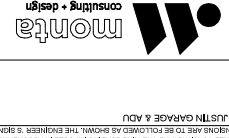


NO.	1
DATE	12/04/2024
ISSUE NO.	15944
ISSUE DATE	06/15/2024
BY	JM
DATE	06/15/2024



JUSTIN GARAGE & ADU
GENERAL NOTES

REV.	DESCRIPTION	DATE
1	ISSUE COMMENTS	06/15/2024
2	ISSUE COMMENTS	06/15/2024
3	ISSUE COMMENTS	06/15/2024

REV.	DESCRIPTION	DATE
1	ISSUE COMMENTS	06/15/2024
2	ISSUE COMMENTS	06/15/2024
3	ISSUE COMMENTS	06/15/2024

THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL JURISDICTIONS PRIOR TO COMMENCING WORK. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL JURISDICTIONS PRIOR TO COMMENCING WORK.

REV.	DESCRIPTION	DATE
1	GENERAL NOTES 1. PERMANENT SHALL BE NOT LESS THAN 3/8 INCHES IN CLEAR WIDTH BELOW THE REINFORCED CONCRETE SLAB. THE PERMANENT SHALL BE PROTECTED TO PREVENT DAMAGE TO THE PERMANENT. EACH CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF THE PERMANENT. THE PERMANENT SHALL BE PROTECTED TO PREVENT DAMAGE TO THE PERMANENT. THE PERMANENT SHALL BE PROTECTED TO PREVENT DAMAGE TO THE PERMANENT.	06/15/2024
2	GENERAL NOTES 2. PERMANENT SHALL BE NOT LESS THAN 3/8 INCHES IN CLEAR WIDTH BELOW THE REINFORCED CONCRETE SLAB. THE PERMANENT SHALL BE PROTECTED TO PREVENT DAMAGE TO THE PERMANENT. EACH CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF THE PERMANENT. THE PERMANENT SHALL BE PROTECTED TO PREVENT DAMAGE TO THE PERMANENT. THE PERMANENT SHALL BE PROTECTED TO PREVENT DAMAGE TO THE PERMANENT.	06/15/2024
3	GENERAL NOTES 3. PERMANENT SHALL BE NOT LESS THAN 3/8 INCHES IN CLEAR WIDTH BELOW THE REINFORCED CONCRETE SLAB. THE PERMANENT SHALL BE PROTECTED TO PREVENT DAMAGE TO THE PERMANENT. EACH CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF THE PERMANENT. THE PERMANENT SHALL BE PROTECTED TO PREVENT DAMAGE TO THE PERMANENT. THE PERMANENT SHALL BE PROTECTED TO PREVENT DAMAGE TO THE PERMANENT.	06/15/2024

THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL JURISDICTIONS PRIOR TO COMMENCING WORK. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL JURISDICTIONS PRIOR TO COMMENCING WORK.

Table with 3 columns: REV., DESCRIPTION, DATE. Includes notes about architectural plot plan and survey details.

