

SEMINOLE COUNTY
 PLANNING & DEVELOPMENT DIVISION
 1101 EAST FIRST STREET, ROOM 2028
 SANFORD, FLORIDA 32771
 (407) 665-7371 EPLANDESK@SEMINOLECOUNTYFL.GOV

PROJ. #: 25-80000029

Received: 3/10/25

Paid: 3/12/25

PRE-APPLICATION

INCOMPLETE APPLICATIONS WILL NOT BE ACCEPTED

APPLICATION FEE

PRE-APPLICATION \$50.00

PROJECT

PROJECT NAME: Gulfstream Towers FL239 Oviedo

PARCEL ID #(S): 11-21-31-300-0460-0000

TOTAL ACREAGE: 13.65 BCC DISTRICT: 2

ZONING: M-1 FUTURE LAND USE: IND

APPLICANT

NAME: Gulfstream Towers, LLC COMPANY:

ADDRESS: 127 W. Fairbanks Ave BOX #469

CITY: Winter Park STATE: FL ZIP: 32789

PHONE: 407 617 0167 EMAIL: mike@gulfstreamtowers.com

CONSULTANT

NAME: MARY D SOLIK, ESP COMPANY: MARY SOLIK LAW

ADDRESS: 121 S ORANGE AVE STE 1500

CITY: Orlando STATE: FL ZIP: 32801

PHONE: 407 367 7828 EMAIL: msolik@dotysoliklaw.com

PROPOSED DEVELOPMENT (CHECK ALL THAT APPLY)

SUBDIVISION LAND USE AMENDMENT REZONE SITE PLAN SPECIAL EXCEPTION

Description of proposed development: 180' Monopole Telecommunications Tower

STAFF USE ONLY

COMMENTS DUE: 3/21

COM DOC DUE: 3/27

DRC MEETING: 4/2

PROPERTY APPRAISER SHEET PRIOR REVIEWS:

ZONING: M-1

FLU: IND

LOCATION:

W/S: N/A

BCC: 2: Zembower

on the east side of 6th St,
south of N CR 426



March 9, 2025

Seminole County
Planning & Development Division
1101 East 1st Street
Sanford, FL 32771

RE: Statement of Request

To Whom it May Concern:

This firm represents Gulfstream Towers, LLC, who is seeking Special Exception approval for a 180' Monopole telecommunications tower sited on property located on Santa Rosa Court in Oviedo. The subject property is 13.65 acres in size and is currently developed as a Commerce Center. The property is zoned M-1 and has an Industrial FLU designation. The proposed tower will be designed to accommodate 4 wireless users.

Very truly yours,

A handwritten signature in blue ink, appearing to read "Mary D. Solik", is written over the typed name.

Mary D. Solik

Mary Doty Solik

121 S. Orange Avenue, Suite 1500 Orlando, FL 32801 Phone 407.367.7868 Mobile 407.925.4738
www.dotysoliklaw.com msolik@dotysoliklaw.com

Licensed in FL and GA

GULFSTREAM TOWERS, LLC

127 W. FAIRBANKS AVENUE, BOX #469
WINTER PARK, FL 32789

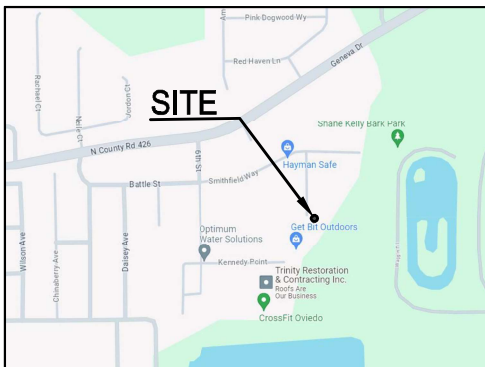
FL239 - OVIEDO

SANTA ROSA COURT
OVIEDO, FL 32765
SEMINOLE COUNTY

LATITUDE 28°40'33.764"N, LONGITUDE 81°10'52.200"W



AERIAL MAP



VICINITY MAP

FROM GULFSTREAM TOWERS OFFICE HEAD SOUTH TOWARD FL-426 W/W FAIRBANKS AVE, TAKE FL-426 E, FL-417 TOLL N AND FL-419 S/FL-434 E TO 6TH ST, TAKE EXIT 44 TO MERGE ONTO FL-419 S/FL-434 E, TURN LEFT ONTO E FRANKLIN ST AT TRAFFIC CIRCLE TAKE 3RD EXIT ONTO N COUNTY RD 426, TURN RIGHT ONTO 6TH ST, TURN LEFT ONTO SMITHFIELD WAY, TURN RIGHT ONTO SANTA ROSA CT, THE SITE WILL BE ON THE LEFT.

DRIVING DIRECTIONS

THIS PROJECT IS FOR THE CONSTRUCTION OF AN UNMANNED TELECOMMUNICATIONS FACILITY CONSISTING OF THE INSTALLATION OF A 180' MONOPOLE TOWER AND FUTURE WIRELESS BASE STATION EQUIPMENT IN ORDER TO PROVIDE RADIO TRANSMISSION SERVICES FOR PERSONAL COMMUNICATIONS AS WELL AS EMERGENCY 911 SERVICE. PROJECT SIZE IS 60'X30' LEASE AREA, OR 1,800 SF.

PROJECT DESCRIPTION

ALL WORK AND MATERIALS SHALL BE PERFORMED AND INSTALLED IN ACCORDANCE WITH THE CURRENT EDITIONS OF THE FOLLOWING CODES AS ADOPTED BY THE LOCAL GOVERNING AUTHORITIES. NOTHING IN THESE PLANS IS TO BE CONSTRUED TO PERMIT WORK NOT CONFORMING TO THESE CODES.

- | | |
|---|---|
| 1. 8TH EDITION, 2023 FLORIDA BUILDING CODE | 6. AMERICAN INSTITUTE OF STEEL CONSTRUCTION SPECIFICATIONS (AISC) |
| 2. 2020 NATIONAL ELECTRIC CODE (NEC) WITH LOCAL AMENDMENTS. | 7. UNDERWRITERS LABORATORIES (ULL) |
| 3. ANSI/IEEE APPLICABLE STANDARDS | 8. APPROVED ELECTRICAL PRODUCTS |
| 4. LIFE SAFETY CODE NFPA-101-2018 | 9. LOCAL BILLING CODE |
| 5. 8TH EDITION, 2023 FLORIDA FIRE PROTECTION CODE | 10. CITY/COUNTY ORDINANCES |
| | 11. NFPA 55 (2016) |

CODE COMPLIANCE

APPLICANT

MO/CM NAME: GULFSTREAM TOWERS, LLC.
PROJECT MANAGER: MICHAEL E. BURKHEAD
PHONE: (407) 617-0167

PROPERTY INFORMATION

OWNER: WINTER MILES LLC
1616 SMITHFIELD WAY, #1054
OVIEDO, FL 32765

CONTACT: MICHAEL E. BURKHEAD
(407) 617-0167

HANDICAP REQUIREMENTS: FACILITY IS UNMANNED AND NOT FOR HUMAN HABITATION. HANDICAPPED ACCESS NOT REQUIRED.

ZONING: INDUSTRIAL (M-1)

JURISDICTION: SEMINOLE COUNTY

PCN: 11-21-31-300-0460-0000

PROJECT INFORMATION

EQUIPMENT LOCATION: OUTDOOR INDOOR

ANTENNA LOCATION: GUY TOWER
 SELF SUPPORT TOWER
 MONOPOLE
 ROOF TOP
 OTHER

PROJECT SUMMARY

CIVIL ENGINEER:

KIMLEY-HORN AND ASSOCIATES, INC.
1920 WEKIVA WAY, SUITE 200
WEST PALM BEACH, FL 33411
(561) 845-0665

ELECTRICAL ENGINEER:

JMME ENGINEERING, LLC
4907 NW 43RD STREET, SUITE D
GAINESVILLE, FL 32606

SURVEYOR:

ADVANCED LAND SURVEYING, INC.
371 BRIGHTWATERS DRIVE
COCCOA BEACH, FL 32931

PROJECT TEAM

SHEET	DESCRIPTION	REV.
T-1	COVER SHEET	0
G-1	GENERAL NOTES	0
A-1	LAND USE EXHIBIT	0
C-1	PARENT TRACT DETAIL	0
C-2	ENLARGED SITE PLAN AND TOWER ELEVATION	0
C-3	CONSTRUCTION DETAILS	0
C-4	FENCE AND GATE DETAILS	0
C-5	EROSION CONTROL PLAN	0
E-1	ELECTRICAL & GROUNDING NOTES	0
E-2	TOWER ELECTRICAL SITE AND GROUNDING PLAN	0
E-3	ELECTRICAL SERVICE AND TELCO RISER	0
E-4	DETAILS	0
ISSUED FOR: CONSTRUCTION DRAWINGS		
DATE: JUNE 2024		

SHEET INDEX

DESIGN:
8TH EDITION, 2023 FLORIDA BUILDING CODE
WIND LOADS (ASCE 7-22)
ULTIMATE WIND SPEED = 140 MPH
NOMINAL WIND SPEED = 108 MPH
RISK CATEGORY II
WIND EXPOSURE = C

GULFSTREAM TOWERS

127 W. FAIRBANKS AVENUE,
BOX #469
WINTER PARK, FL 32789

PROJECT INFORMATION:

FL239 OVIEDO

SANTA ROSA COURT
OVIEDO, FL 32765
OVIEDO COUNTY, FLORIDA

CURRENT ISSUE DATE:

JUNE 2024

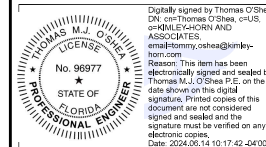
ISSUED FOR:

CONSTRUCTION DRAWINGS

REV.: DATE: DESCRIPTION:

REV.	DATE	DESCRIPTION

SEAL:



Digitally signed by Thomas O'Shea DN: cn=Thomas O'Shea, c=US, email=thomas.oshea@kimley-horn.com, o=KIMLEY-HORN AND ASSOCIATES, ou=Professional Engineer, email=thomas.oshea@kimley-horn.com Reason: This item has been electronically signed and sealed by Thomas M. J. O'Shea P.E. on the date shown on this digital signature. Printed copies of this document are not considered signed and sealed and the signature must be verified on any electronic copies. Date: 2024.06.14 10:17:42 -0400'

PLANS PREPARED BY:

Kimley-Horn
© 2024 KIMLEY-HORN AND ASSOCIATES, INC.

1920 WEKIVA WAY, SUITE 200
WEST PALM BEACH, FLORIDA 33411
(561) 845-0665
FBPE REGISTRY NO. 35106

PROVIDER:

DRAWN BY: CHK. APV.
VS GD TO

LICENSURE:
KEVIN K. MARAII PE 71455
THOMAS M.J. O'SHEA PE 96977

SHEET TITLE:

COVER SHEET

SHEET NUMBER: REVISION:

T-1

KHA Job #:

140601030

Drawing name: G:\WPB_Civil\GULF STREAM\GULF STREAM Towers\14060103-FL239 Ovedo\GulfStream Towers\14060103-FL239 Ovedo.dwg C:\Users\jgibson\OneDrive\Documents\GulfStream Towers\14060103-FL239 Ovedo.dwg 14-Jun-24, 9:10am By: gpf/owd

INTENT

- A. THESE SPECIFICATIONS AND CONSTRUCTION DRAWINGS ACCOMPANYING THEM DESCRIBE THE WORK TO BE PERFORMED AND THE MATERIALS TO BE FURNISHED FOR THE CONSTRUCTION OF THE GULFSTREAM TOWERS SITE.
- B. THE DRAWINGS AND SPECIFICATIONS ARE INTENDED TO BE FULLY EXPLANATORY AND COMPLETE. HOWEVER, SHOULD ANYTHING BE SHOWN, INDICATED OR SPECIFIED ON ONE AND NOT THE OTHER, IT SHALL BE THE SAME AS IF SHOWN, INDICATED OR SPECIFIED ON BOTH.
- C. THE INTENTION OF THE DOCUMENTS IS TO INCLUDE ALL LABOR AND MATERIALS REASONABLY NECESSARY FOR THE PROPER EXECUTION AND COMPLETION OF THE WORK AS INDICATED IN THE DOCUMENTS.
- D. THE PURPOSE OF THE SPECIFICATIONS IS TO SUPPLEMENT THE INTENT OF THE DRAWINGS AND TO DESIGNATE A PROCEDURE, TYPE OR QUALITY OF MATERIALS REQUIRED TO COMPLETE THE WORK.
- E. MINOR DEVIATIONS FROM THE DESIGN LAYOUT ARE ANTICIPATED AND SHALL BE CONSIDERED AS PART OF THE WORK HOWEVER, NO CHANGES THAT ALTER THE CHARACTER INTENT OF THE DESIGN WILL BE MADE OR PERMITTED BY GULFSTREAM TOWERS, WITHOUT A CHANGE ORDER.

CONTRACTS

- A. THE CONTRACTOR AND EACH SUBCONTRACTOR SHALL BE RESPONSIBLE FOR VERIFICATION OF ALL MEASUREMENTS AT THE SITE BEFORE ORDERING ANY MATERIALS OR PERFORMING ANY WORK. NO EXTRA CHARGE OR COMPENSATION SHALL BE ALLOWED DUE TO DIFFERENCE BETWEEN ACTUAL DIMENSIONS AND DIMENSIONS INDICATED ON THE CONSTRUCTION DRAWINGS. ANY SUCH DISCREPANCY IN DIMENSION WHICH MAY INADVERTENTLY OCCUR SHALL BE SUBMITTED TO THE GULFSTREAM TOWERS CONSTRUCTION PROJECT MANAGER (CPM) FOR CONSIDERATION BEFORE THE CONTRACTOR PROCEEDS WITH THE WORK IN THE AFFECTED AREA.
- B. THE CONTRACTOR, IF AWARDED THE CONTRACT, WILL NOT BE ALLOWED ANY EXTRA COMPENSATION BY REASON OF ANY MATTER OR THING ABOUT WHICH THE CONTRACTOR MIGHT NOT HAVE FULLY INFORMED HIMSELF PRIOR TO BIDDING.

CONTRACTS AND WARRANTIES

- A. EACH CONTRACTOR IS RESPONSIBLE FOR HELPING TO OBTAIN THE BUILDING PERMIT AT THE LOCAL JURISDICTION AS THE CONTRACTOR OF RECORD, AND PROVIDE SAID JURISDICTION WITH ALL PROOF REQUIRED TO OPERATE AS A CONTRACTOR IN THAT JURISDICTION.

STORAGE

- A. DO NOT USE THE EXISTING BUILDING SPACE FOR STORAGE OF TOOLS OR MATERIALS WITHOUT THE CONSTRUCTION PROJECT MANAGER AND/OR BUILDING OWNER APPROVAL.
- B. ALL MATERIALS MUST BE STORED IN A LEVEL AND DRY LOCATION AND IN A MANNER THAT WILL NOT OBSTRUCT THE FLOW OF OTHER WORK. ANY EQUIPMENT OR MATERIAL STORAGE METHOD MUST MEET ALL RECOMMENDATIONS OF THE MANUFACTURER.

PROTECTION

- A. PROTECT FINISHED SURFACES, INCLUDING JAMBS AND HEADS OF OPENINGS USED AS PASSAGEWAYS THROUGH WHICH EQUIPMENT AND MATERIALS WILL PASS.
- B. PROVIDE PROTECTION FOR EQUIPMENT ROOM SURFACES PRIOR TO ALLOWING EQUIPMENT OR MATERIALS TO BE MOVED OVER SUCH SURFACES.
- C. MAINTAIN FINISHED SURFACES CLEAN, UNMARRED AND SUITABLY PROTECTED UNTIL JOB SITE IS ACCEPTED BY CPM.

REPAIRS AND REPLACEMENTS

- A. IN EVENT OF DAMAGE, THE CONTRACTOR SHALL PROMPTLY MAKE ALL REPLACEMENTS AND REPAIRS AND AT NO ADDITIONAL COST TO GULFSTREAM TOWERS AND/OR BUILDING OWNER.

TEMPORARY FACILITIES

- A. WATER: WATER IS NOT AVAILABLE TO THE CONTRACTORS ON SITE.
- B. LIGHT AND POWER: LIGHT AND POWER ARE AVAILABLE ON SITE.
- C. TELEPHONE: EACH CONTRACTOR TO PROVIDE HIS OWN TELEPHONE ACCESS IF REQUIRED.
- D. IF PERMANENT POWER IS COMPLETED, ALL CONTRACTORS MAY USE THE SERVICE CONNECTION FOR PRODUCTION WORK ONLY, PROVIDED THAT ELECTRICAL CORDS AND CONNECTIONS ARE FURNISHED BY THE CONTRACTORS AND ARE DISCONNECTED AND PROPERLY STORED DURING NON-WORKING HOURS.

