims will be required.	X	X	X	X
♦ Provide written reasons why co-location, camouflaging, alternative sites or a less intrusive tower or antenna was not proposed.				X
♦ Propagation maps supporting the need for the tower due to lack of coverage or capacity of the surrounding towers.	X	X	X	X
♦ Application for a setback variance and fee, if not submitted with an application for a Special Exception.	X			X