JUSTIN GARAGE & ADU... ARCHITECTURAL PLOT PLAN... MONTA CONSULTING & DESIGN OF WIR & ASSOCIATES, LLC

Project No.: 19544, Date: 10-24-2024, A1.0

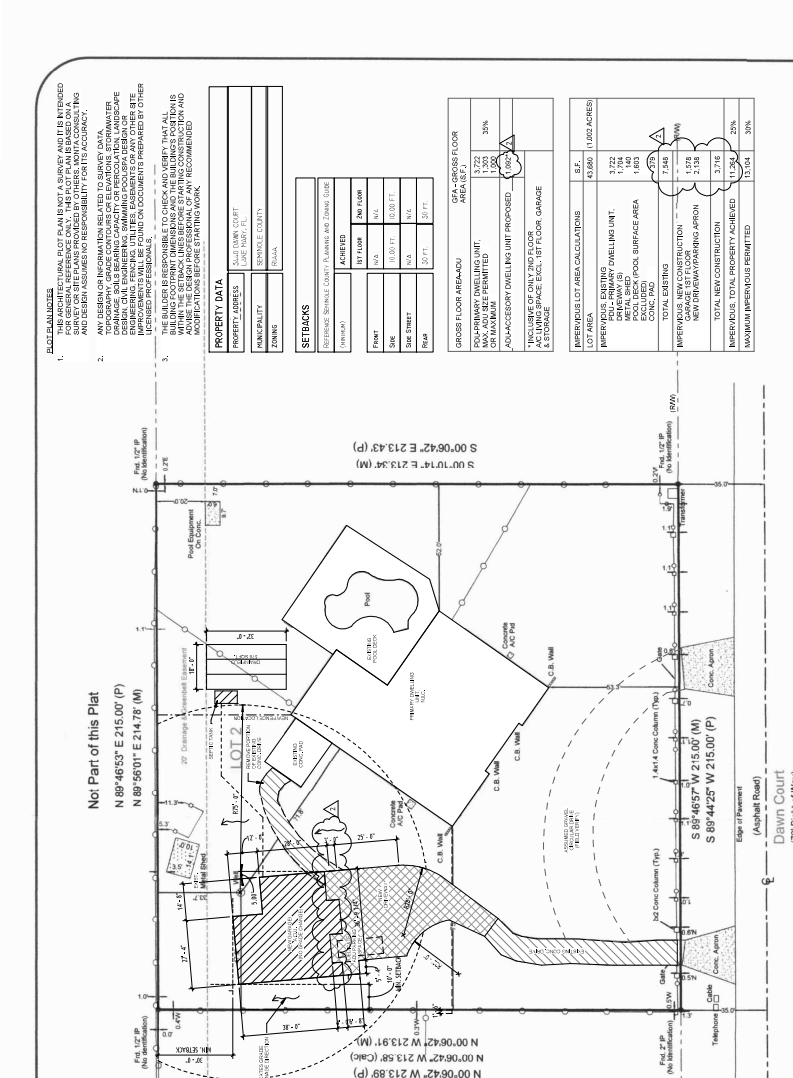


Table with 2 columns: REV., DESCRIPTION, DATE. Includes notes about architectural plot plan and survey details.

Architectural Plot Plan details: JUSTIN GARAGE & ADU, MONTA CONSULTING & DESIGN OF WIR & ASSOCIATES, LLC

Project information: 19544, 10-24-2024, A1.0

NOTICE: THIS ARCHITECTURAL PLOT PLAN IS NOT A SURVEY AND IS NOT TO BE USED AS SUCH... THE INFORMATION CONTAINED IN THIS DOCUMENT IS COPYRIGHTED AND IS THE EXCLUSIVE PROPERTY OF MONTA CONSULTING & DESIGN OF WIR & ASSOCIATES, LLC.

LEGAL DESCRIPTION: LOT 2, DAWN ESTATES, ACCORDING TO THE PLAT THEREOF AS RECORDED IN PLAT BOOK 18, PAGE 10, OF THE PUBLIC RECORDS OF SEMINOLE COUNTY, FLORIDA.

- Legend: C - Calculated, CP - Chain of Property, CR - Condemned, etc.

BOUNDARY SURVEY: Legal Description: LOT 2, DAWN ESTATES, ACCORDING TO THE PLAT THEREOF AS RECORDED IN PLAT BOOK 18, PAGE 10, OF THE PUBLIC RECORDS OF SEMINOLE COUNTY, FLORIDA.

ATLAS MARKETING GROUP, LLC, NEW URBAN TITLE & ESCROW, INC., OLD REPUBLIC INSURANCE COMPANY, FINEHURST CAPITAL, LLC

THESE STRUCTURAL DRAWINGS ARE TO BE USED IN ACCORDANCE WITH THE LOCALITY OF THE PROJECT AND THE ENGINEER'S LICENSE. THE ENGINEER IS NOT RESPONSIBLE FOR THE ACCURACY OF THE INFORMATION PROVIDED BY THE CLIENT. THE ENGINEER'S LIABILITY IS LIMITED TO THE DESIGN AND CONSTRUCTION OF THE STRUCTURE. THE CLIENT IS RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND FOR ANY REQUIRED CLARIFICATIONS. THESE DRAWINGS ARE TO BE FOLLOWED AS SHOWN. ANY CHANGES TO THE DESIGN SHALL BE MADE BY THE ENGINEER'S WRITTEN INSTRUCTIONS. ANY CHANGES TO THE DESIGN SHALL BE MADE BY THE ENGINEER'S WRITTEN INSTRUCTIONS. ANY CHANGES TO THE DESIGN SHALL BE MADE BY THE ENGINEER'S WRITTEN INSTRUCTIONS.

REV.	DESCRIPTION	DATE
1	ISSUED FOR PERMITS	08/25/2024
2	ISSUED FOR PERMITS	08/25/2024

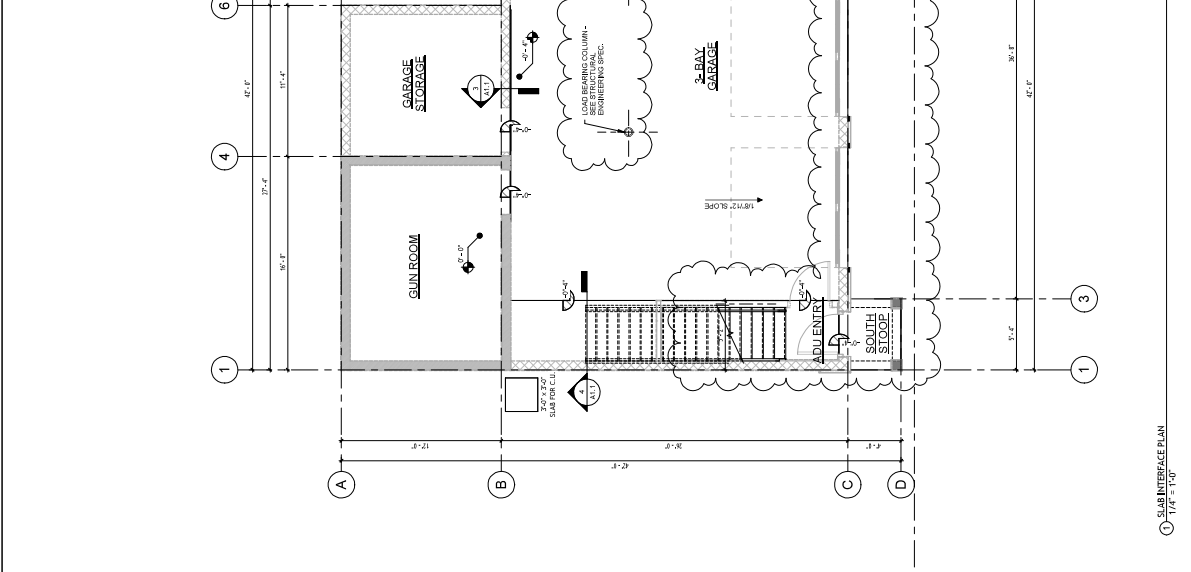
JUSTIN GARAGE & ADU
 1000 S. GARDEN AVE. SUITE 100
 TAMPA, FL 33606
 TEL: 813.288.1111
 FAX: 813.288.1112
 WWW.MONTA-CONSULTING.COM