CLEAN UP

- A. THE CONTRACTORS SHALL AT ALL TIMES KEEP THE SITE FREE FROM ACCUMULATION OF WASTE MATERIALS OR RUBBISH CAUSED BY THEIR EMPLOYEES AT WORK, AND AT THE COMPLETION OF THE WORK, THEY SHALL REMOVE ALL RUBBISH FROM AND ABOUT THE BUILDING, INCLUDING ALL TOOLS, SCAFFOLDING AND SURPLUS MATERIALS, AND SHALL LEAVE THE WORK CLEAN AND READY FOR USE.
- B. EXTERIOR: VISUALLY INSPECT EXTERIOR SURFACES AND REMOVE ALL TRACES OF SOIL, WATER MATERIALS, SMUDGES AND OTHER FOREIGN MATTER.
 - 1. REMOVE ALL TRACES OF SPLASHED MATERIALS FROM ADJACENT SURFACES.
- C. INTERIOR: VISUALLY INSPECT INTERIOR SURFACE AND REMOVE ALL TRACES OF SOIL, WASTE MATERIALS, SMUDGES AND OTHER FOREIGN MATTER.
 - 1. REMOVE ALL TRACES OF SPLASHED MATERIAL FROM ADJACENT SURFACES.
 - 2. REMOVE PAINT DROPPINGS, SPOTS, STAINS AND DIRT FROM FINISHED SURFACES.
- D. CONTRACTOR SHALL WASH AND WAX FLOOR PRIOR TO FINAL ACCEPTANCE. FLOOR WAX SHALL BE OF THE ANTI-STATIC TYPE.

CHANGE ORDER PROCEDURE

- A. CHANGE ORDER MAY BE INITIATED BY THE CPM, AND/OR THE CONTRACTOR. THE CONTRACTOR, UPON VERBAL REQUEST FROM THE CPM SHALL PREPARE A WRITTEN PROPOSAL DESCRIBING THE CHANGE IN WORK OR MATERIALS AND ANY CHANGES IN THE CONTRACT AMOUNT AND PRESENT TO THE CPM FOR APPROVAL. SUBMIT REQUESTS FOR SUBSTITUTIONS IN THE FORM AND IN ACCORDANCE WITH PROCEDURES REQUIRED FOR CHANGE ORDER PROPOSALS. ANY CHANGES TO THE SCOPE OF WORK OR MATERIALS WHICH ARE PERFORMED BY THE CONTRACTOR WITHOUT A WRITTEN CHANGE ORDER AS DESCRIBED AND APPROVED BY THE CPM, SHALL BECOME THE SOLE RESPONSIBILITY OF THE CONTRACTOR.

RELATED DOCUMENTS AND COORDINATION

- A. GENERAL CARPENTRY, ELECTRICAL, AND ANTENNA DRAWINGS ARE INTERRELATED. IN PERFORMANCE OF THE WORK, EACH CONTRACTOR MUST REFER TO ALL DRAWINGS. ALL COORDINATION TO BE THE RESPONSIBILITY OF THE GENERAL CONTRACTOR.

SHOP DRAWINGS

- A. CONTRACTORS TO SUBMIT SHOP DRAWINGS AS REQUIRED AND LISTED IN THESE SPECIFICATIONS THROUGH THE GENERAL CONTRACTOR TO THE CPM, FOR REVIEW.
- B. ALL SHOP DRAWINGS TO BE REVIEWED, CHECKED, CORRECTED, STAMPED AND SIGNED BY GENERAL CONTRACTOR PRIOR TO SUBMITTAL TO THE CPM.

PRODUCTS AND SUBSTITUTIONS

- A. SUBMIT 3 COPIES OF EACH REQUEST FOR SUBSTITUTION. IN EACH REQUEST IDENTIFY THE PRODUCT FABRICATION OR INSTALLATION METHOD TO BE REPLACED BY THE SUBSTITUTION. INCLUDE RELATED SPECIFICATION SECTION AND DRAWING NUMBERS, AND COMPLETE DOCUMENTATION SHOWING COMPLIANCE WITH THE REQUIREMENTS FOR SUBSTITUTIONS.
- B. ALL NECESSARY PRODUCT DATA AND CUT SHEETS SHALL PROPERLY INDICATE AND DESCRIBE THE ITEMS, PRODUCTS, AND MATERIALS BEING INSTALLED. THE CONTRACTOR SHALL, IF DEEMED NECESSARY BY THE CPM, SUBMIT ACTUAL SAMPLES TO THE CPM FOR APPROVAL IN LIEU OF CUT SHEETS.

COMPLIANCE

- A. ALL MATERIALS, DESIGN, AND WORKMANSHIP SHALL BE IN ACCORDANCE WITH ALL APPLICABLE CODES (SOME OF WHICH ARE LISTED BELOW), ORDINANCES, AND AUTHORITIES HAVING JURISDICTION OVER THE WORK. UPON THE COMPLETION OF THE WORK, THE CONTRACTOR SHALL PROVIDE GULFSTREAM TOWERS WITH A CERTIFICATE OF OCCUPANCY (IF REQUIRED) AND OTHER LEGAL DOCUMENTS TO VERIFY SUCH COMPLIANCE. WHERE NO CODES EXIST, THE WORK SHALL CONFORM WITH THE 8TH EDITION, 2023 FLORIDA BUILDING CODE, AND/OR THE SPECIFICATIONS HEREIN, WHICHEVER IS MORE STRINGENT, AND A DOCUMENT STATEMENT SHALL BE FURNISHED TO THIS EFFECT.

IT IS THE CONTRACTOR'S RESPONSIBILITY TO VERIFY COMPLIANCE WITH THE GOVERNING CODES AND TO NOTIFY THE CPM OF ANY DISCREPANCIES PRIOR TO PERFORMING WORK. REFERENCE TO ANY STANDARD OR CODE OF PRACTICE IN THIS SPECIFICATION SHALL BE DEEMED TO MEAN THE EDITION CURRENT AT THE TIME OF AWARD OF THE CONTRACT. THE CONTRACTOR SHALL COMPLY WITH ALL ZONING AND SITE ACQUISITION SPECIAL STIPULATIONS AS OUTLINED IN THE JOB SPECIFICATIONS, OR AS DIRECTED BY THE CPM.

PERMITS AND LICENSES

- A. THE SITE ACQUISITION SPECIALIST SHALL OBTAIN, AT HIS OWN EXPENSE, ALL REQUIRED LOCAL, STATE, AND/OR COUNTY CONSTRUCTION PERMITS AND LICENSES. COPIES OF ALL PERMITS SHALL BE SENT TO CPM. APPROVALS FROM RELEVANT PLANNING BOARDS, ENVIRONMENTAL BOARDS, AND/OR OTHER COMMITTEES WILL BE SUPPLIED BY OTHERS, BUT MUST BE CONFIRMED BY THE SITE ACQUISITION SPECIALIST PRIOR TO THE APPLICATION FOR CONSTRUCTION PERMITS. FAA APPROVAL WILL BE SUPPLIED BY OTHERS, BUT MUST BE CONFIRMED BY THE CONTRACTOR WITH THE CPM PRIOR TO THE COMMENCEMENT OF WORK.
- B. PRIOR TO COMMENCING THE WORK, THE CPM SHALL SCHEDULE AN ON-SITE MEETING WITH ALL MAJOR PARTIES TO THE PROJECT. THIS WOULD INCLUDE (THOUGH NOT LIMITED TO) THE DESIGNATED ELECTRICIAN, LOCAL (TELEPHONE COMPANY, CARPENTRY FOREMAN (IF SUBCONTRACTED), A REPRESENTATIVE FROM THE LOCAL SPECIFIED WAREHOUSE AND CPM OR HIS DESIGNATED REPRESENTATIVE.

- C. CONTRACTOR SHALL FIELD VERIFY ALL EXISTING UTILITIES BOTH HORIZONTALLY AND VERTICALLY PRIOR TO START OF CONSTRUCTION. ANY DISCREPANCIES OR DOUBTS AS TO THE INTERPRETATION OF PLANS SHOULD BE IMMEDIATELY REPORTED TO THE ENGINEER FOR RESOLUTION AND INSTRUCTION AND NO FURTHER WORK SHALL BE PERFORMED UNTIL DISCREPANCY IS CHECKED AND CORRECTED BY THE ENGINEER. FAILURE TO SECURE SUCH INSTRUCTION MEANS CONTRACTOR WILL HAVE WORKED AT HIS OWN RISK AND EXPENSE.

- D. THE CONTRACTOR SHALL BE EQUIPPED WITH A MEANS OF CONSTANT COMMUNICATIONS, SUCH AS A CELLULAR PHONE OR A PAGER.

- E. THE CONTRACTOR IS SOLELY RESPONSIBLE FOR ALL SITE SAFETY INCLUDING BUT NOT LIMITED TO PROTECTION OF ALL SITE PERSONNEL AND THE GENERAL PUBLIC DURING THE ENTIRE SITE CONSTRUCTION PERIOD. HE SHALL TAKE ALL REASONABLE PRECAUTIONS TO PLACE AND MAINTAIN BARRICADES, LAMPS, SIGNS, AND THE LIKE IN ACCORDANCE WITH OSHA SAFETY ACT AND ANSI OCCUPATIONAL GUIDELINES.

- F. PROVIDE DAILY UPDATES ON SITE PROGRESS, EITHER VERBAL OR WRITTEN TO CPM.

- G. COMPLETE INVENTORY OF CONSTRUCTION MATERIALS AND EQUIPMENT IS REQUIRED PRIOR TO START OF CONSTRUCTION.

- H. COORDINATION WITH PUBLIC UTILITY AUTHORITIES THE CONTRACTOR SHALL COORDINATE WITH RELEVANT AUTHORITIES THE WORKS THEY ARE TO BE CARRIED OUT. HE SHALL CONDUCT HIS OPERATIONS SO AS TO NOT INTERFERE WITH THE OPERATIONS OF PUBLIC AND/OR PRIVATE UTILITY AUTHORITIES, INSTALLING SERVICES ON THE SITE.

THE CONTRACTOR WILL BE RESPONSIBLE FOR THE PROTECTION OF SUCH FACILITIES AND STRUCTURES DURING CONSTRUCTION OF THIS SITE.

INSPECTIONS

- THE CONTRACTOR SHALL NOTIFY THE CPM AT LEAST 24 HOURS IN ADVANCE OF REQUIRED INSPECTIONS. INSPECTIONS THAT WILL BE REQUIRED BY THE CPM OR OTHER DESIGNATED GULFSTREAM TOWERS REPRESENTATIVE ARE:
 - INSPECTION OF GROUNDING SYSTEM
 - PRACTICAL COMPLETIONTHE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR ENSURING THAT ALL RELEVANT AUTHORITY INSPECTIONS ARE CARRIED OUT IN A TIMELY MANNER. THE CONTRACTOR SHALL PROVIDE DOCUMENTATION OF ALL INSPECTIONS. THE CONTRACTOR IS RESPONSIBLE FOR COORDINATING WITH GULFSTREAM TOWERS'S DESIGNATED ENGINEERING FIRM TO OBTAIN ALL REQUIRED INSPECTIONS AND TESTING. THE CONTRACTOR SHALL PROVIDE DOCUMENTATION OF ALL INSPECTIONS.

ENVIRONMENTAL PROTECTION

- NOISE LEVEL: THE CONTRACTOR SHALL ENSURE THAT STATE AND LOCAL REGULATIONS ARE COMPLIED WITH IN REGARD TO NOISE LEVELS PRODUCED BY HIS OR HIS SUB-CRONTACTOR'S EQUIPMENT OR METHODS OF CONSTRUCTION. DUST CONTROL: THE CONTRACTOR SHALL TAKE ALL NECESSARY STEPS TO LIMIT THE CREATION OF ANY DUST NUISANCE THAT MIGHT ARISE DURING CONSTRUCTION TO THE SATISFACTION OF THE LOCAL AUTHORITIES AND THE BUILDING OWNER. THE CPM MAY DIRECT THAT WORK CEASE UNTIL SUCH TIME AS ANY PARTICULAR DUST NUISANCE IS CONTROLLED TO THE SATISFACTION OF THE CPM, LOCAL AUTHORITIES, AND BUILDING OWNERS.

REINSTATEMENT

- ANY PAVEMENT, FOOTPATH, CURB, GUTTERS, WALLS, FLOORS, SERVICES, AND EXISTING FEATURES OR OTHER PROPERTIES, DISTURBED OR DESTROYED DURING CONSTRUCTION SHALL BE REINSTATED TO A CONDITION AT LEAST EQUAL TO THAT EXISTING BEFORE COMMENCEMENT OF OPERATIONS.

AS-BUILTS DRAWINGS

- THE CONTRACTOR SHALL PREPARE A RED LINED SET OF AS-BUILT DRAWINGS. THE FORM OF MARKED UP CONSTRUCTION PLANS SHALL BE STANDARD ACCEPTABLE TO GULFSTREAM TOWERS. SUCH DRAWINGS SHALL BE SUBMITTED TO GULFSTREAM TOWERS WITHIN TWO WEEKS FROM PRACTICAL COMPLETION AND PRIOR TO APPROVAL OF THE CONTRACTOR'S FINAL INVOICE.

PRACTICAL COMPLETION

- THE FOLLOWING DOCUMENTATION SHALL BE PROVIDED TO GULFSTREAM TOWERS PRIOR TO THE DATE OF PRACTICAL COMPLETION:
 - ALL QUALITY ASSURANCE CHECKLISTS AS OUTLINED IN THE PREVIOUS SECTIONS
 - WARRANTIES AND MAINTENANCE MANUALS, IF APPLICABLE
 - GROUND SYSTEM RESISTANCE TEST
 - CERTIFICATE OF OCCUPANCY

INSURANCE AND BONDS

- A. EACH CONTRACTOR SHALL AT HIS OWN EXPENSE CARRY AND MAINTAIN FOR THE DURATION OF THE PROJECT ALL INSURANCE AS REQUIRED AND LISTED AND SHALL NOT COMMENCE WITH HIS WORK UNTIL HE HAS PRESENTED A CERTIFICATE OF INSURANCE STATING ALL COVERAGES TO THE GENERAL CONTRACTOR WHO SHALL, IN TURN, FORWARD A COPY OF ALL CERTIFICATES TO THE CPM.



PROJECT INFORMATION:
FL239 OVIEDO
SANTA ROSA COURT
OVIEDO, FL 32765
OVIEDO COUNTY, FLORIDA

CURRENT ISSUE DATE:
JUNE 2024

ISSUED FOR:
CONSTRUCTION DRAWINGS

REV. DATE	DESCRIPTION

SEAL:

PLANS PREPARED BY:
Kimley Horn
© 2024 KIMLEY-HORN AND ASSOCIATES, INC.
1920 WEKIVA WAY, SUITE 200
WEST PALM BEACH, FLORIDA 33411
(561) 845-0665
FBPE REGISTRY NO. 35106

PROVIDER:

DRAWN BY: CHK. APV.
VS GD TO

LICENSEURE:
KEVIN K. MARAH PE 71455
THOMAS M. O'SHEA PE 96977

SHEET TITLE:
GENERAL NOTES

SHEET NUMBER: REVISION:

G-1
KHA Job #:

140601030

This document, together with the contracts and design presented hereto, is an instrument of service, to be used only for the specific purpose and shall not be used for any other purpose. It is the responsibility of the user to ensure that the information herein is current and accurate. It is the responsibility of the user to ensure that the information herein is current and accurate. It is the responsibility of the user to ensure that the information herein is current and accurate.

GULFSTREAM
TOWERS
127 W. FAIRBANKS AVENUE,
BOX #469
WINTER PARK, FL 32789

PROJECT INFORMATION:

FL239 OVIEDO

SANTA ROSA COURT
OVIEDO, FL 32765
OVIEDO COUNTY, FLORIDA

CURRENT ISSUE DATE:

JUNE 2024

ISSUED FOR:

CONSTRUCTION DRAWINGS

REV.: DATE: DESCRIPTION:

REV.	DATE	DESCRIPTION

SEAL:



PLANS PREPARED BY:

Kimley»Horn
© 2024 KIMLEY-HORN AND ASSOCIATES, INC.
1920 WEKIVA WAY, SUITE 200
WEST PALM BEACH, FLORIDA 33411
(561) 845-0665
FBPE REGISTRY NO. 35106

PROVIDER:



DRAWN BY: CHK.: APV.:

VS	GD	TO

LICENSURE:

KEVIN K. MARAJH THOMAS M.J. O'SHEA	PE 71455 PE 96977
---------------------------------------	----------------------

SHEET TITLE:

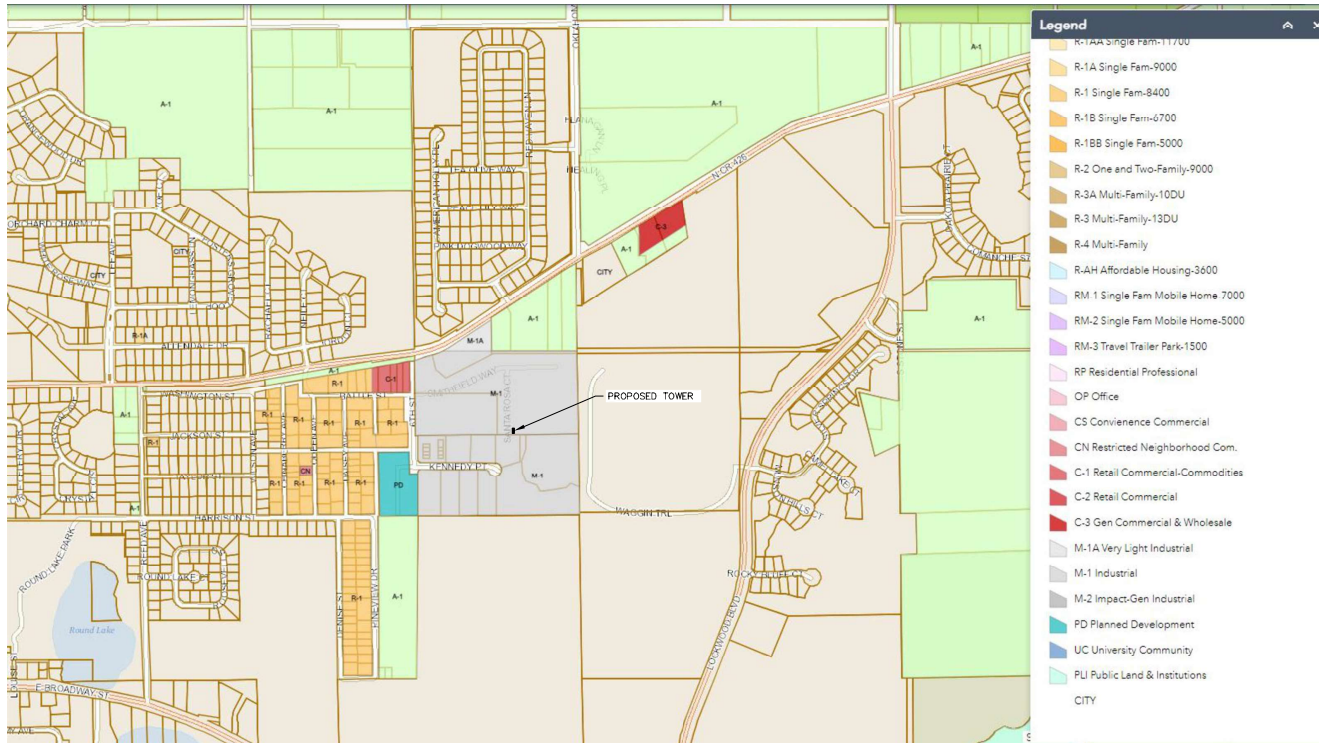
ZONING EXHIBIT

SHEET NUMBER: REVISION:

A-1

KHA Job #:

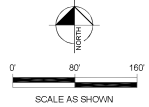
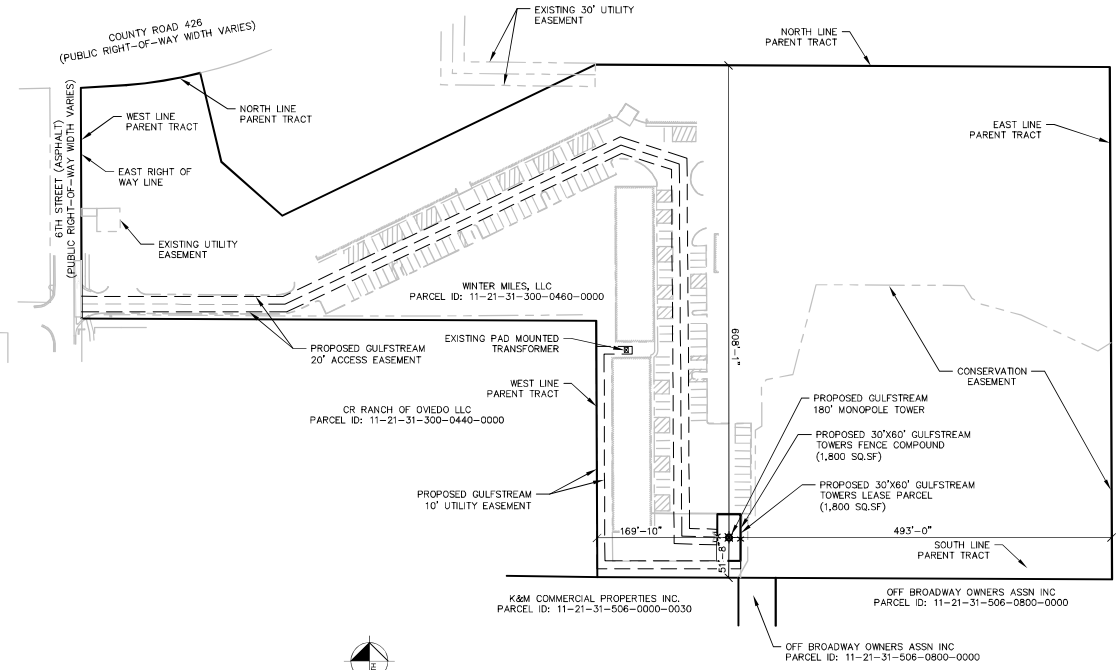
140601030



ZONING EXHIBIT
N.T.S.

This document, together with the concepts and designs presented herein, is intended only for the specific purpose and client for which it was prepared. Issues of and changes to this document without written authorization and adaptation by Kimley-Horn and Associates, Inc. shall be without liability to Kimley-Horn and Associates, Inc.

Drawing name: C:\WPB-CAD\CELL SITE\Misc\Towers\140601030 - Gulfstream Towers\140601030-FL239 Oviado\030-FL239 Oviado.dwg C-1 Jun 14, 2024 9:18am by gary.doherty



PARENT TRACT DETAIL

PARENT TRACT	DISTANCE TO LINE	TOWER CENTER
NORTH	608'-1"	
EAST	493'-0"	
SOUTH	51'-8"	
WEST	169'-10"	

TOWER SETBACK DIMENSIONS SHOWN HEREON ARE MEASURED PERPENDICULAR TO PARENT TRACT BOUNDARY LINES FROM TOWER CENTER

GULFSTREAM TOWERS 20' ACCESS EASEMENT

A 20 FEET ACCESS EASEMENT, LYING 10 FEET LEFT AND RIGHT OF A CENTERLINE BEING A PORTION OF SECTION 11, TOWNSHIP 21 SOUTH, RANGE 31 EAST, SEMINOLE COUNTY, FLORIDA, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCE AT THE NORTHEAST CORNER OF THE SOUTHEAST 1/4 OF SECTION 11, TOWNSHIP 21 SOUTH, RANGE 31 EAST, SEMINOLE COUNTY, FLORIDA, THENCE, ALONG THE EAST LINE OF SAID SECTION 11, SOUTH 00°51'18" E, A DISTANCE OF 659.72 FEET; THENCE, LEAVING THE EAST LINE OF SAID SECTION 11 AND ALONG THE SOUTH LINE OF LAND DESCRIBED IN OFFICIAL RECORDS BOOK 6004, PAGE 1168, IN SEMINOLE COUNTY, FLORIDA, SOUTH 89°38'39" WEST, A DISTANCE OF 478.30 FEET; THENCE, LEAVING SAID SOUTH LINE, NORTH 00°21'21" WEST, A DISTANCE OF 21.70 FEET TO THE POINT OF BEGINNING; THENCE SOUTH 89°23'07" WEST, A DISTANCE OF 30.00 FEET; THENCE NORTH 00°36'53" WEST, A DISTANCE OF 60.00 FEET; THENCE NORTH 89°23'07" EAST, A DISTANCE OF 30.00 FEET; THENCE SOUTH 00°36'53" EAST, A DISTANCE OF 60.00 FEET TO THE POINT OF BEGINNING.

CONTAINING 0.0413 ACRES OR 1800 SQUARE FEET, MORE OR LESS.

THE SIDELINES OF SAID EASEMENT ARE TO BE SHORTENED OR LENGTHENED TO FORM ONE CONTIGUOUS SHAPE, CONTAINING 0.6172 ACRES OR 26886 SQUARE FEET, MORE OR LESS.

PROJECT DESCRIPTION

THIS PROJECT IS FOR THE CONSTRUCTION OF AN UNMANNED TELECOMMUNICATIONS FACILITY CONSISTING OF THE INSTALLATION OF A 180' MONOPOLE TOWER COMMUNICATIONS TOWER AND FUTURE WIRELESS BASE STATION EQUIPMENT IN ORDER TO PROVIDE RADIO TRANSMISSION SERVICES FOR PERSONAL COMMUNICATIONS AS WELL AS EMERGENCY 911 SERVICE. PROJECT SIZE IS 1,800 SF LEASE AREA.

COORDINATES: (CENTER OF 180' MONOPOLE TOWER)
 LAT: 28°40'33.764" N (NAD 83/2011)
 LONG: 81°10'52.200" W (NAD 83/2011)
 ELEVATION: 32.6± NAVD 88 (PER SURVEY)
 FOLIO NUMBER: 11-21-31-300-0460-0000

PARENT TRACT SITE DATA:

SITE AREA: 597,647.47 ±SF = 13.74 AC
 LEASE PARCEL AREA: 1,800 SF = 0.04± AC

FUTURE LAND USE: INDUSTRIAL (IND)

UTILITIES

THIS PROJECT WILL REQUIRE POWER AND TELEPHONE SERVICE ONLY, NO NET UTILITIES OR GARBAGE COLLECTION WILL BE NEEDED TO SUPPORT THIS PROJECT.

HANDICAP ACCESS

THIS FACILITIES IS UNMANNED AND NOT FOR HUMAN HABITATION. HANDICAP ACCESS IS NOT REQUIRED.

PROJECT DENSITY

THERE ARE NO RESIDENTIAL UNITS FOR THIS PROJECT. PROJECT DENSITY IS N/A.

IMPERVIOUS COVERAGE

PROPOSED IMPERVIOUS SURFACE COVERAGE IS EQUAL TO FUTURE BUILDING (CARRIER CONCRETE SLABS/SHELTERS = 800 SF (4 CARRIER WITH 10'X20' CONCRETE SLABS) AND TOWER FOOTPRINT (50 SF)
 TOTAL IMPERVIOUS AREA: 850 SF

NOTES:

- FCC REQUIRES SIGNS TO BE PROVIDED AND INSTALLED AS NECESSARY.
- EQUIPMENT IS UNMANNED AND EXEMPT FROM H/C ACCESS UNDER FL. STATUTE SEC. 533.503 AND SEC. 41.2 OF THE ADAAG.
- "HIGH VOLTAGE-DANGER" SIGN INSTALLED ON GATE AND SIGN SHALL NOT EXCEED 1 SF IN AREA.
- 6' HIGH CHAIN-LINK FENCE WITH BARBED WIRE AND LOCKED ENTRY GATE.
- WATER AND SEWER SERVICES ARE NOT REQUIRED AT THIS SITE.

GULFSTREAM TOWERS 10' UTILITY EASEMENT

A 10 FEET UTILITY EASEMENT BEING A PORTION OF SECTION 11, TOWNSHIP 21 SOUTH, RANGE 31 EAST, SEMINOLE COUNTY, FLORIDA, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCE AT THE NORTHEAST CORNER OF THE SOUTHEAST 1/4 OF SECTION 11, TOWNSHIP 21 SOUTH, RANGE 31 EAST, SEMINOLE COUNTY, FLORIDA, THENCE, ALONG THE EAST LINE OF SAID SECTION 11, SOUTH 00°51'18" E, A DISTANCE OF 659.72 FEET; THENCE, LEAVING THE EAST LINE OF SAID SECTION 11 AND ALONG THE SOUTH LINE OF LAND DESCRIBED IN OFFICIAL RECORDS BOOK 6004, PAGE 1168, IN SEMINOLE COUNTY, FLORIDA, SOUTH 89°38'39" WEST, A DISTANCE OF 478.30 FEET; THENCE, LEAVING SAID SOUTH LINE, NORTH 00°21'21" WEST, A DISTANCE OF 21.70 FEET TO THE POINT OF BEGINNING; THENCE SOUTH 89°23'07" WEST, A DISTANCE OF 30.00 FEET; THENCE NORTH 00°36'53" WEST, A DISTANCE OF 60.00 FEET; THENCE NORTH 89°23'07" EAST, A DISTANCE OF 30.00 FEET; THENCE SOUTH 00°36'53" EAST, A DISTANCE OF 60.00 FEET TO THE POINT OF BEGINNING.

CONTAINING 0.1141 ACRES OR 4968 SQUARE FEET, MORE OR LESS.

FLOOD ZONE INFORMATION

COMMUNITY NUMBER	PANEL NUMBER	SUFFIX	DATE OF FIRM	FIRM ZONE	BASE FLOOD ELEVATION
120293	0195	F	09/28/2007	X	NA

GULFSTREAM TOWERS
 127 W. FAIRBANKS AVENUE,
 BOX #469
 WINTER PARK, FL 32789

PROJECT INFORMATION:

FL239 OVIEDO
 SANTA ROSA COURT
 OVIEDO, FL 32765
 OVIEDO COUNTY, FLORIDA

CURRENT ISSUE DATE:

JUNE 2024

ISSUED FOR:

CONSTRUCTION DRAWINGS

REV. DATE DESCRIPTION:

REV.	DATE	DESCRIPTION

SEAL:

PLANS PREPARED BY:

 © 2024 KIMLEY-HORN AND ASSOCIATES, INC.
 1920 WEKIVA WAY, SUITE 200
 WEST PALM BEACH, FLORIDA 33411
 (561) 845-0665
 FBPE REGISTRY NO. 35106

PROVIDER:

DRAWN BY: CHK. APV.:

VS	GD	TO
KEVIN K. MARAH	THOMAS M.J. O'SHEA	PE 71455 PE 96977

SHEET TITLE:

PARENT TRACT DETAIL

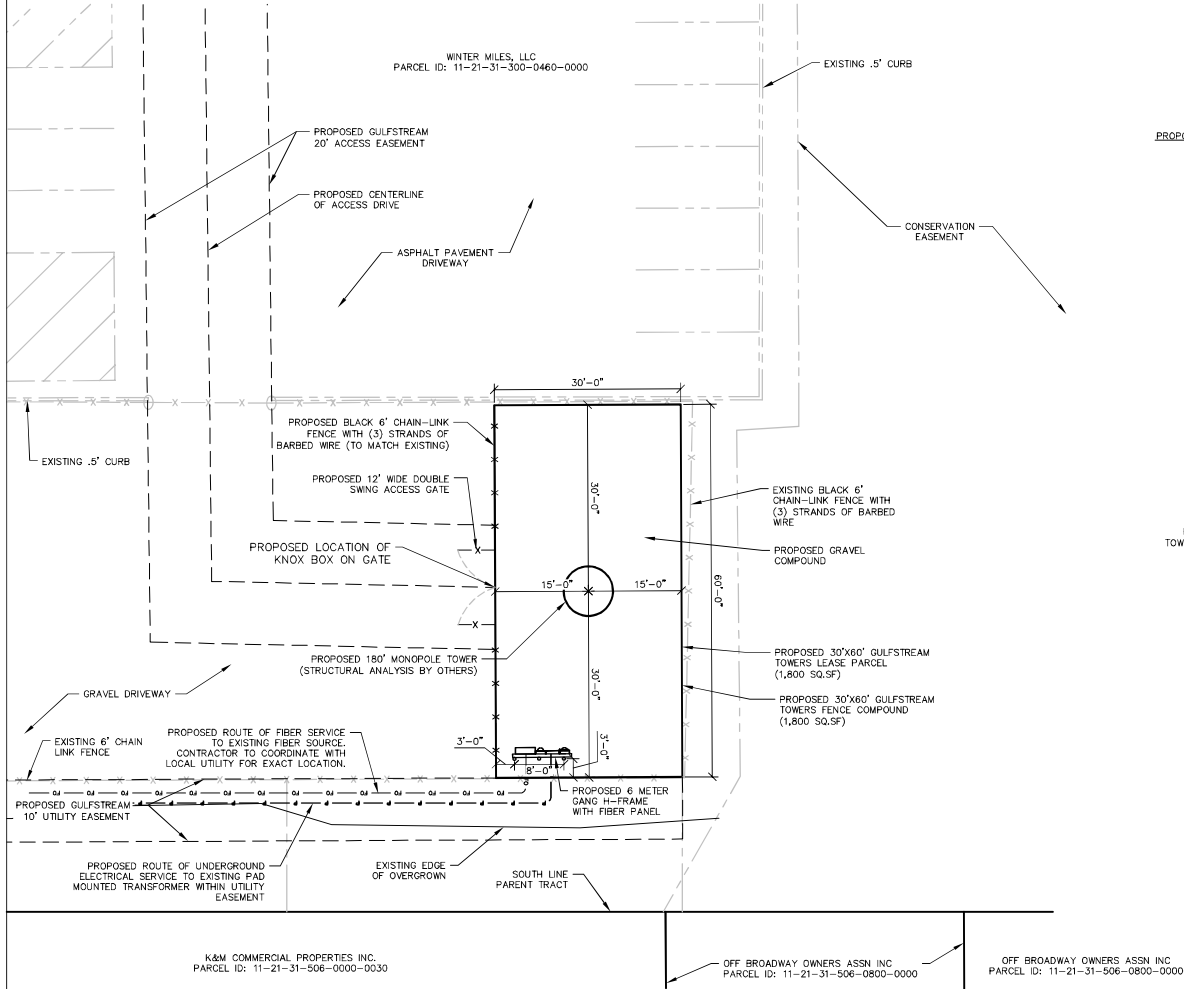
SHEET NUMBER: REVISION:

C-1

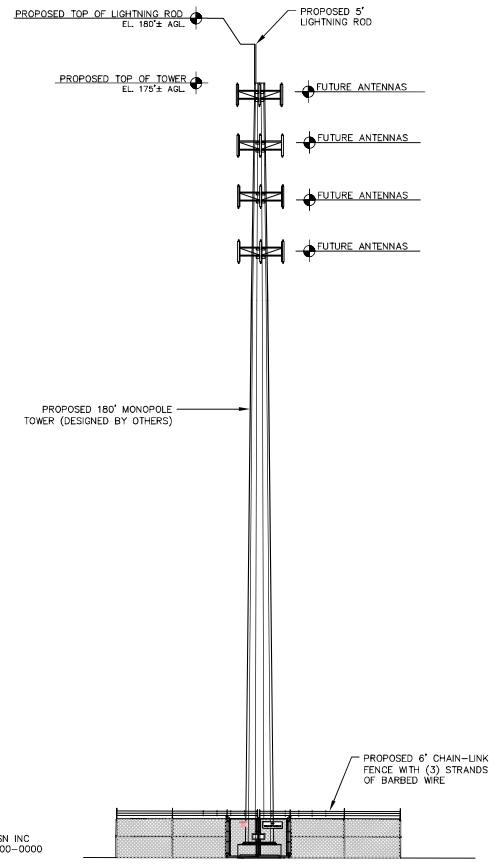
KHA Job #:

140601030

FLOOD ZONE INFORMATION					
COMMUNITY NUMBER	PANEL NUMBER	SUFFIX	DATE OF FIRM	FIRM ZONE	BASE FLOOD ELEVATION
120293	0195	F	09/28/2007	X	NA

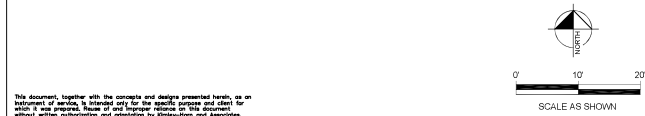


NOTE:
TOWER WILL BE DESIGNED TO HAVE A ZERO FALL ZONE.