OF WMR & ASSOCIATES, LLC
 1000 S. GARDEN AVE. SUITE 100
 TAMPA, FL 33606
 TEL: 813.288.1111
 FAX: 813.288.1112
 WWW.MONTA-CONSULTING.COM

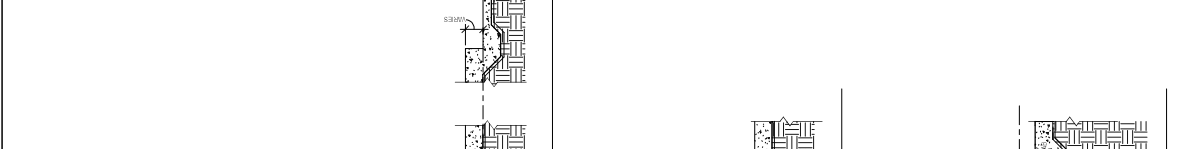
monta consulting + design
 1000 S. GARDEN AVE. SUITE 100
 TAMPA, FL 33606
 TEL: 813.288.1111
 FAX: 813.288.1112
 WWW.MONTA-CONSULTING.COM

PROJECT NO.: 195844
 DATE: 10/24/2024
 SCALE: 1/4" = 1'-0"

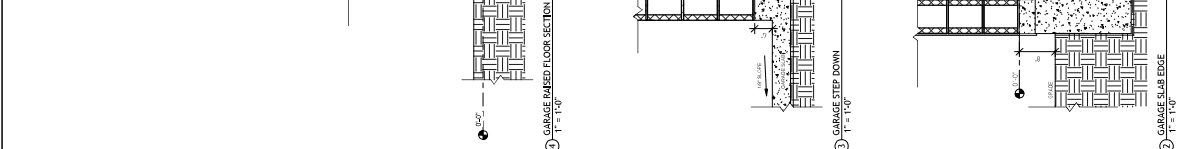
A1.1
 SLAB INTERFACE PLAN
 1/4" = 1'-0"



① SLAB INTERFACE PLAN
 1/4" = 1'-0"



② GARAGE RAISED FLOOR SECTION
 1/4" = 1'-0"



③ GARAGE STEP DOWN
 1/4" = 1'-0"



④ GARAGE SLAB EDGE
 1/4" = 1'-0"

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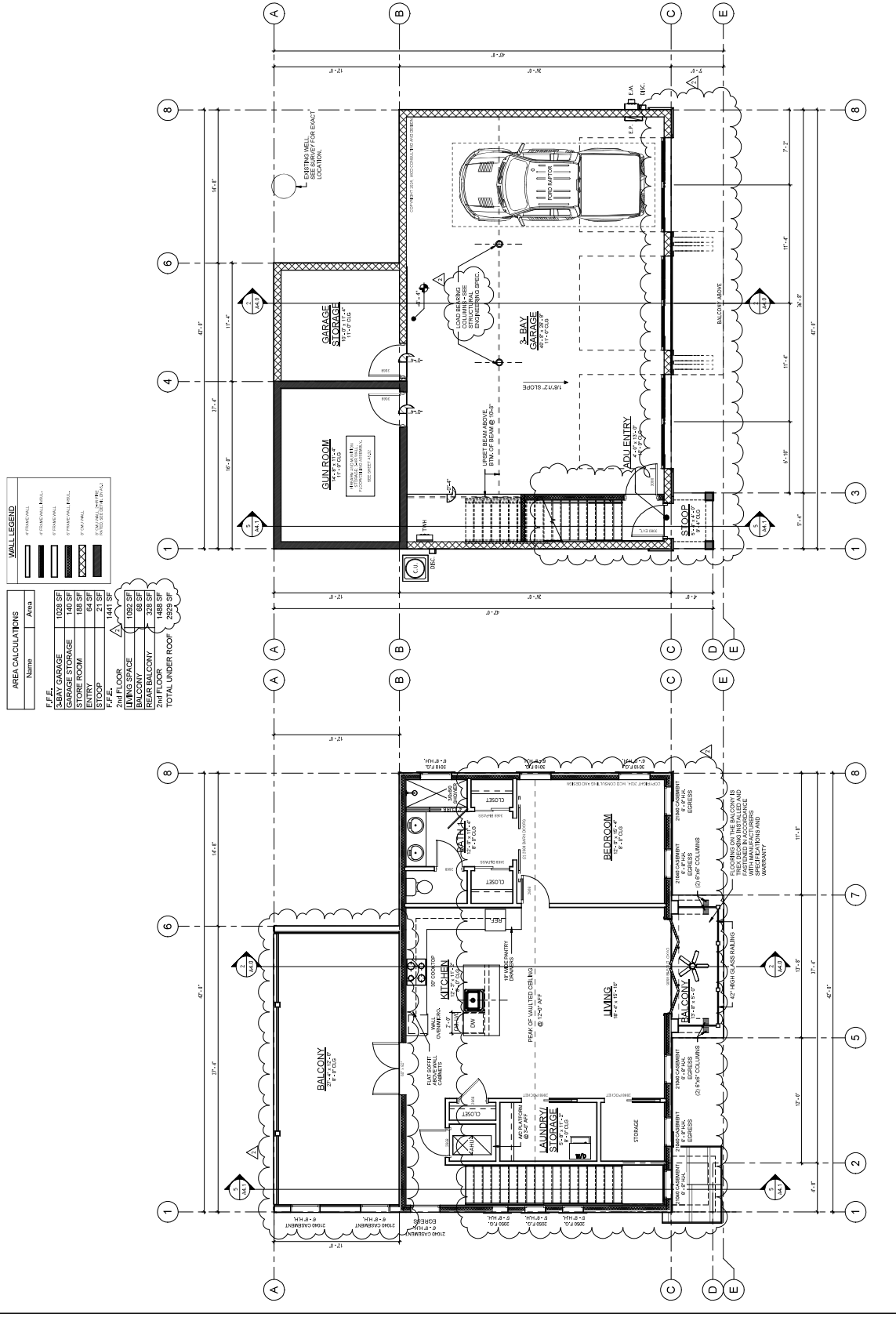
PROJECT NO.	195844
DATE	10/24/2024
DRAWN BY	JM
CHECKED BY	JM
DATE	10/24/2024



MONTA CONSULTING & DESIGN
OF WMR & ASSOCIATES, LLC
1865 GREENWOOD BLVD, SUITE 1725 - LAKE MANA, FL 32746
PHONE: 407-481-1977 - WWW.MONTACONSULTING.COM

REV.	DESCRIPTION	DATE
1	ISSUE FOR PERMITS	10/24/24
2	ISSUE FOR PERMITS	10/24/24
3	ISSUE FOR PERMITS	10/24/24

JUSTIN GARAGE & ADU
REFERENCE PLANS
THESE PLANS ARE TO BE USED FOR PERMITTING PURPOSES ONLY. THE ENGINEER IS NOT RESPONSIBLE FOR THE ACCURACY OF THE INFORMATION PROVIDED ON THESE PLANS. THE ENGINEER IS NOT RESPONSIBLE FOR THE ACCURACY OF THE INFORMATION PROVIDED ON THESE PLANS. THE ENGINEER IS NOT RESPONSIBLE FOR THE ACCURACY OF THE INFORMATION PROVIDED ON THESE PLANS.



Area Calculations	Name	Area
F.F.F.	1-BAY GARAGE	1028 SF
	GARAGE STORAGE	140 SF
	GUN ROOM	140 SF
	ENTRY	64 SF
	STOOP	21 SF
	F.F.F.	1441 SF
	2ND FLOOR	140 SF
	REAR BALCONY	66 SF
	2ND FLOOR	328 SF
	TOTAL UNDER ROOF	2929 SF

WALL LEGEND	Symbol	Description
1	---	FOUNDATION
2	---	CONCRETE WALL
3	---	FOUNDATION WALL
4	---	FOUNDATION WALL
5	---	FOUNDATION WALL
6	---	FOUNDATION WALL
7	---	FOUNDATION WALL
8	---	FOUNDATION WALL
9	---	FOUNDATION WALL
10	---	FOUNDATION WALL

JUSTIN GARAGE & ADU

DATE: 10/24/2024
 DRAWN BY: J. W. WOOD
 CHECKED BY: J. W. WOOD
 PROJECT NO.: 195844
 SHEET NO.: 195844-01
 DATE: 10/24/2024