TOWER ELEVATION
N.T.S.

- NOTE:
1. ALL PROPOSED ATTACHMENTS TO TOWER BASED ON STRUCTURAL ANALYSIS BY OTHERS.
 2. TOWER IS DESIGNED FOR A TOTAL OF FOUR WIRELESS SERVICE PROVIDERS. LOCATION OF FUTURE PROVIDERS IS APPROXIMATE.
 3. CONTRACTOR TO COORDINATE ANTENNA MOUNTS W/ OWNER.
 4. CONTRACTOR TO REFER TO STRUCTURAL ANALYSIS (BY OTHERS).



GULFSTREAM TOWERS ENLARGED SITE PLAN

NOTE:
1. SITE PLAN BASED ON SURVEY PROVIDED BY ADVANCED LAND SURVEYING AND MAPPING, INC.

GULFSTREAM
TOWERS
127 W. FAIRBANKS AVENUE,
BOX #469
WINTER PARK, FL 32789

PROJECT INFORMATION:
FL239 OVIEDO
SANTA ROSA COURT
OVIEDO, FL 32765
OVIEDO COUNTY, FLORIDA

CURRENT ISSUE DATE:
JUNE 2024

ISSUED FOR:
CONSTRUCTION DRAWINGS

REV.:	DATE:	DESCRIPTION:

SEAL:

PLANS PREPARED BY:
Kimley»Horn
© 2024 KIMLEY-HORN AND ASSOCIATES, INC.
1920 WEKIVA WAY, SUITE 200
WEST PALM BEACH, FLORIDA 33411
(561) 845-0665
FBPE REGISTRY NO. 35106

PROVIDER:

VS	GD	TO
KEVIN K. MARAJH THOMAS M.J. O'SHEA	PE 71455 PE 96977	

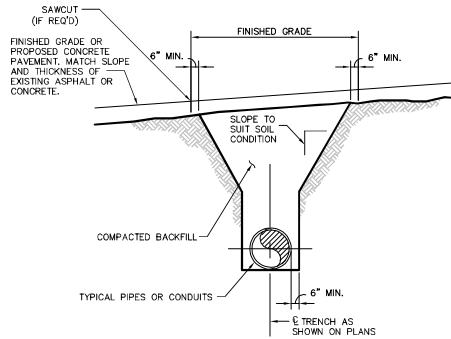
SHEET TITLE:

**ENLARGED SITE PLAN &
TOWER ELEVATION**

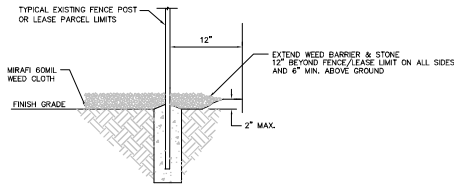
SHEET NUMBER: **C-2** REVISION:

KHA Job #: **140601030**

Drawing name: C:\WPB_CAD\ELLS_SITES\Memory Towers\140601030-FL239 Oviado\Drawings\FL239 Oviado\Drawings\DWG C-2 Jun 14, 2024 9:20am by gary.doherty

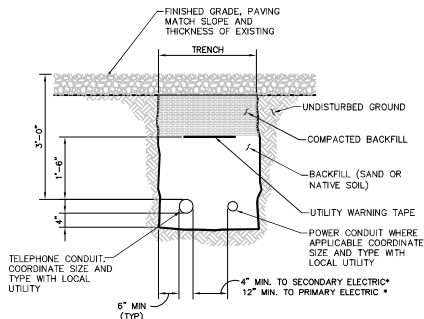


TYPICAL TRENCH DETAIL
N.T.S.

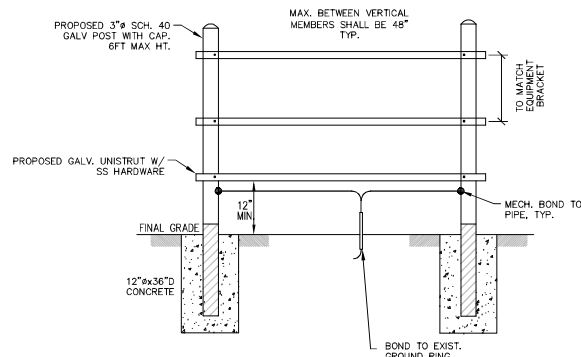


GRAVEL/WEED CLOTH DETAIL
N.T.S.

NOTE: ALL MATERIALS FURNISHED BY CONTRACTOR UNLESS OTHERWISE NOTED.



JOINT SERVICE TRENCH BURIED CONDUIT ELECT/TELEPHONE
N.T.S.



H-FRAME DETAIL
N.T.S.

GULFSTREAM TOWERS
127 W. FAIRBANKS AVENUE,
BOX #469
WINTER PARK, FL 32789

PROJECT INFORMATION:

FL239 OVIEDO

SANTA ROSA COURT
OVIEDO, FL 32765
OVIEDO COUNTY, FLORIDA

CURRENT ISSUE DATE:

JUNE 2024

ISSUED FOR:

CONSTRUCTION DRAWINGS

REV.: DATE: DESCRIPTION:

SEAL:

PLANS PREPARED BY:

Kimley»Horn

© 2024 KIMLEY-HORN AND ASSOCIATES, INC.
1920 WEKIVA WAY, SUITE 200
WEST PALM BEACH, FLORIDA 33411
(561) 845-0665
FBPE REGISTRY NO. 35106

PROVIDER:

DRAWN BY: CHK.: APV.:

VS GD TO

LICENSURE:
KEVIN K. MARAJ PE 71455
THOMAS M.J. O'SHEA PE 96977

SHEET TITLE:

CONSTRUCTION DETAILS

SHEET NUMBER: REVISION:

C-3

KHA Job #:

140601030

Drawing name: C:\WPB_CHA\VELL_SITES\Mercury Towers\140601030-FL239 Oviado\Code\FL239 CHA.dwg C-3 Jun 14, 2024 9:20am by gary.doherty

This document, together with the concepts and designs presented herein, is an instrument of service, is intended only for the specific purpose and client for which it was prepared, bears no responsibility for any other project, and shall not be used for any other project without the written authorization and adaptation by Kimley-Horn and Associates, Inc. and shall be returned in full to Kimley-Horn and Associates, Inc.

PROJECT INFORMATION:

FL239 OVIEDO

SANTA ROSA COURT
OVIEDO, FL 32765
OVIEDO COUNTY, FLORIDA

CURRENT ISSUE DATE:

JUNE 2024

ISSUED FOR:

CONSTRUCTION DRAWINGS

REV.: DATE: DESCRIPTION:

REV.	DATE	DESCRIPTION

SEAL:



PLANS PREPARED BY:

Kimley»Horn
© 2024 KIMLEY-HORN AND ASSOCIATES, INC.

1920 WEKIVA WAY, SUITE 200
WEST PALM BEACH, FLORIDA 33411
(561) 845-0665
FBPE REGISTRY NO. 35106

PROVIDER:



DRAWN BY: CHK.: APV.:

VS	GD	TO

LICENSURE:

KEVIN K. MARAJ THOMAS M.J. O'SHEA	PE 71455 PE 96977
--------------------------------------	----------------------

SHEET TITLE:

FENCE AND GATE DETAILS

SHEET NUMBER: REVISION:

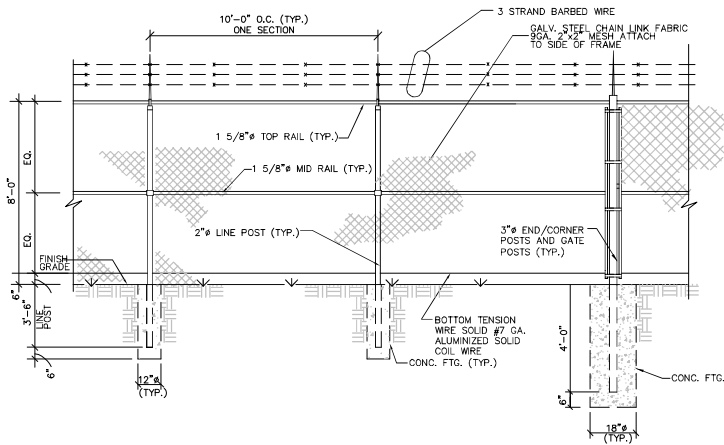
C-4

KHA Job #:

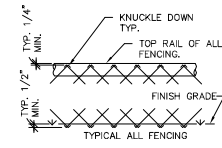
140601030

FENCING NOTES:

- ALL CHAIN LINK FENCE WALLS TO BE STRUNG THROUGH STRETCHER BARS AND ATTACHED TO END POST WITH CLIP.
- ALL CHAIN LINK FENCE ALONG PIPE FRAME TO BE WIRE TIED.
- "NO TRESPASSING" SIGNS MUST BE ATTACHED TO FENCE. SIGN NOT TO EXCEED 1 SF IN AREA.
- ALL GALVANIZED STEEL PIPE TO BE A.S.A. SCH. 40.
- GATE SHALL HAVE HEAVY DUTY HINGES AND LOCKING DEVICE.
- SPLICES SHOULD ONLY OCCUR AT CROSSRAILS.
- CAP TOPS OF UPRIGHTS SHALL EITHER HAVE A CONTINUOUS WELD OR HAVE "SET SCREWS" SO THEY CAN NOT BE REMOVED.
- USE ONLY A HEAVY DUTY LATCH ON GATE.
- CONCRETE FOR FOOTINGS TO HAVE A MINIMUM 28 DAY COMPRESSIVE STRENGTH OF 3000 PSI.
- ALL MATERIALS FURNISHED BY CONTRACTOR UNLESS OTHERWISE NOTED.

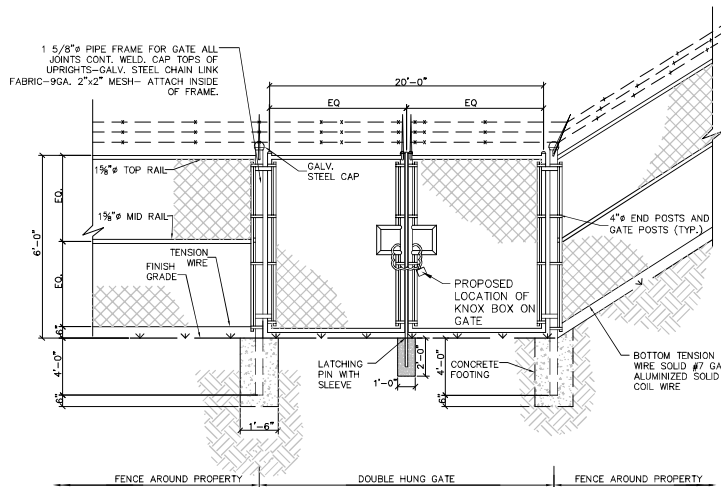


FENCE ELEVATION
N.T.S.



NOTE: ALL MATERIALS FURNISHED BY CONTRACTOR UNLESS OTHERWISE NOTED.

KNUCKLED DOWN DETAIL
N.T.S.



12' GATE ELEVATION
N.T.S.



18"x24" ALUMINUM SIGN WITH 1/4" DRILLED HOLES IN EACH CORNER THICKNESS: 0.05" HUNG ON ACCESS ROAD GATE IF APPLICABLE.



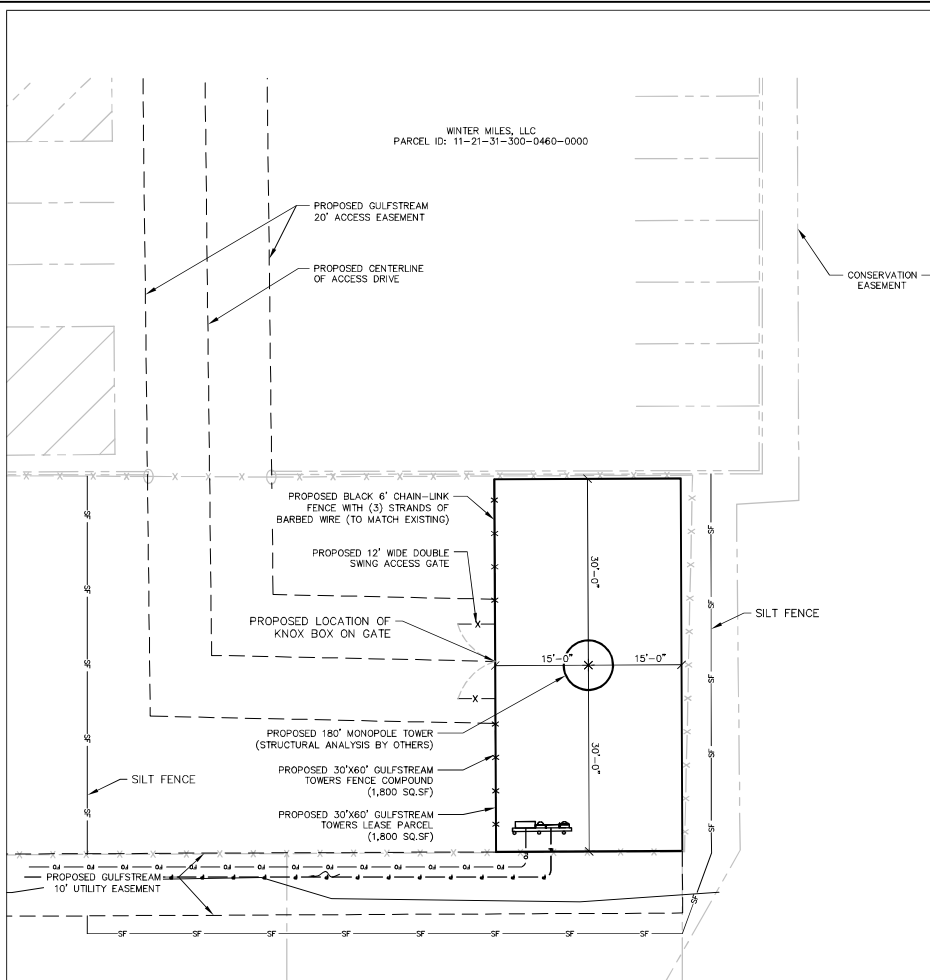
12"x18" ALUMINUM SIGN WITH 1/4" DRILLED HOLES IN EACH CORNER THICKNESS: 0.05" HUNG ON COMPOUND GATE.

SIGN DETAIL
N.T.S.

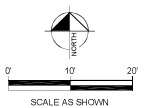
Drawing name: C:\WPB_CAD\VELL_SITES\Mercury Towers\140601030-FL239 Oviedo\Drawings\FL239 C-4.dwg C-4 Jun 14, 2024 9:20am by gary.snow

This document, together with the concepts and designs presented herein, is an instrument of service, is intended only for the specific purpose and client for which it was prepared, bears no real or constructive notice on the ground, and without written authorization and adaptation by Kimley-Horn and Associates, Inc. shall be without liability to Kimley-Horn and Associates, Inc.

Drawing name: C:\WPB_CAD\CELL_SITES\Mercury Towers\140601030 - Gulfstream Towers\140601030-FL239 - 040601030.dwg C-5 Jun 14, 2024 9:20am by gary.daw



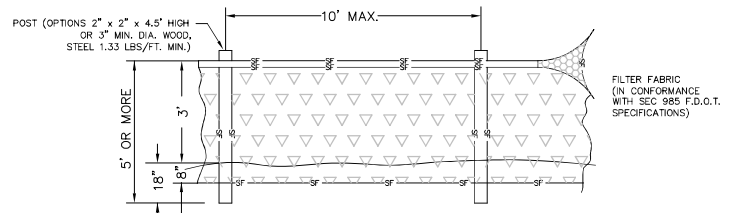
EROSION CONTROL PLAN



LEGEND
 — SF — SILT FENCE

EROSION AND SEDEMENTATION CONTROL DETAILS AND NOTES

This document, together with the concepts and designs presented herein, is an instrument of service, is prepared only for the specific purpose and client for which it was prepared, is based on field and laboratory records on file prepared without further authorization and adaptation by Kimley-Horn and Associates, Inc. and shall be returned in full to Kimley-Horn and Associates, Inc.



ELEVATION TYPICAL SILT FENCE
 N.T.S.

B.M.P.'s (BEST MANAGEMENT PRACTICES)
 THE PLAN ADDRESSES THE FOLLOWING AREAS:
 1. GENERAL EROSION CONTROL.
 2. PROTECTION OF SURFACE WATER QUALITY DURING AND AFTER CONSTRUCTION
 3. CONTROL OF WIND EROSION.

THE VARIOUS TECHNIQUES OR ACTIONS IDENTIFIED UNDER EACH SECTION INDICATE THE APPROPRIATE SITUATION WHEN THE TECHNIQUES SHOULD BE EMPLOYED. IT SHOULD BE NOTED THAT THE MEASURES IDENTIFIED ON THIS PLAN ARE ONLY SUGGESTED BMP(S). THE CONTRACTOR SHALL PROVIDE POLLUTION PREVENTION AND EROSION CONTROL MEASURES AS SPECIFIED IN FOOT INDEX #100 AND AS NECESSARY FOR EACH SPECIFIC APPLICATION, INCLUDING ALL REQUIREMENTS OF THE STORM WATER POLLUTION PREVENTION PLAN (SWPPP), THE SOUTHWEST FLORIDA WATER MANAGEMENT DISTRICT (SWFWM), ENVIRONMENTAL RESOURCE.

SECTION 1 GENERAL EROSION CONTROL

1.1 GENERAL EROSION CONTROL BMP'S SHALL BE EMPLOYED TO MINIMIZE SOIL EROSION. WHILE THE VARIOUS TECHNIQUES REQUIRED WILL BE SITE AND PLAN SPECIFIC, THEY SHOULD BE EMPLOYED AS SOON AS POSSIBLE DURING CONSTRUCTION ACTIVITIES.

1.2 CLEARED SITE DEVELOPMENT AREAS NOT CONTINUALLY SCHEDULED FOR CONSTRUCTION ACTIVITIES SHALL BE COVERED WITH HAY OR OVERSEEDED AND PERIODICALLY WATERED SUFFICIENT TO STABILIZE THE TEMPORARY GROUND COVER.

1.3 SLOPES OF BANKS OF DRY DETENTION AREAS SHALL BE CONSTRUCTED NOT STEEPER THAN 4H:1V FROM TOP OF BANK.

1.4 ALL GRASS SLOPES CONSTRUCTED STEEPER THAN 4H:1V SHALL BE SODDED AS SOON AS PRACTICAL AFTER THEIR CONSTRUCTION.

1.5 SOD SHALL BE PLACED FOR A 3-FOOT WIDE STRIP ADJOINING ALL CURBING AND AROUND ALL INLETS AS REQUIRED BY PLAN. SOD SHALL BE PLACED BEFORE SILT BARRIERS ARE REMOVED.

1.6 WHERE REQUIRED TO PREVENT EROSION FROM SHEET FLOW ACROSS BARE GROUND FROM ENTERING A DETENTION AREA OR SWALE, A TEMPORARY SEDIMENT SUMP SHALL BE CONSTRUCTED. THE TEMPORARY SEDIMENT SUMP SHALL REMAIN IN PLACE UNTIL THE GROUND DRAINING TO THE SUMP IS STABILIZED.

SECTION 2 PROTECTION OF SURFACE WATER QUALITY DURING & AFTER CONSTRUCTION

2.1 SURFACE WATER QUALITY SHALL BE MAINTAINED BY EMPLOYING THE FOLLOWING BMP'S IN THE CONSTRUCTION PLANNING AND CONSTRUCTION OF ALL IMPROVEMENTS.

2.2 WHERE PRACTICAL, STORMWATER SHALL BE CONVEYED BY SWALES.

2.3 EROSION CONTROL MEASURES SHALL BE EMPLOYED TO MINIMIZE TURBIDITY OF SURFACE WATERS LOCATED DOWNSTREAM OF ANY CONSTRUCTION ACTIVITY, WHILE THE VARIOUS MEASURES REQUIRED WILL BE SITE SPECIFIC, THEY SHALL BE EMPLOYED AS NEEDED IN ACCORDANCE WITH THE FOLLOWING:
 A) IN GENERAL, EROSION SHALL BE CONTROLLED AT THE FURTHEST PRACTICAL UPSTREAM LOCATION.
 B) STORMWATER INLETS SHALL BE PROTECTED DURING CONSTRUCTION AS SHOWN.
 PROTECTION MEASURES SHALL BE EMPLOYED AS SOON AS PRACTICAL DURING THE VARIOUS STAGES OF INLET CONSTRUCTION. SILT BARRIERS SHALL REMAIN IN PLACE UNTIL SODDING AROUND INLETS IS COMPLETE.

2.4 HEAVY CONSTRUCTION EQUIPMENT PARKING AND MAINTENANCE AREAS SHALL BE DESIGNED TO PREVENT OIL, GREASE, AND LUBRICANTS FROM ENTERING SITE DRAINAGE FEATURES INCLUDING STORMWATER COLLECTION AND TREATMENT SYSTEMS. CONTRACTORS SHALL PROVIDE BROAD DIKES, HAY BALES OR SILT SCREENS AROUND, AND SEDIMENT SUMPS WITHIN, SUCH AREAS AS REQUIRED TO CONTAIN SPILLS OF OIL, GREASE OR LUBRICANTS. CONTRACTORS SHALL HAVE AVAILABLE, AND SHALL USE, ABSORBENT FILTER PADS TO CLEAN UP SPILLS AS SOON AS POSSIBLE AFTER OCCURRENCE.

2.5 SILT BARRIERS, ANY SILT WHICH ACCUMULATES BEHIND THE BARRIERS, AND ANY FILL USED TO ANCHOR THE BARRIERS SHALL BE REMOVED PROMPTLY AFTER THE END OF THE MAINTENANCE PERIOD SPECIFIED FOR THE BARRIERS.

SECTION 3 CONTROL OF WIND EROSION

3.1 WIND EROSION SHALL BE CONTROLLED BY EMPLOYING THE FOLLOWING METHODS AS NECESSARY AND APPROPRIATE:
 A) BARE EARTH AREAS SHALL BE WATERED DURING CONSTRUCTION AS NECESSARY TO MINIMIZE THE TRANSPORT OF FUGITIVE DUST. IT MAY BE NECESSARY TO LIMIT CONSTRUCTION VEHICLE SPEED IF BARE EARTH HAS NOT BEEN EFFECTIVELY WATERED. IN NO CASE SHALL FUGITIVE DUST BE ALLOWED TO LEAVE THE SITE UNDER CONSTRUCTION.
 B) AS SOON AS PRACTICAL AFTER COMPLETION OF CONSTRUCTION, BARE EARTH AREAS SHALL BE VEGETATED.
 C) AT ANY TIME BOTH DURING AND AFTER SITE CONSTRUCTION THAT WATERING AND/OR VEGETATION ARE NOT EFFECTIVE IN CONTROLLING WIND EROSION AND/OR TRANSPORT OF FUGITIVE DUST, OTHER METHODS AS ARE NECESSARY FOR SUCH CONTROL SHALL BE EMPLOYED. THESE METHODS MAY INCLUDE ERECTION OF DUST CONTROL FENCES; IF REQUIRED, DUST CONTROL FENCES SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE DETAIL FOR A SILT FENCE, AS SHOWN, EXCEPT THE MINIMUM HEIGHT SHALL BE 4 FEET.

GULFSTREAM TOWERS
 127 W. FAIRBANKS AVENUE,
 BOX #469
 WINTER PARK, FL 32789

PROJECT INFORMATION:
FL239 OVIEDO
 SANTA ROSA COURT
 OVIEDO, FL 32765
 OVIEDO COUNTY, FLORIDA

CURRENT ISSUE DATE:
JUNE 2024

ISSUED FOR:
CONSTRUCTION DRAWINGS

REV.: DATE: DESCRIPTION:

SEAL:

PLANS PREPARED BY:
Kimley-Horn
© 2024 KIMLEY-HORN AND ASSOCIATES, INC.
 1920 WEKIVA WAY, SUITE 200
 WEST PALM BEACH, FLORIDA 33411
 (561) 845-0665
 FBPE REGISTRY NO. 35106

PROVIDER:

VS	GD	TO
----	----	----

LICENSURE:
 KEVIN K. MARAH PE 71455
 THOMAS M.J. O'SHEA PE 96977

SHEET TITLE:
EROSION CONTROL PLAN

SHEET NUMBER: REVISION:

C-5

KHA Job #:
140601030

Drawing name: E:\JMK_Libya\JMK\Gulfstream Tower\VT-1239 - Oviedo_CAD\VT-1239 - Oviedo_E-SHEETS.dwg E-1 Jun 14, 2024 11:00am By: MyoanFofant@E

ELECTRICAL NOTES:

1. GENERAL
 - 1.1. THE CONTRACTOR SHALL PROVIDE ALL MATERIAL AND LABOR FOR A COMPLETE ELECTRICAL SYSTEM AS INDICATED ON THE DRAWINGS. ITEMS NOT SHOWN BUT OBVIOUSLY NECESSARY FOR A COMPLETE SYSTEM SHALL BE INCLUDED.
 - 1.2. THE CONTRACTOR SHALL COORDINATE WITH CPM TO OBTAIN ALL NECESSARY PERMITS, INSPECTIONS AND APPROVALS.
 - 1.3. ALL WORK SHALL CONFORM TO THE NATIONAL ELECTRICAL CODE-NEC 2020 OR LATEST APPROVED EDITION (NFPA 70), THE INSTALLATION SHALL COMPLY WITH ALL APPLICABLE RULES AND REGULATIONS OF LOCAL AND STATE AUTHORITIES HAVING JURISDICTION.
 - 1.4. ALL WORK SHALL CONFORM TO THE 2023 FLORIDA BUILDING CODE AND THE LOCAL BUILDING CODES. ALL COMPONENTS SHALL BE U.L. APPROVED.
 - 1.5. THE CONTRACTOR SHALL, BEFORE SUBMITTING HIS BID, VISIT THE SITE OF THE PROJECT AND BECOME FAMILIAR WITH THE CONDITIONS. NO ALLOWANCE WILL BE MADE FOR EXISTING CONDITIONS OR FAILURE OF THE CONTRACTOR TO OBSERVE THEM.
 - 1.6. EXACT LOCATION OF ALL EQUIPMENT SHALL BE COORDINATED WITH CPM, THE BUILDING OWNER AND OTHER TRADES.
 - 1.7. WHERE EQUIPMENT IS SPECIFIED BY MANUFACTURER AND TYPE, SUBSTITUTION SHALL ONLY BE MADE WITH THE APPROVAL OF THE ENGINEER.
2. SCOPE OF WORK

THE CONTRACTOR SHALL PROVIDE ALL ELECTRICAL WIRING AND EQUIPMENT UNLESS OTHERWISE INDICATED. MAIN COMPONENTS ARE AS FOLLOWS:

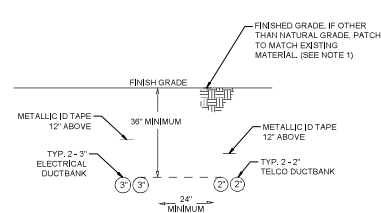
 - 2.1. VERIFY POWER CAPACITY WITH UTILITY PROVIDER PRIOR TO CONSTRUCTION. CONTRACTOR SHALL NOTIFY ENGINEER PRIOR TO CONSTRUCTION IF AVAILABLE CAPACITY IS INSUFFICIENT.
 - 2.2. PROVIDE ELECTRICAL SERVICE AS INDICATED ON THE DRAWINGS.
 - 2.3. PROVIDE SERVICE EQUIPMENT MOUNTED AS INDICATED BY CARRIER AND AS ON DRAWINGS.
 - 2.4. COORDINATE ELECTRICAL SERVICE WITH POWER CO., CONTACT REP PRIOR TO CONSTRUCTION.
 - 2.5. INSTALL WIRE AND CONDUIT AS INDICATED. PROVIDE CABLE SUPPORT AS INDICATED.
 - 2.6. PROVIDE GROUNDING AND LIGHTNING PROTECTION SYSTEM AS INDICATED ON DRAWINGS.
 - 2.7. RESTORE ALL AREAS TO ORIGINAL CONDITION AFTER INSTALLATION OF CONDUIT, CUT AND PATCH CONCRETE AND/OR ASPHALT AS REQUIRED.
 - 2.8. CONTRACTOR SHALL CLEARLY LABEL DISCONNECTS, METERS, BREAKERS, TELEPHONE TERMINAL BOX AND OTHER RELATED GEAR.
3. CONDUIT
 - 3.1. CONDUIT SIZES AS SHOWN ON THE DRAWINGS ARE A MINIMUM. THE CONTRACTOR MAY INCREASE AS REQUIRED FOR EASE OF PULLING.
 - 3.2. CONDUIT TYPES SHALL BE AS FOLLOWS UNLESS OTHERWISE INDICATED
 - 3.2.1. ALL ABOVE GRADE CONDUIT SHALL BE RIGID GALVANIZED STEEL.
 - 3.2.2. ALL CONDUIT BELOW GRADE SHALL BE SCHEDULE 40 PVC.
 - 3.2.3. CONCEALED CONDUIT IN WALLS OR ABOVE CEILING MAY BE EMT.
 - 3.3. ALL EXPOSED CONDUIT SHALL BE NEATLY INSTALLED AND RUN PARALLEL OR PERPENDICULAR TO STRUCTURAL ELEMENTS. SUPPORTS AND MOUNTING HARDWARE SHALL BE HOT DIPPED GALVANIZED STEEL. CONDUITS SHALL HAVE BURRS REMOVED WITH A REAMER. CONDUITS ENTERING CABINETS SHALL HAVE LOCK NUTS INSIDE AND OUT UNLESS ENTRANCE IS THREADED. NYLON INSULATED BUSHINGS SHALL BE USED ON ALL CONDUIT TERMINATIONS.
 - 3.4. FLEX CONDUIT SHALL BE LIQUID TIGHT FLEXIBLE METALLIC CONDUIT.
4. CONDUCTORS
 - 4.1. WIRING SHALL BE AWG STRANDED COPPER WITH THWN WITH 75°C RISE INSULATION OR EQUIVALENT INSULATION.
 - 4.2. PULL BOXES AND JUNCTION BOXES INTERIOR ENCL. SHALL BE NEMA 1. EXTERIOR ENCL. SHALL BE NEMA 3R.
 - 4.3. CONDUCTORS SHALL BE AWG. CU UNLESS NOTED OTHERWISE.