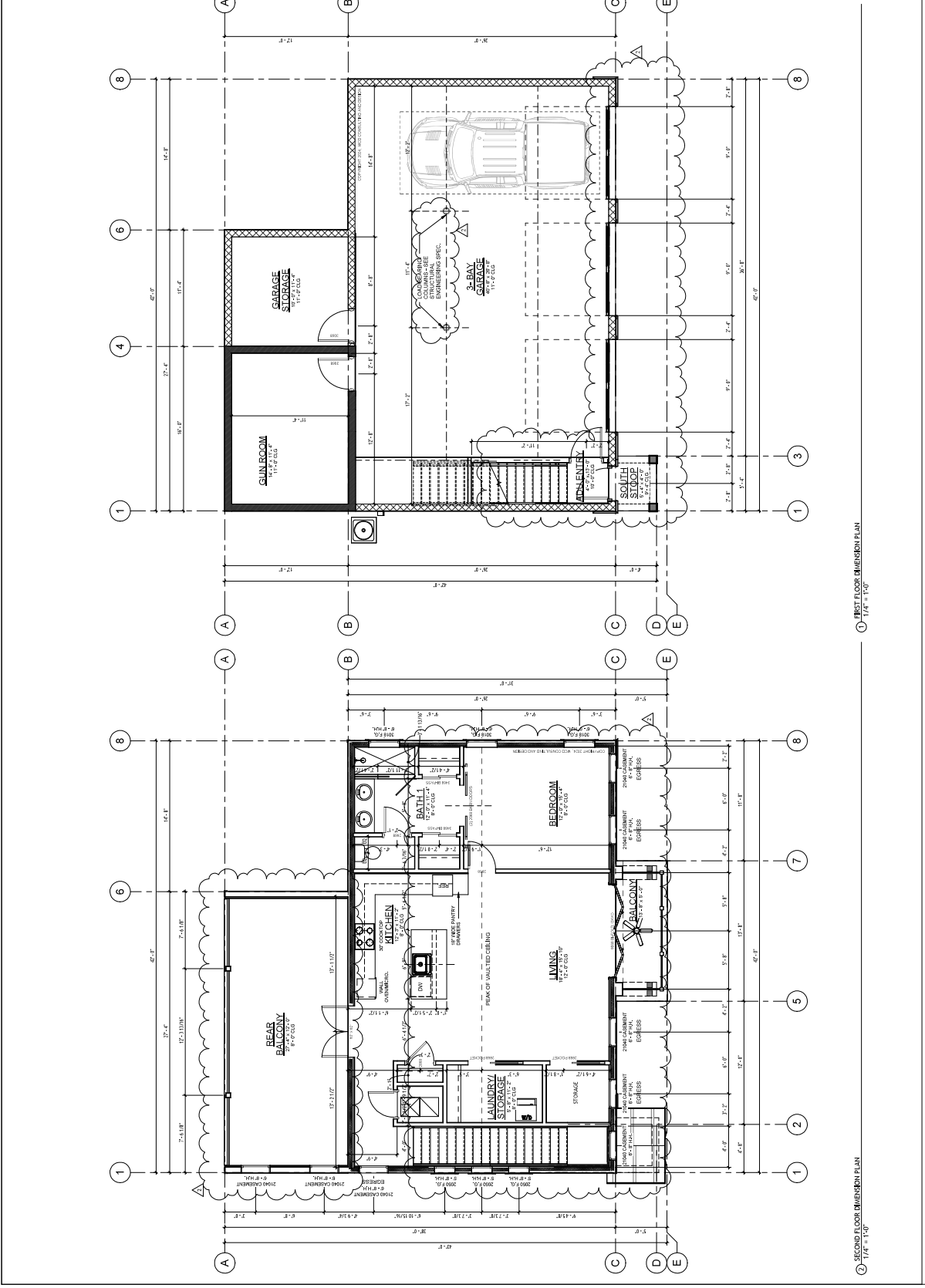
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REV.	DESCRIPTION	DATE
1	MINOR REVISIONS	10/24/24
2	ISSUE FOR PERMITS	10/24/24

CONTRACT NO. 19199

THESE DIMENSIONS ARE TO BE FOLLOWED AS SHOWN. THE ENGINEER IS NOT RESPONSIBLE FOR THE ACCURACY OF THE DIMENSIONS OF THE STRUCTURE OR THE LOCATION OF THE STRUCTURE. THE ENGINEER IS NOT RESPONSIBLE FOR THE ACCURACY OF THE DIMENSIONS OF THE STRUCTURE OR THE LOCATION OF THE STRUCTURE. THE ENGINEER IS NOT RESPONSIBLE FOR THE ACCURACY OF THE DIMENSIONS OF THE STRUCTURE OR THE LOCATION OF THE STRUCTURE.



① FIRST FLOOR DIMENSION PLAN
 1/4" = 1'-0"

② SECOND FLOOR DIMENSION PLAN
 1/4" = 1'-0"

THESE STRUCTURAL CALCULATIONS FOR THIS PROJECT WERE PREPARED BY MONTA CONSULTING & DESIGN, LLC. THE ENGINEER'S SIGNATURE AND SEAL ARE LOCATED ON THE TITLE SHEET. THE ENGINEER'S RESPONSIBILITY IS TO ISSUE THE STRUCTURAL PORTIONS OF THE PLAN AND TO BE FOLLOWED AS SHOWN. THE ENGINEER IS NOT RESPONSIBLE FOR THE DESIGN OF THE ROOF OR FOR THE DESIGN OF THE FOUNDATIONS. FOR ANY REQUIRED CLARIFICATIONS, CONTACT THE ENGINEER AT THE CONTACT INFORMATION PROVIDED ON THE TITLE SHEET.