GROUNDING PROTECTION SYSTEM NOTES:

1. GROUNDING
 - 1.1. PROVIDE GROUND SYSTEM AS INDICATED ON THE DRAWINGS AND AS REQUIRED BY THE NATIONAL ELECTRICAL CODE AND RADIO EQUIPMENT MANUFACTURER.
 - 1.2. ALL RACEWAYS REQUIRE GROUNDING CONDUCTORS, BONDING CONDUCTORS THROUGH THE RACEWAY SYSTEM SHALL BE CONTINUOUS FROM MAIN SWITCH GROUND BUSES TO PANEL GROUND BARS AND FROM PANEL GROUNDING BARS TO BRANCH CIRCUIT OUTLETS, MOTORS, LIGHTS, ETC. THESE GROUND CONDUCTORS ARE REQUIRED THROUGHOUT THE PROJECT REGARDLESS OF WHETHER CONDUIT RUNS SHOW GROUND CONDUCTORS ON THE DRAWINGS.
2. PROVIDE GROUND BAR AND CABLE GROUND KITS TO BOND FIBER OPTICS CABLE TO GROUND RING AT ANTENNA AND AT CABINET IF CABLE HAS METAL JACKET.
3. PROVIDE A #2 AWG TINNED COPPER GROUND RING BURIED A MINIMUM OF 30" BELOW GRADE. THE GROUND RING SHALL BE INSTALLED 2'-0" AWAY FROM FOUNDATION (MINIMUM UNLESS SHOWN ON DRAWING).
4. BOND FENCE POST TO GROUND RING USING AN EXOTHERMIC WELD. BOND FENCE GATE TO POST WITH A FLEXIBLE COPPER JUMPER STRAP MECHANICALLY OR EXOTHERMICALLY. PROVIDE GRADED BONDING JUMPERS BETWEEN EACH GATE-POST AND FENCE-POST AS REQUIRED TO MAINTAIN CONTINUOUS CONNECTION OF GROUND AND FENCE. TYPICAL FOR ALL FENCE PLANES WITHIN 12 FEET OF TOWER FOUNDATION. FOR FENCE SECTIONS BEYOND 12'-0", EXTEND 1 #2 AWG TO EACH FENCE SECTION WITHIN 50'-0".
5. BOND DISCONNECT SWITCH, METER, TELEPHONE CABINET, EQUIPMENT CABINET(S) AND SERVICE CONDUITS TO BURIED GROUND RING.
6. EACH LEG OF THE WAVEGUIDE STRUCTURE SHALL BE INDIVIDUALLY BONDED TO THE BURIED GROUND RING. EXOTHERMICALLY WELD CONNECTIONS AT POST FOR WAVEGUIDE STRUCTURE AND BURIED GROUND RINGS. PLACE 3/4"X1042 COPPER/CLAD GROUND ROD AT 10'-0" INTERVALS ALONG WAVEGUIDE PATH.
7. PROVIDE INSPECTION SLEEVE AT ALL BURIED GROUND RING EXOTHERMIC CONNECTIONS.
8. PROVIDE BONDING CONDUCTOR(S) FROM THE BURIED GROUND RING TO THE TRANSMISSION CABLE BUS BAR AT POINT OF ENTRANCE TO THE COMMUNICATION STRUCTURE. VERIFY EXACT LOCATION OF COPPER BUS BAR FOR PROPER CONDUCTOR LENGTH(S).
9. PROVIDE 3/4"X10'-0" LONG COPPER CLAD GROUND RODS PLACED EVERY 10' (NON-LINEAR) ALONG BURIED GROUNDING CABLE. TYPICAL FOR ALL GROUND RODS SHOWN. USE STAINLESS STEEL HARDWARE WHERE APPLICABLE.
10. BOND ALL GROUND BUS BARS AND EQUIPMENT SUPPORT TO BURIED GROUND RING VIA 2 PATHS UNLESS SPECIFIED DIFFERENTLY (TYPICAL).
11. ELECTRICAL CONTRACTOR SHALL TAKE MEGGER READINGS OF GROUND. THE RESULTS SHALL NOT BE GREATER THAN 5 OHMS.
12. ALL CONNECTIONS TO GROUND SYSTEM SHALL BE MADE IN LINE WITH BENDS NOMINAL 12" RADIUS IN THE DIRECTION OF CURRENT FLOW. T CONNECTIONS WILL NOT BE ALLOWED.
13. ALL BENDS IN GROUND WIRES SHALL BE NOMINAL 12" RADIUS.
14. CONTRACTOR SHALL BOND FRAMES TO EACH OTHER & TO GROUND RING VIA TWO PATHS. COORD. WITH CPM. CADWELD EACH CABINET GROUND WIRE TO GROUND RING AS SHOWN IN EQUIPMENT GROUNDING DETAIL.
15. ALL #2 AWG GROUNDING WIRE SHALL BE TINNED COPPER UNLESS OTHERWISE NOTED.
16. CONTRACTOR SHALL FOLLOW ANY ADDITIONAL GROUNDING REQUIREMENTS AS DETAILED IN THE GULFSTREAM TOWERS SPECIFICATIONS.

CONDUIT INSTALLATION NOTES:

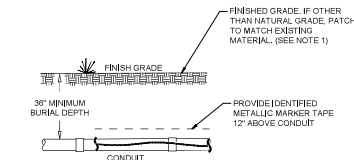
1. CONDUIT
 - 1.1. ALL CONDUIT RUNS AND EQUIPMENT LOCATIONS ARE ILLUSTRATIONS ONLY. CONTRACTOR TO FIELD COORDINATE WITH CPM PRIOR TO ANY EQUIPMENT BEING INSTALLED.
 - 1.2. CONTRACTOR SHALL PROVIDE TRAFFIC RATED, BROOKS SERIES 66, PULL BOXES AT LOCATIONS REQUIRED.
 - 1.3. AT LOCATIONS WHERE UNDER GROUND CONDUIT ROUTE IS UNDER SLAB, CUT AND PATCH CONCRETE/ASPHALT AS NEEDED. REPLACEMENT CONCRETE/ASPHALT TO MATCH EXISTING CONDITIONS.
 - 1.4. WHERE NOTED ON DRAWINGS, CONTRACTOR SHALL BOND GROUND RING TO PROPOSED TOWER GROUND RING AND FENCE GATE GROUNDING. CONTRACTOR SHALL CADWELD CONNECTIONS WITH INSPECTION SLEEVE.



NOTES:
 1. CONTRACTOR SHALL CONTACT THE CIVIL ENGINEER PRIOR TO CONSTRUCTION FOR ANY PAVEMENT RESTORATION AND/OR CONSTRUCTION DETAILS AND SPECIFICATIONS IF ANY PAVEMENT RESTORATION AND/OR CONSTRUCTION IS REQUIRED.



TYPICAL BURIED ELECTRICAL RACEWAY
 NTS



NOTES:
 1. CONTRACTOR SHALL CONTACT THE CIVIL ENGINEER PRIOR TO CONSTRUCTION FOR ANY PAVEMENT RESTORATION DETAILS AND SPECIFICATIONS IF ANY PAVEMENT RESTORATION IS REQUIRED.



TYPICAL BURIED CONDUIT
 NTS

JWME Engineering, Inc.
 JOHN ENGINEERING LLC
 4807 NW 4TH STREET SUITE D
 GIBBSVILLE, FL 32056
 WWW.JWMEENGINEERING.COM
 P: 850-605-4800
 F: 850-624-4824
 E: JWME@JWMEENGINEERING.COM
 Fajardo 4319

GULFSTREAM
 TOWERS
 127 W. FAIRBANKS AVENUE,
 BOX #469
 WINTER PARK, FL 32789

PROJECT INFORMATION:
FL239 OVIEDO
 410 SANTA ROSA COURT
 OVIEDO, FL 32765
 OVIEDO COUNTY, FLORIDA

CURRENT ISSUE DATE:
JUNE 2024

ISSUED FOR:
CONSTRUCTION DRAWINGS

REV. #	DATE	DESCRIPTION

SEAL:

 Stephen M. Belser, Professional Engineer

PLANS PREPARED BY:
Kimley»Horn
 © 2024 KIMLEY-HORN AND ASSOCIATES, INC.
 1920 WEKIVA WAY, SUITE 200
 WEST PALM BEACH, FLORIDA 33411
 (561) 845-0665
 FBPE REGISTRY NO. 35106

PROVIDER:

DRAWN BY: _____ CHK.: _____ APV.: _____

WF	WM	SB
----	----	----

LICENSURE:

STEPHEN M. BELSER	PE 67514
WAYLON O. FRANCIS	PE 91434

SHEET TITLE:
ELECTRICAL & GROUNDING NOTES

SHEET NUMBER: _____ REVISION: _____

E-1

KHA Job #:
140601030

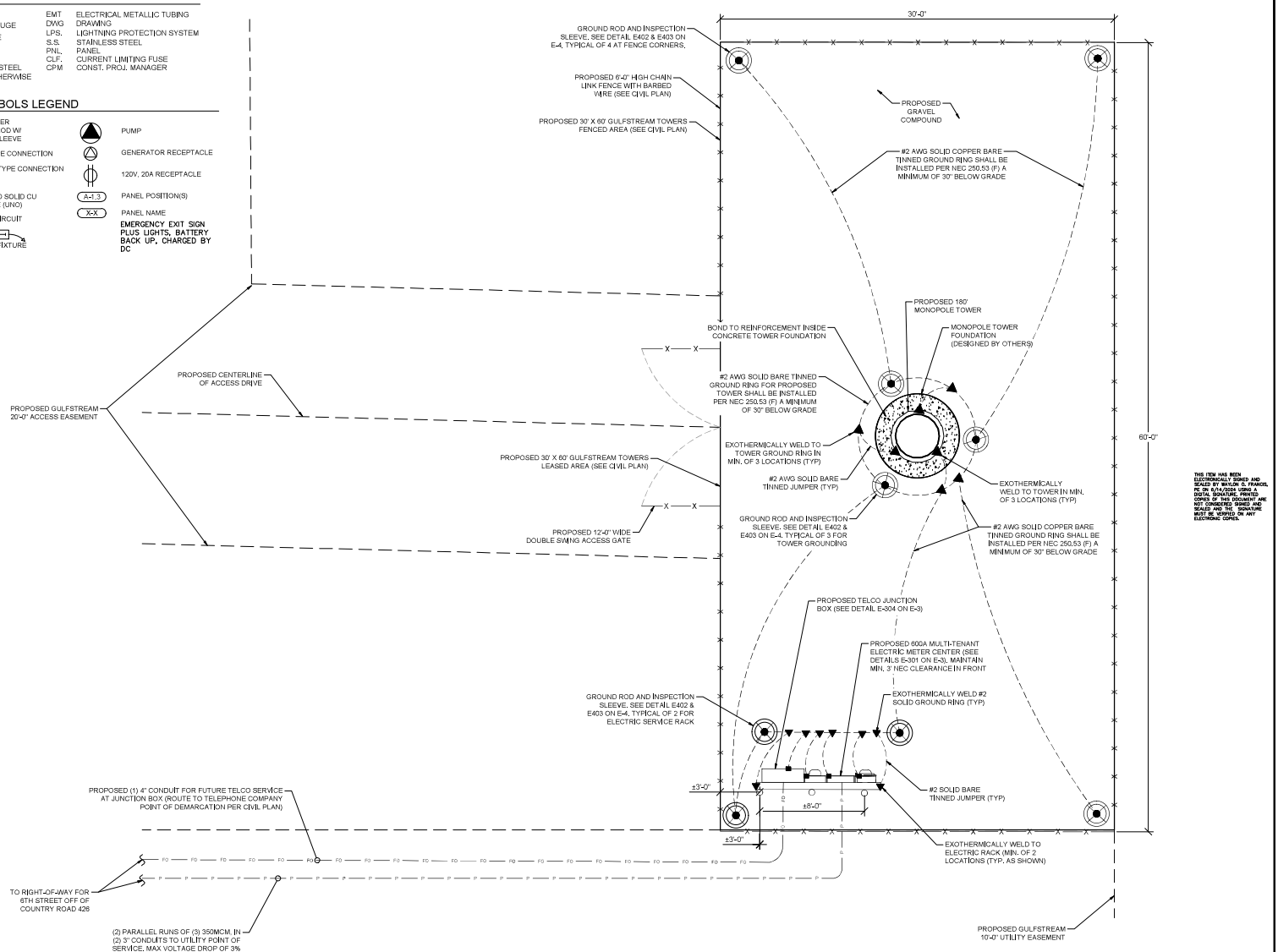
Drawing name: I:\MKT\Jobs\JWA\Gulfstream Tower\1239 - Oviedo\2024\1239 - Oviedo_L-SHEETS.dwg E-2 Jun 14, 2024 10:27am By: WojanFonduche

ELECTRICAL ABBREVIATIONS LEGEND

ANT	ANTENNA	EMT	ELECTRICAL METALLIC TUBING
AWG	AMERICAN WIRE GAUGE	DWG	DRAWING
BCW	BARE COPPER WIRE	LPS	LIGHTNING PROTECTION SYSTEM
RWY	RACEWAY	S.S.	STAINLESS STEEL
TYP.	TYPICAL	PNL	PANEL
RGS	RIGID GALVANIZED STEEL	CLF	CURRENT LIMITING FUSE
UNO	UNLESS NOTED OTHERWISE	CPM	CONST. PROJ. MANAGER

ELECTRICAL SYMBOLS LEGEND

	3/4" X 1/2" COPPER GROUNDING ROD W/ INSPECTION SLEEVE		PUMP
	CADWELD TYPE CONNECTION		GENERATOR RECEPTACLE
	MECHANICAL TYPE CONNECTION		120V, 20A RECEPTACLE
	BUS BAR		PANEL POSITION(S)
	#2AWG TINNED SOLID CU GROUND WIRE (UNO)		PANEL NAME
	ELECTRICAL CIRCUIT		EMERGENCY EXIT SIGN PLUS LIGHTS, BATTERY BACK UP, CHARGED BY DC
	4'X4" FLORESCENT LIGHT FIXTURE		



TOWER ELECTRICAL SITE AND GROUNDING PLAN
 SCALE AS SHOWN

JWME Engineering, Inc.
 JWME ENGINEERING, LLC
 607 NW 4th STREET SUITE D
 GONZALES, FL 32068
 P: 352-254-8890
 F: 352-254-4124
 c: jwme@jwmeengineering.com
 Pajday#1319

GULFSTREAM TOWERS
 127 W. FAIRBANKS AVENUE,
 BOX #469
 WINTER PARK, FL 32789

PROJECT INFORMATION:
 FL239 OVIEDO
 410 SANTA ROSA COURT
 OVIEDO, FL 32765
 OVIEDO COUNTY, FLORIDA

CURRENT ISSUE DATE:
 JUNE 2024

ISSUED FOR:
 CONSTRUCTION DRAWINGS

REV.: DATE: DESCRIPTION:

--	--	--

SEAL:

PLANS PREPARED BY:
Kimley-Horn
 © 2024 KIMLEY-HORN AND ASSOCIATES, INC.
 1920 WEKIVA WAY, SUITE 200
 WEST PALM BEACH, FLORIDA 33411
 (561) 845-0665
 FBPE REGISTRY NO. 35108

PROVIDER:

DRAWN BY: CHK.: APV.:
 WF WM SB

LICENSURE:
 STEPHEN M. BELSER PE 67514
 WAYLON O. FRANCIS PE 91434

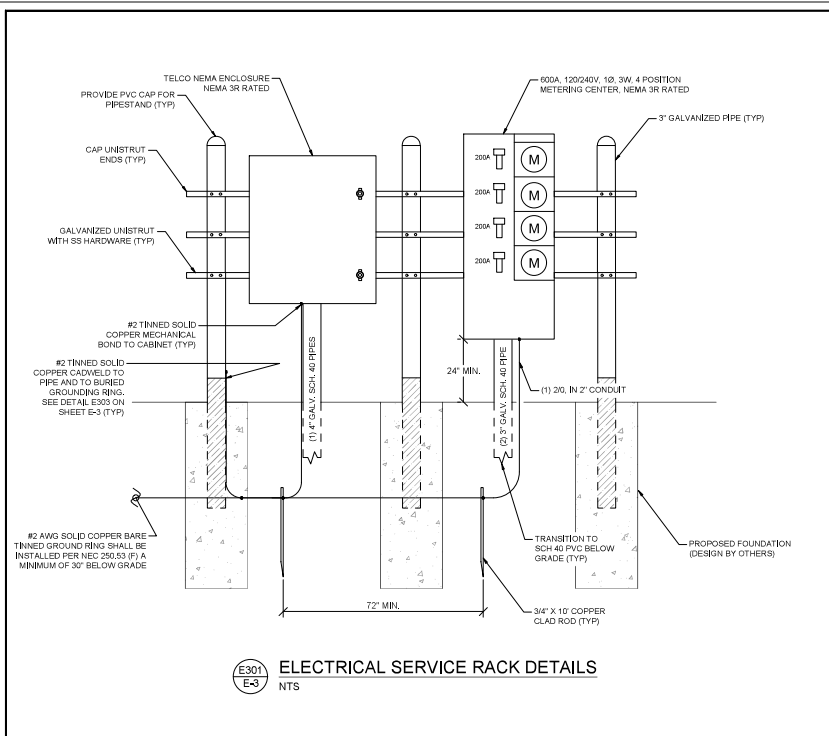
SHEET TITLE:
 TOWER ELECTRICAL SITE AND GROUNDING PLAN

SHEET NUMBER: REVISION:
E-2

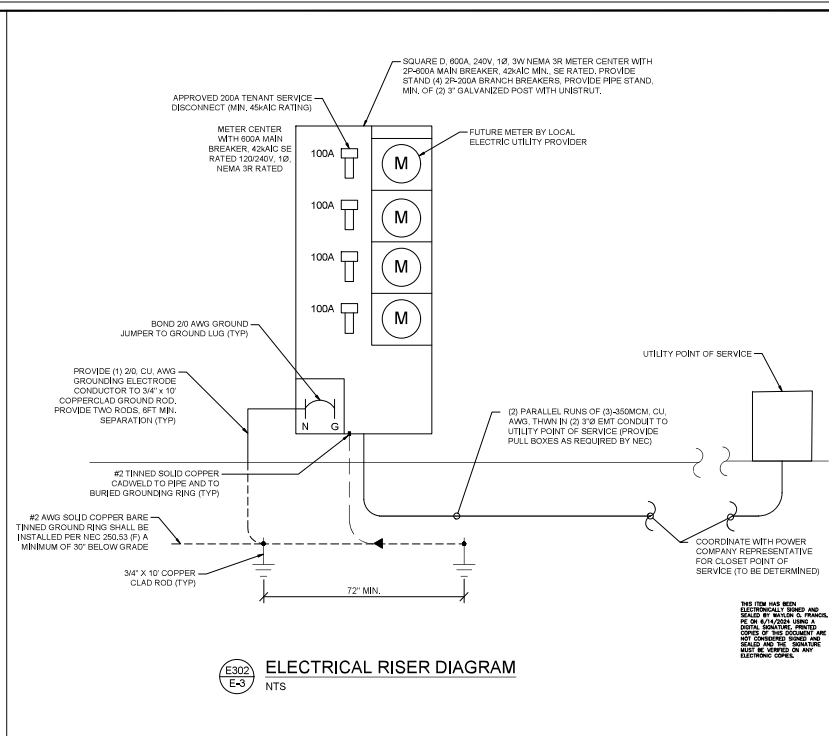
KHA Job #:
 140601030

This document, together with the concepts and designs presented herein, is the property of Kimley-Horn and Associates, Inc. It is intended only for the specific purpose and client for which it was prepared. No part of this document may be reproduced, stored in a retrieval system, or transmitted in any form or by any means, without the prior written permission and signature of Kimley-Horn and Associates, Inc. and its related entities by Kimley-Horn and Associates, Inc.