REV.	DESCRIPTION	DATE
1	ISSUE FOR PERMITS	08/26/24
2	ISSUE FOR PERMITS	08/26/24
3	ISSUE FOR PERMITS	08/26/24

JUSTIN GARAGE & ADU
ROOF PLAN
1/2" = 1'-0"

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LAKE MARY, FL 32746
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WWW.MONTACONSULTING.COM

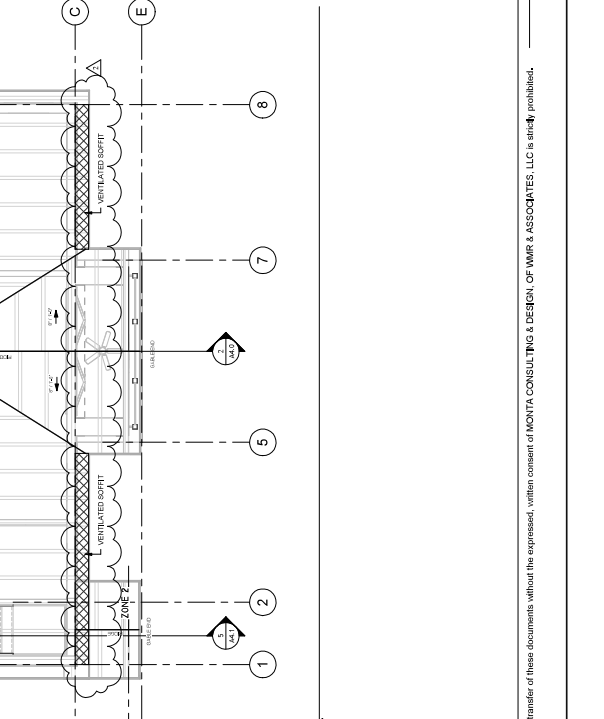
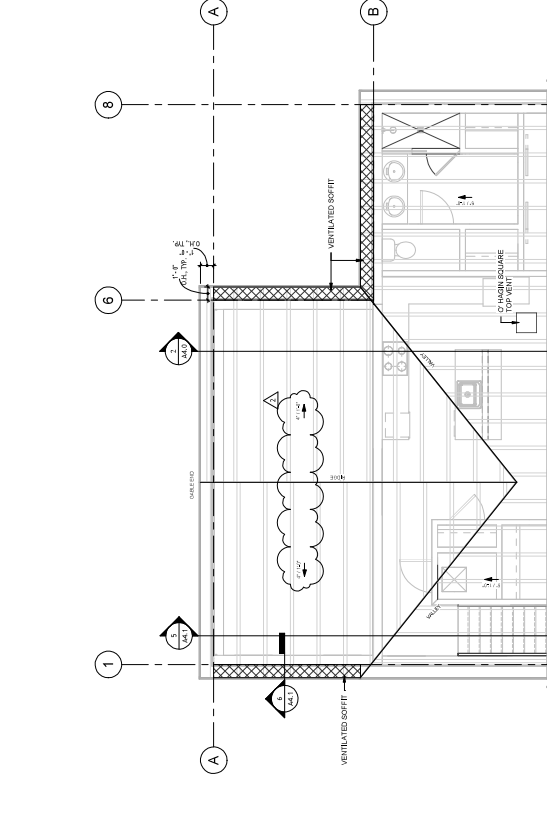
CONSULTING + design
monta

MCD
19644
08/26/24

PROJECT NO.
19644
DATE
08/26/24

SCALE
1/2" = 1'-0"