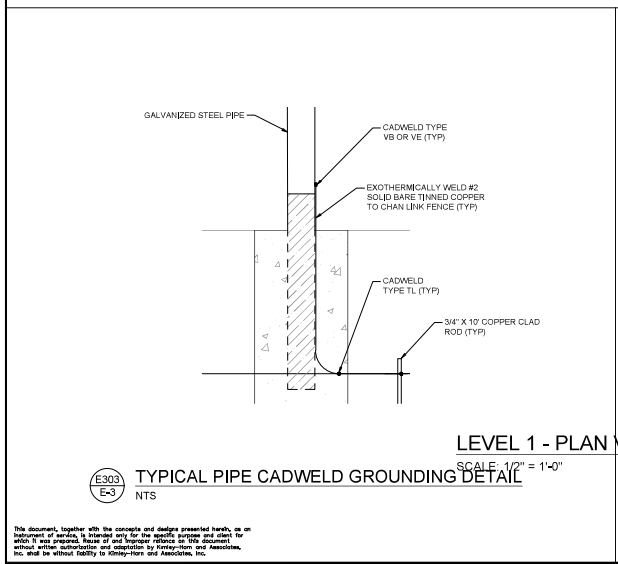
Drawing name: E:\VME\Jobs\JVA\Gulfstream Tower\VT-1239 - Oviedo\CAD\VT-1239 - Oviedo_E-3 SHEETS.dwg E-3 Jun 14, 2024 11:00am By: WeyherfrankBPE



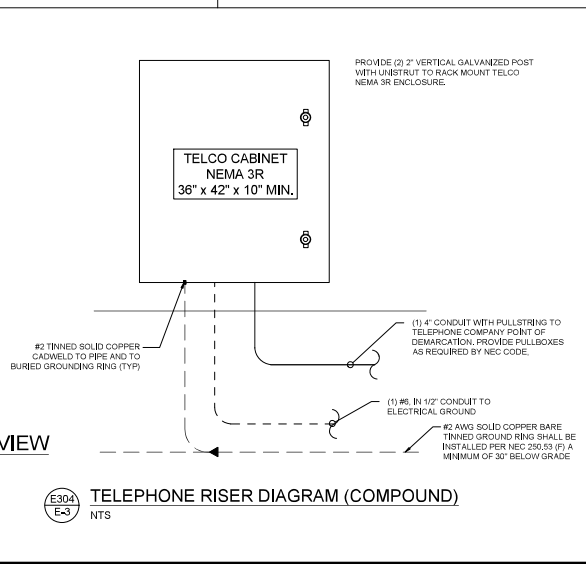
E301
E-3
ELECTRICAL SERVICE RACK DETAILS
NTS



E302
E-3
ELECTRICAL RISER DIAGRAM
NTS



E303
E-3
TYPICAL PIPE CADWELD GROUNDING DETAIL
NTS



E304
E-3
TELEPHONE RISER DIAGRAM (COMPOUND)
NTS

240V LOAD CALCULATIONS	
TOTAL LOADS	AMPS
FUTURE WIRELESS CARRIER	100
FUTURE WIRELESS CARRIER	100
FUTURE WIRELESS CARRIER	100
FUTURE WIRELESS CARRIER	100
TOTAL CARRIER LOAD	400
VOLTAGE: 120/240V, 1Ø, 3W	
SERVICE: 600A	
*TOWER SERVICE: 1 SET, 1Ø, #6 CU, 65A	
METER CENTER SERVICE: 2 SET, 1Ø, 3W, 350MCM CU, 600A	
**SERVICE VOLTAGE DROP LESS THAN 2% PER FBC & NEC	

*DESIGN BY OTHERS.
** CONTRACTOR TO VERIFY MAXIMUM OF 2% VOLTAGE DROP FOR ELECTRICAL CONDUCTORS ONCE ROUTE TO POINT OF SERVICE IS DETERMINED.

E303
E-3
240V LOAD TABLE
NTS

JWME Engineering, Inc.
JWME ENGINEERING, LLC
4807 NW 42nd STREET SUITE D
GAINESVILLE, FL 32608
www.jwmeengineering.com
F: 352-605-1802
F: 888-234-4824
E: jwme@jwmeengineering.com
Fajigay #3819

GULFSTREAM TOWERS
127 W. FAIRBANKS AVENUE,
BOX #469
WINTER PARK, FL 32789

PROJECT INFORMATION:
FL239 OVIEDO
410 SANTA ROSA COURT
OVIEDO, FL 32765
OVIEDO COUNTY, FLORIDA

CURRENT ISSUE DATE:
JUNE 2024

ISSUED FOR:
CONSTRUCTION DRAWINGS

REV.: DATE: DESCRIPTION:

SEAL:

Weyherfrank BPE

PLANS PREPARED BY:
Kimley-Horn
© 2024 KIMLEY-HORN AND ASSOCIATES, INC.
1920 WEKIVA WAY, SUITE 200
WEST PALM BEACH, FLORIDA 33411
(561) 845-0665
FBPE REGISTRY NO. 35106

PROVIDER:

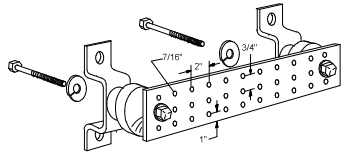
DRAWN BY: CHK.: APV.:
WF WM SB

LICENSURE:
STEPHEN M. BELSER PE 67514
WAYLON O. FRANCIS PE 91434

SHEET TITLE:
ELECTRICAL SERVICE AND
TELCO RISERS

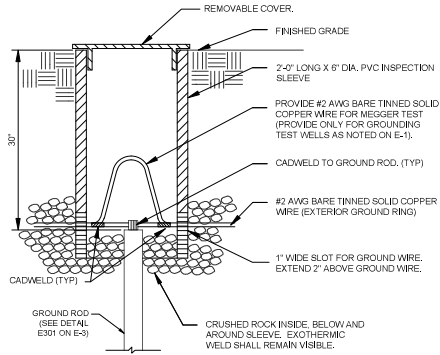
SHEET NUMBER: REVISION:
E-3

KHA Job #:
140601030

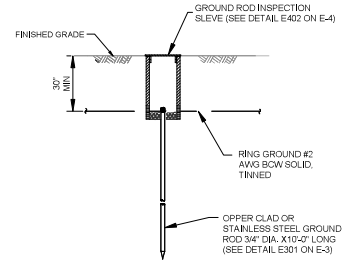


- GROUND BUS BAR $\frac{3}{4}$ "x2" OR $\frac{1}{2}$ "x2"x10" NEWTON INSTRUMENT CO. CAT. NO. 0020560010, 2132780300 OR EQUIVALENT. HOLE CENTERS TO MATCH NEMA DOUBLE LUG CONFIGURATION. (CONTRACTOR TO VERIFY BUS BAR SIZE / MATERIAL -ZINC PLATED AND/OR COPPER-WITH GULFSTREAM TOWERS CPM)
- USE ZINC PLATED GROUND BARS FOR GROUND LEVEL. COPPER GROUND BARS FOR ANTENNA LEVEL.

E401
E-4 GROUND BAR DETAIL
NTS



E402
E-4 GROUNDING ROD INSPECTION SLEEVE DETAIL
NTS



NOTE: GROUND ROD SHALL BE DRIVEN VERTICALLY, NOT TO EXCEED 45° FROM THE VERTICAL

E403
E-4 GROUND ROD DETAIL
NTS

THIS ITEM HAS BEEN REVIEWED AND SEALS BY W. O. FRANCIS, P.E. AS A PROFESSIONAL ENGINEER. ANY CHANGES TO THIS DRAWING MUST BE MADE AND RESEAL BY THE SIGNATURE OF THE ENGINEER OR AN ELECTRONIC COPIE.

GULFSTREAM
TOWERS
127 W. FAIRBANKS AVENUE,
BOX #469
WINTER PARK, FL 32789

PROJECT INFORMATION:

FL239 OVIEDO

410 SANTA ROSA COURT
OVIEDO, FL 32765
OVIEDO COUNTY, FLORIDA

CURRENT ISSUE DATE:

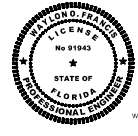
JUNE 2024

ISSUED FOR:

CONSTRUCTION DRAWINGS

REV.: DATE: DESCRIPTION:

SEAL:



PLANS PREPARED BY:

Kimley»Horn
© 2024 KIMLEY-HORN AND ASSOCIATES, INC.
1920 WEKIVA WAY, SUITE 200
WEST PALM BEACH, FLORIDA 33411
(561) 845-0665
FBPE REGISTRY NO. 35106

PROVIDER:

DRAWN BY: CHK.: APV.:

WF WM SB

LICENSURE:

STEPHEN M. BELSER PE 67514
WAYLON O. FRANCIS PE 91434

SHEET TITLE:

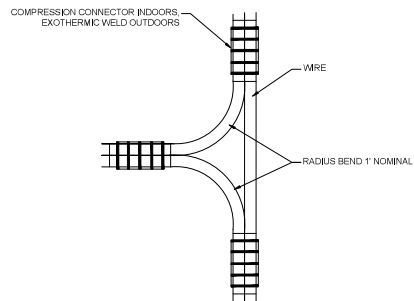
DETAILS

SHEET NUMBER: REVISION:

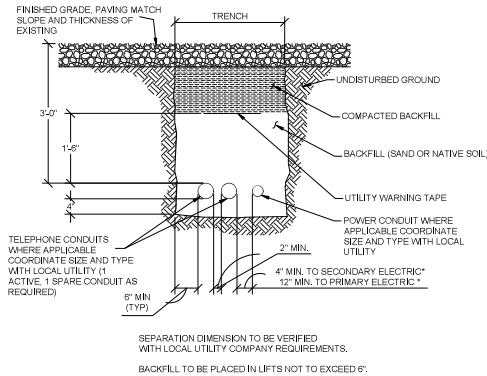
E-4

KHA Job #:

14061030



E404
E-4 NON-DIRECTIONAL SPLICE DETAIL
NTS



E405
E-4 CONDUIT TRENCH DETAIL
NTS

ELECTRICAL ABBREVIATIONS LEGEND

ANT	ANTENNA	EMT	ELECTRICAL METALLIC TUBING
AWG	AMERICAN WIRE GAUGE	DWG	DRAWING
BOW	BARE COPPER WIRE	LPS	LIGHTNING PROTECTION SYSTEM
RWY	RACEWAY	S.S.	STAINLESS STEEL
TYP.	TYPICAL	PNL	PANEL
RGS	RIGID GALVANIZED STEEL	C.L.F.	CURRENT LIMITING FUSE
UNG	UNLESS NOTED OTHERWISE	CPM	CONST. PROJ. MANAGER

ELECTRICAL SYMBOLS LEGEND

	3/4" X 1/2" COPPER GROUNDING ROD W/ INSPECTION SLEEVE		PUMP
	CADWELDED TYPE CONNECTION		GENERATOR RECEPTACLE
	MECHANICAL TYPE CONNECTION		120V, 20A RECEPTACLE
	BUS BAR		PANEL POSITION(S)
	#2 AWG TINNED SOLID CU GROUND WIRE (UG)		PANEL NAME
	ELECTRICAL CIRCUIT		EMERGENCY EXIT SIGN PLUS LIGHTS, BATTERY BACK UP, CHARGED BY DC
	4"X4" FLORESCENT LIGHT FIXTURE		

E406
E-4 ELECTRICAL LEGEND
NTS

JWME Engineering, Inc.
JWME ENGINEERING, LLC
4857 NW 42nd STREET SUITE D
GAINESVILLE, FL 32608
www.jwmeengineering.com
P: 352-405-1883
F: 888-234-4204
E: jwme@jwmeengineering.com
Fidelity 431819

SEE SHEET 2 OF 4 FOR PARENT TRACT DETAIL
 SEE SHEET 3 OF 4 FOR COMPOUND DETAIL
 SEE SHEET 4 OF 4 FOR UTILITY EASEMENT DETAIL

**LEGAL DESCRIPTION
 (AS PROVIDED BY CLIENT)**

PARENT TRACT

THE NORTH 1/2 OF THE NORTHEAST 1/4 OF THE SOUTHEAST 1/4 OF SECTION 11, TOWNSHIP 21 SOUTH, RANGE 31 EAST, SEMINOLE COUNTY, FLORIDA, LESS THE SOUTHWEST 1/4 OF THE NORTH 1/2 OF THE NORTHEAST 1/4 OF THE SOUTHEAST 1/4 OF SAID SECTION 11, AND ALSO LESS FROM THE NORTHEAST CORNER OF THE NORTHWEST 1/4 OF THE NORTHEAST 1/4 OF THE SOUTHEAST 1/4 OF SECTION 11, TOWNSHIP 21 SOUTH, RANGE 31 EAST, SEMINOLE COUNTY, FLORIDA, RUN WEST ALONG THE NORTH LINE OF SAID NORTHWEST 1/4 OF THE NORTHEAST 1/4 OF THE SOUTHEAST 1/4, 9.08 FEET FOR A POINT OF BEGINNING, RUN THENCE S 69°19'49" W 442.27 FEET, RUN THENCE N 49°21'40" W 104.90 FEET, RUN THENCE N 14°05'47" W 134.30 FEET TO SAID NORTH LINE OF THE NORTHWEST 1/4 OF THE NORTHEAST 1/4 OF THE SOUTHEAST 1/4, RUN THENCE EAST ALONG SAID NORTH LINE, 507.45 FEET TO THE POINT OF BEGINNING, ALSO LESS THAT PART LYING IN THE RIGHT OF WAY OF STATE ROAD NUMBER 426. ALSO: LESS THAT PORTION CONVEYED TO SEMINOLE COUNTY, FLORIDA, A POLITICAL SUBDIVISION OF THE STATE OF FLORIDA, AS DESCRIBED IN OFFICIAL RECORDS BOOK 3169, PAGE 1912, OF THE PUBLIC RECORDS OF SEMINOLE COUNTY, FLORIDA.

OLD REPUBLIC NATIONAL TITLE INSURANCE COMPANY ALTA COMMITMENT FOR TITLE INSURANCE NUMBER 01-23031731-01T DATED AUGUST 23, 2023 SCHEDULE B - SECTION II

GRANT OF EASEMENT IN FAVOR OF WILLIAM C. DEMETREE AND JACK C. DEMETREE, RECORDED 12/19/1980, IN BOOK 1311, PAGE 1515, OF THE SEMINOLE COUNTY RECORDS.

SHOWN HEREON

10. CONDITIONAL UTILITY AGREEMENT FOR WATER SERVICE BY AND BETWEEN SEMINOLE COUNTY, AND A. LEE SMITH AND CAROL J. SMITH, RECORDED 02/25/2005, IN BOOK 5628, PAGE 777, OF THE SEMINOLE COUNTY RECORDS.

UNABLE TO INTERPRET LOCATION FROM SUPPLIED DOCUMENT

11. CONSERVATION EASEMENT IN FAVOR OF SEMINOLE COUNTY, RECORDED 04/11/2005, IN BOOK 5683, PAGE 342, OF THE SEMINOLE COUNTY RECORDS.

SHOWN HEREON

12. DISTRIBUTION EASEMENT IN FAVOR OF FLORIDA POWER CORPORATION D/B/A PROGRESS ENERGY FLORIDA, INC., RECORDED 12/20/2005, IN BOOK 6049, PAGE 158, OF THE SEMINOLE COUNTY RECORDS.

BLANKET IN NATURE

13. EASEMENT IN FAVOR OF BELLSOUTH TELECOMMUNICATIONS, INC., RECORDED 04/20/2006, IN BOOK 6212, PAGE 914, OF THE SEMINOLE COUNTY RECORDS.

BLANKET IN NATURE

14. EASEMENT IN FAVOR OF BELLSOUTH TELECOMMUNICATIONS, INC., RECORDED 04/20/2006, IN BOOK 6212, PAGE 917, OF THE SEMINOLE COUNTY RECORDS.

SHOWN HEREON

15. CONSERVATION EASEMENT IN FAVOR OF ST. JOHNS RIVER WATER MANAGEMENT DISTRICT, RECORDED 07/08/2008, IN BOOK 7025, PAGE 1652, OF THE SEMINOLE COUNTY RECORDS.

SHOWN HEREON

**LEGAL DESCRIPTIONS
 (AS PREPARED BY SURVEYOR)**

**GULFSTREAM TOWERS
 LEASE PARCEL**

A PARCEL OF LAND SITUATED IN SECTION 11, TOWNSHIP 21 SOUTH, RANGE 31 EAST, SEMINOLE COUNTY, FLORIDA, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCE AT THE NORTHEAST CORNER OF THE SOUTHEAST 1/4 OF SECTION 11, TOWNSHIP 21 SOUTH, RANGE 31 EAST, SEMINOLE COUNTY, FLORIDA, THENCE, ALONG THE EAST LINE OF SAID SECTION 11, SOUTH 00°51'18" E, A DISTANCE OF 659.72 FEET; THENCE, LEAVING THE EAST LINE OF SAID SECTION 11 AND ALONG THE SOUTH LINE OF LAND DESCRIBED IN OFFICIAL RECORDS BOOK 6004, PAGE 1168, IN SEMINOLE COUNTY, FLORIDA, SOUTH 89°38'39" WEST, A DISTANCE OF 478.30 FEET; THENCE, LEAVING SAID SOUTH LINE, NORTH 00°21'21" WEST, A DISTANCE OF 21.70 FEET TO THE POINT OF BEGINNING; THENCE SOUTH 89°23'07" WEST, A DISTANCE OF 30.00 FEET; THENCE NORTH 00°36'53" WEST, A DISTANCE OF 60.00 FEET; THENCE NORTH 89°23'07" EAST, A DISTANCE OF 30.00 FEET; THENCE SOUTH 00°36'53" EAST, A DISTANCE OF 60.00 FEET TO THE POINT OF BEGINNING.