A4.0



JUSTIN RESIDENCE		NET FREE VENT AREA TABLE	
ZONES	NET FREE VENT AREA	CONSTRUCTION	CONSTRUCTION
1	4250	1/4" OSB (S.I.S.A.)	ROOFED
2	4250	1/2" OSB (S.I.S.A.)	ROOFED
3	4250	1/2" OSB (S.I.S.A.)	ROOFED
4	4250	1/2" OSB (S.I.S.A.)	ROOFED
5	4250	1/2" OSB (S.I.S.A.)	ROOFED
6	4250	1/2" OSB (S.I.S.A.)	ROOFED
7	4250	1/2" OSB (S.I.S.A.)	ROOFED
8	4250	1/2" OSB (S.I.S.A.)	ROOFED
9	4250	1/2" OSB (S.I.S.A.)	ROOFED
10	4250	1/2" OSB (S.I.S.A.)	ROOFED
11	4250	1/2" OSB (S.I.S.A.)	ROOFED
12	4250	1/2" OSB (S.I.S.A.)	ROOFED
13	4250	1/2" OSB (S.I.S.A.)	ROOFED
14	4250	1/2" OSB (S.I.S.A.)	ROOFED
15	4250	1/2" OSB (S.I.S.A.)	ROOFED
16	4250	1/2" OSB (S.I.S.A.)	ROOFED
17	4250	1/2" OSB (S.I.S.A.)	ROOFED
18	4250	1/2" OSB (S.I.S.A.)	ROOFED
19	4250	1/2" OSB (S.I.S.A.)	ROOFED
20	4250	1/2" OSB (S.I.S.A.)	ROOFED
21	4250	1/2" OSB (S.I.S.A.)	ROOFED
22	4250	1/2" OSB (S.I.S.A.)	ROOFED
23	4250	1/2" OSB (S.I.S.A.)	ROOFED
24	4250	1/2" OSB (S.I.S.A.)	ROOFED
25	4250	1/2" OSB (S.I.S.A.)	ROOFED
26	4250	1/2" OSB (S.I.S.A.)	ROOFED
27	4250	1/2" OSB (S.I.S.A.)	ROOFED
28	4250	1/2" OSB (S.I.S.A.)	ROOFED
29	4250	1/2" OSB (S.I.S.A.)	ROOFED
30	4250	1/2" OSB (S.I.S.A.)	ROOFED
31	4250	1/2" OSB (S.I.S.A.)	ROOFED
32	4250	1/2" OSB (S.I.S.A.)	ROOFED
33	4250	1/2" OSB (S.I.S.A.)	ROOFED
34	4250	1/2" OSB (S.I.S.A.)	ROOFED
35	4250	1/2" OSB (S.I.S.A.)	ROOFED
36	4250	1/2" OSB (S.I.S.A.)	ROOFED
37	4250	1/2" OSB (S.I.S.A.)	ROOFED
38	4250	1/2" OSB (S.I.S.A.)	ROOFED
39	4250	1/2" OSB (S.I.S.A.)	ROOFED
40	4250	1/2" OSB (S.I.S.A.)	ROOFED

TRANSVERSE SECTION
1/2" = 1'-0"

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A5.1

DATE: 10/24/2024

PROJECT: JUSTIN GARAGE & ADU

NO. 195844

DATE: 08/28/2024

NO. 195844

DATE: 08/28/2024

NO. 195844

DATE: 08/28/2024

NO. 195844

DATE: 08/28/2024

NO. 195844

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DATE: 08/28/2024

NO. 195844

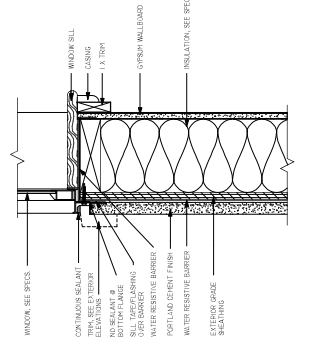
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NO. 195844

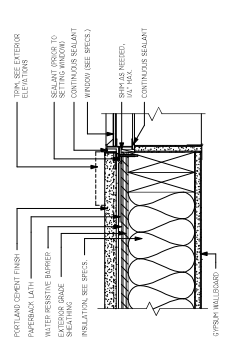
DATE: 08/28/2024

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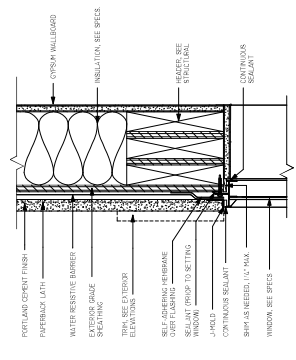
1 WINDOW HEADER FRAME
3" x 1'-0"



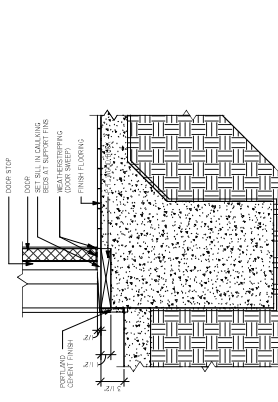
2 WINDOW JAMB FRAME
3" x 1'-0"



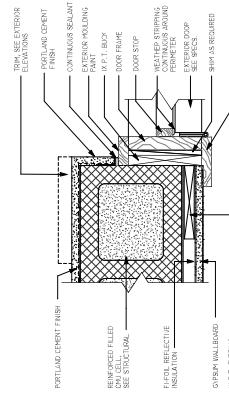
3 WINDOW SILL FRAME
3" x 1'-0"



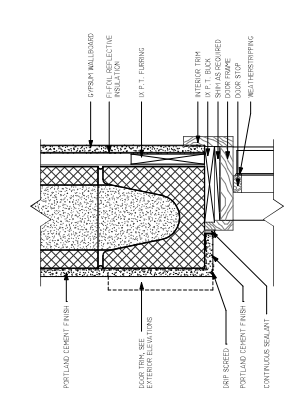
4 DOOR THRESHOLD GUM
1 1/2" x 1'-0"



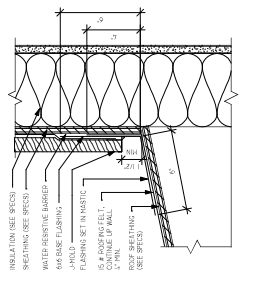
5 DOOR JAMB GUM
3" x 1'-0"



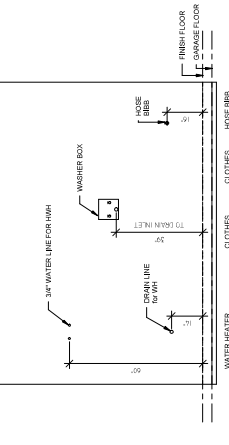
6 DOOR HEADER GUM
3" x 1'-0"



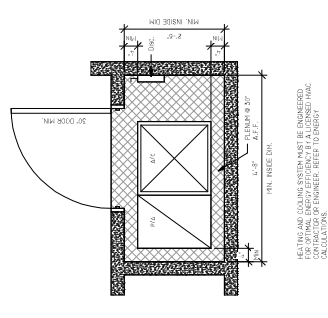
7 WALL FLASHING @ SPOKE ROOF
3" x 1'-0"



8 PLUMBING AND MECHANICAL CONNECTIONS
1'-0" x 1'-0"



9 1/2" x 1'-0" CLOSET
3/4" x 1'-0"



SEE FINISH SCHEDULE FOR FINISHES.
FOR OPTIONAL ENERGY EFFICIENT GLAZING, CONTACT MONTA CONSULTING FOR ANY REQUIRED CLARIFICATIONS.



MONTA CONSULTING & DESIGN
OF WMR & ASSOCIATES, LLC
1865 GREENWOOD BLVD, SUITE 1724 - LAKE NAYLOR, FL 32766
PHONE: 407-977-1007 - WWW.MONTACONSULTING.COM

REV.	DESCRIPTION	DATE
1	ISSUED FOR PERMITS	08/28/24
2	ISSUED FOR PERMITS	08/28/24
3	ISSUED FOR PERMITS	08/28/24

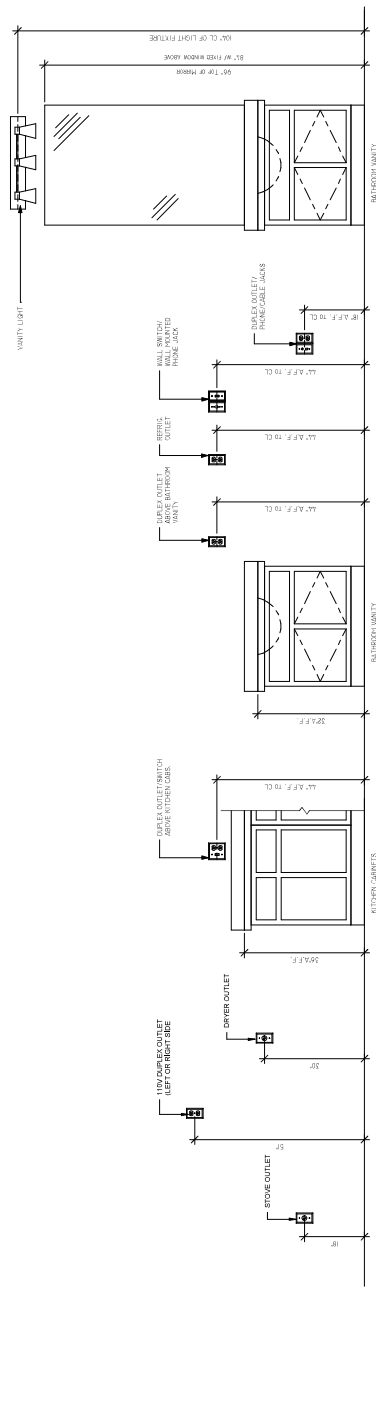
CONTRACT NO. 195844
PROJECT NO. 195844

E1.1

ELECTRICAL MOUNTING HEIGHTS

THE REQUIREMENTS SHOWN ARE TO BE FOLLOWED UNLESS OTHERWISE INDICATED. THE ENGINEER IS BEHOLDING TO THE CONTRACT DOCUMENTS AND SPECIFICATIONS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE ACCURACY OF ALL DIMENSIONS AND LOCATIONS OF ALL ELECTRICAL MOUNTING HEIGHTS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE ACCURACY OF ALL DIMENSIONS AND LOCATIONS OF ALL ELECTRICAL MOUNTING HEIGHTS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE ACCURACY OF ALL DIMENSIONS AND LOCATIONS OF ALL ELECTRICAL MOUNTING HEIGHTS.

DATE: 10/24/2024
 DRAWING NO: 19944
 PROJECT: JUSTIN GARAGE & ADU
 CLIENT: MONTA CONSULTING + DESIGN



MONTA CONSULTING + DESIGN
 OF WMR & ASSOCIATES, LLC
 1665 GREENWOOD BLVD, SUITE 129 - LAKE MARY, FL 32746
 PHONE: (407) 481-1977 - MONTACONSULTING.COM

REV.	DESCRIPTION	DATE
1	ISSUE FOR PERMIT REVIEW COMMENTS	10/25/24
2	ISSUE FOR PERMIT REVIEW COMMENTS	10/25/24

CONTRACT ASSOCIATES, P.C.
 1665 GREENWOOD BLVD, SUITE 129 - LAKE MARY, FL 32746
 PHONE: (407) 481-1977

JUSTIN GARAGE & ADU
 ELECTRICAL DETAILS
 MONTA CONSULTING + DESIGN