CONTAINING 0.0413 ACRES OR 1800 SQUARE FEET, MORE OR LESS.

**GULFSTREAM TOWERS
 20' ACCESS EASEMENT**

A 20 FEET ACCESS EASEMENT, LYING 10 FEET LEFT AND RIGHT OF A CENTERLINE BEING A PORTION OF SECTION 11, TOWNSHIP 21 SOUTH, RANGE 31 EAST, SEMINOLE COUNTY, FLORIDA, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCE AT THE NORTHEAST CORNER OF THE SOUTHEAST 1/4 OF SECTION 11, TOWNSHIP 21 SOUTH, RANGE 31 EAST, SEMINOLE COUNTY, FLORIDA, THENCE, ALONG THE EAST LINE OF SAID SECTION 11, SOUTH 00°51'18" E, A DISTANCE OF 659.72 FEET; THENCE, LEAVING THE EAST LINE OF SAID SECTION 11 AND ALONG THE SOUTH LINE OF LAND DESCRIBED IN OFFICIAL RECORDS BOOK 6004, PAGE 1168, IN SEMINOLE COUNTY, FLORIDA, SOUTH 89°38'39" WEST, A DISTANCE OF 478.30 FEET; THENCE, LEAVING SAID SOUTH LINE, NORTH 00°21'21" WEST, A DISTANCE OF 21.70 FEET THENCE SOUTH 89°23'07" WEST, A DISTANCE OF 30.00 FEET; THENCE NORTH 00°36'53" WEST, A DISTANCE OF 30.00 FEET TO THE POINT OF BEGINNING OF SAID CENTERLINE; THENCE NORTH 89°08'28" WEST, A DISTANCE OF 45.64 FEET; THENCE NORTH 01°00'46" WEST, A DISTANCE OF 479.29 FEET; THENCE NORTH 72°51'16" WEST, A DISTANCE OF 78.64 FEET; THENCE SOUTH 64°04'02" WEST, A DISTANCE OF 478.75 FEET; THENCE SOUTH 89°26'29" WEST, A DISTANCE OF 261.95 FEET TO THE EAST RIGHT OF WAY LINE OF 6TH STREET, AND THE POINT OF TERMINATION OF SAID CENTERLINE.

THE SIDELINES OF SAID EASEMENT ARE TO BE SHORTENED OR LENGTHENED TO FORM ONE CONTIGUOUS SHAPE.

CONTAINING 0.6172 ACRES OR 26886 SQUARE FEET, MORE OR LESS.

**GULFSTREAM TOWERS
 10' UTILITY EASEMENT**

A 10 FEET UTILITY EASEMENT BEING A PORTION OF SECTION 11, TOWNSHIP 21 SOUTH, RANGE 31 EAST, SEMINOLE COUNTY, FLORIDA, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCE AT THE NORTHEAST CORNER OF THE SOUTHEAST 1/4 OF SECTION 11, TOWNSHIP 21 SOUTH, RANGE 31 EAST, SEMINOLE COUNTY, FLORIDA, THENCE, ALONG THE EAST LINE OF SAID SECTION 11, SOUTH 00°51'18" E, A DISTANCE OF 659.72 FEET; THENCE, LEAVING THE EAST LINE OF SAID SECTION 11 AND ALONG THE SOUTH LINE OF LAND DESCRIBED IN OFFICIAL RECORDS BOOK 6004, PAGE 1168, IN SEMINOLE COUNTY, FLORIDA, SOUTH 89°38'39" WEST, A DISTANCE OF 478.30 FEET; THENCE, LEAVING SAID SOUTH LINE, NORTH 00°21'21" WEST, A DISTANCE OF 21.70 FEET TO THE POINT OF BEGINNING; THENCE SOUTH 89°23'07" WEST, A DISTANCE OF 174.70 FEET; THENCE NORTH 00°49'16" WEST, A DISTANCE OF 266.20 FEET; THENCE NORTH 89°09'32" EAST, A DISTANCE OF 35.95 FEET; THENCE NORTH 00°50'28" WEST, A DISTANCE OF 10.00 FEET; THENCE SOUTH 89°09'32" WEST, A DISTANCE OF 45.95 FEET; THENCE SOUTH 00°49'16" EAST, A DISTANCE OF 286.16 FEET; THENCE NORTH 89°23'07" EAST, A DISTANCE OF 184.66 FEET; THENCE NORTH 00°36'53" WEST, A DISTANCE OF 10.00 FEET TO THE POINT OF BEGINNING.

CONTAINING 0.1141 ACRES OR 4968 SQUARE FEET, MORE OR LESS.



VICINITY MAP
 NEAR 410 SANTA ROSA COURT, OVIEDO, FL 32765
 (NOT TO SCALE)

SURVEYOR'S NOTES

- THIS IS A BOUNDARY SURVEY OF THE GULFSTREAM TOWERS LEASE PARCEL, AND ACCESS AND UTILITY EASEMENT. THE PARENT TRACT INFORMATION SHOWN HEREON IS FOR INFORMATIONAL PURPOSES ONLY.
- THE PROPOSED GULFSTREAM TOWERS LEASE PARCEL, AND ACCESS AND UTILITY EASEMENT DEPICTED HEREON LIES ENTIRELY WITHIN THE DESCRIBED PARENT TRACT.
- THE SURVEYOR HAS REVIEWED THE ALTA COMMITMENT FOR TITLE INSURANCE COMMITMENT NUMBER 01-23031731-01T, ISSUED BY OLD REPUBLIC NATIONAL TITLE INSURANCE COMPANY, DATED AUGUST 23, 2023. ALL PLOTTABLE MATTERS OF RECORD TITLE IDENTIFIED IN THAT COMMITMENT FOR TITLE INSURANCE THAT ARE PERTINENT TO THE GULFSTREAM TOWERS LEASE PARCEL, AND ITS ACCESS AND UTILITY EASEMENT, IF APPLICABLE, HAVE BEEN SHOWN OR NOTED HEREON. THE SURVEYOR HAS RELIED SOLELY UPON THAT COMMITMENT WITH RESPECT TO EASEMENTS, RIGHTS OF WAY, SETBACK LINES, AGREEMENTS, RESERVATIONS, AND OTHER SIMILAR MATTERS. NO FURTHER RESEARCH OF THE PUBLIC RECORDS WAS PERFORMED BY THE SURVEYOR.
- THE BEARINGS AND GEODETIC COORDINATES SHOWN HEREON ARE IN THE NORTH AMERICAN DATUM OF 1983, IS TO THE THIRD ORDER OF ACCURACY, AND IS BASED ON MULTI FREQUENCY GNSS CORRECTIONS OBTAINED FROM THE FLORIDA DEPARTMENT OF TRANSPORTATION FLORIDA PERMANENT REFERENCE NETWORK (FPRN) AND IS WITHIN THE 1A ACCURACY TOLERANCES AS SET FORTH BY THE F.A.A.
- UNDERGROUND UTILITIES AND IMPROVEMENTS HAVE NOT BEEN LOCATED.
- PARENT TRACT INTERIOR IMPROVEMENTS HAVE NOT BEEN LOCATED.
- AFTER REVIEW OF FLOOD INSURANCE RATE MAP, COMMUNITY PANEL NO. 12117C0195F, DATED SEPTEMBER 28, 2007 THE PROPOSED LEASE PARCEL DEPICTED HEREON LIES IN ZONE "X".
- (D) DENOTES DESCRIPTION; (F) DENOTES FIELD MEASURED; (P) DENOTES PLAT; (C) DENOTES CALCULATED.
- INCIDENTAL ELEVATIONS SHOWN HEREON ARE IN NORTH AMERICAN VERTICAL DATUM OF 1988, IS TO THE THIRD ORDER OF ACCURACY, AND IS BASED ON MULTI FREQUENCY GNSS CORRECTIONS OBTAINED FROM THE FLORIDA DEPARTMENT OF TRANSPORTATION FLORIDA PERMANENT REFERENCE NETWORK (FPRN).
- ALL GEODETIC AND VERTICAL DATA, DEPICTED HEREON IS WITHIN THE 1A ACCURACY TOLERANCES AS SET FORTH BY THE F.A.A.
- SITE BENCHMARK IS A SET NAIL AND RED DISK ELEVATION = 32.86' N.A.V.D. 1988 AS DEPICTED HEREON. ALL ELEVATIONS SHOWN HEREON ARE ABOVE MEAN SEA LEVEL (A.M.S.L.).
- BASED UPON OUR FIELD WORK AND THE ALTA COMMITMENT FOR TITLE INSURANCE, THE GULFSTREAM TOWERS LEASE PARCEL HAS ACCESS TO 6TH STREET (A PUBLIC RIGHT-OF-WAY) BY MEANS OF THE GULFSTREAM TOWERS NON-EXCLUSIVE ACCESS AND UTILITY EASEMENT DEPICTED HEREON. NO EASEMENTS OR OTHER RIGHTS OF THIRD PARTIES DISCLOSED BY THE ALTA COMMITMENT FOR TITLE INSURANCE WOULD PRECLUDE ACCESS OVER THE GULFSTREAM TOWERS NON-EXCLUSIVE ACCESS AND UTILITY EASEMENT FROM THE GULFSTREAM TOWERS LEASE PARCEL TO 6TH STREET (A PUBLIC RIGHT-OF-WAY).

THIS DOCUMENT HAS BEEN ELECTRONICALLY SIGNED AND SEALED BY KIRK BRIAN MITCHELL USING A DIGITAL SIGNATURE. PRINTED COPIES OF THIS DOCUMENT ARE NOT CONSIDERED SIGNED AND SEALED AND THE SIGNATURE MUST BE VERIFIED ON ANY ELECTRONIC COPIES.



SURVEYOR'S CERTIFICATION

I, **KIRK B. MITCHELL**, P.S.M., L.S.No.5682
 HEREBY CERTIFY THAT THIS BOUNDARY SURVEY PERFORMED ON SEPTEMBER 20, 2023 IS IN ACCORDANCE WITH THE TECHNICAL STANDARDS AS REQUIRED BY CHAPTER 53-17, FLORIDA ADMINISTRATIVE CODE, STANDARDS OF PRACTICE PURSUANT TO SECTION 472.023, FLORIDA STATUTES AND WAS PREPARED UNDER MY RESPONSIBLE CHARGE.

CERTIFIED TO AND FOR THE EXCLUSIVE BENEFIT OF:
 GULFSTREAM TOWERS
 ITS AFFILIATES, SUBSIDIARIES AND LENDERS.

KIRK B. MITCHELL P.S.M. L.S.No.5682
 CERTIFICATE OF AUTHORIZATION No. L.B.6885 HARD COPIES NOT VALID WITHOUT THE ORIGINAL SIGNATURE AND RAISED SEAL OF A FLORIDA LICENSED SURVEYOR AND MAPPER.

REVISIONS							
DATE	BY	DESCRIPTION	DATE	BY	DESCRIPTION	DATE	BY

**ADVANCED
 LAND SURVEYING**
 AND MAPPING, INC.
 371 BRIGHTWATERS DRIVE COCOA BEACH, FLORIDA 32931
 PH: (407) 508-2395

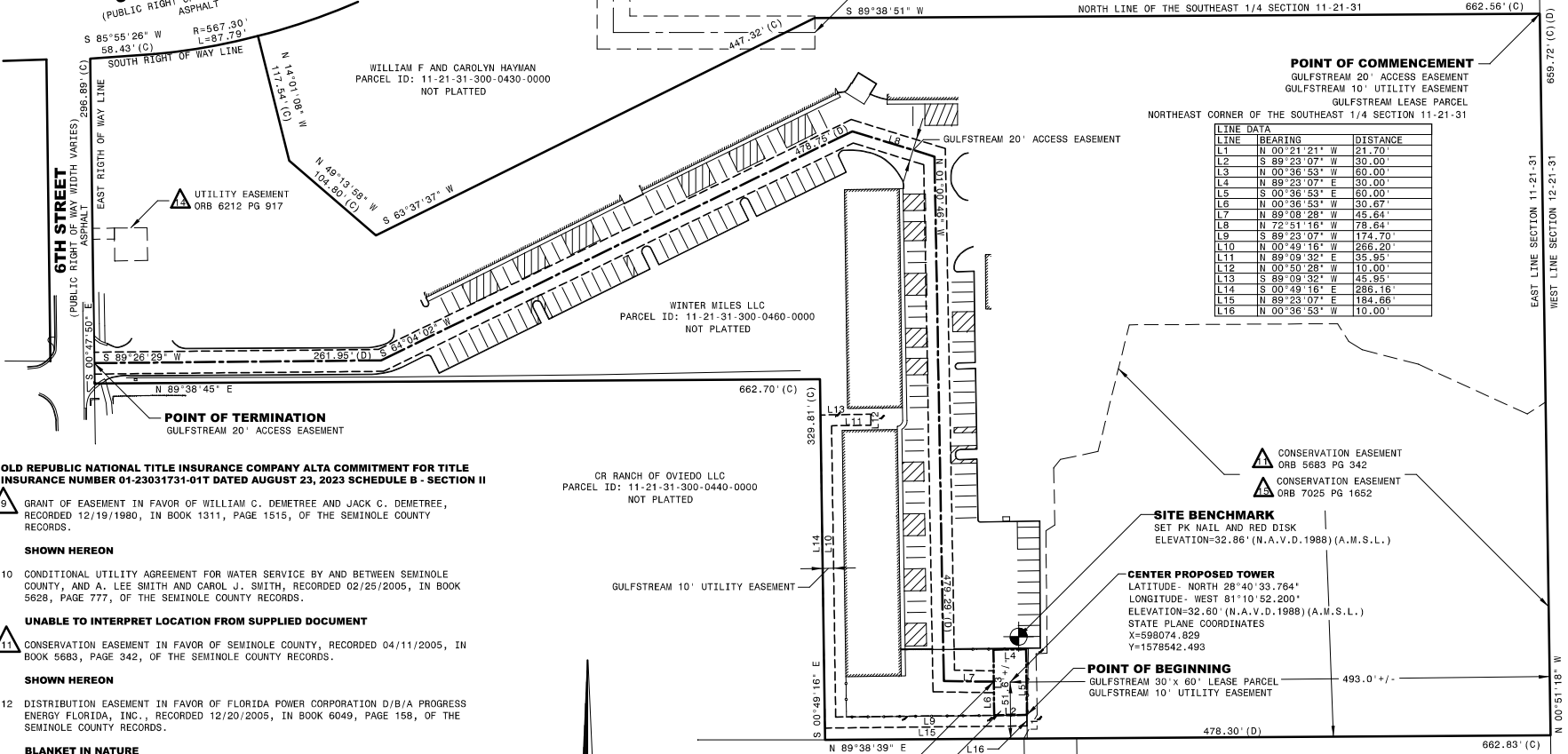
**BOUNDARY SURVEY
 PREPARED FOR
 GULFSTREAM TOWERS**
 FL239 OVIEDO
 A PORTION OF SECTION 11, TOWNSHIP 21 SOUTH, RANGE 31 EAST
 SEMINOLE COUNTY, FLORIDA

DRAWN	S. PETRAROLI
FIELD DATE	SEPTEMBER 20, 2023
FIELD BOOK	PRINT
SCALE	NO SCALE
PROJECT NO.	X
FILE NAME	FL239 OVIEDO.DWG
SHEET	1 OF 4

SEE SHEET 1 OF 4 FOR SURVEY INFORMATION
 SEE SHEET 3 OF 4 FOR COMPOUND DETAIL
 SEE SHEET 4 OF 4 FOR UTILITY EASEMENT DETAIL

CSX TRANSPORTATION INC
 PARCEL ID: 11-21-31-300-042A-0000
 NOT PLATTED

COUNTY ROAD 426
 (PUBLIC RIGHT OF WAY WIDTH VARIES)
 ASPHALT



NORTH LINE OF THE SOUTHEAST 1/4 SECTION 11-21-31 662.56' (C)

NORTHEAST CORNER OF THE SOUTHEAST 1/4 SECTION 11-21-31

LINE DATA	LINE	BEARING	DISTANCE
L1	N 00°21'21" W	21.70'	
L2	S 89°23'07" W	30.00'	
L3	N 00°36'53" W	60.00'	
L4	N 89°23'07" E	30.00'	
L5	S 00°36'53" E	60.00'	
L6	N 00°36'53" W	30.67'	
L7	N 89°08'28" W	45.64'	
L8	N 72°51'19" W	78.64'	
L9	S 89°23'07" W	174.70'	
L10	N 00°49'16" W	266.20'	
L11	N 89°09'32" E	35.95'	
L12	N 00°50'28" W	10.00'	
L13	S 89°09'32" W	45.95'	
L14	S 00°49'16" E	286.16'	
L15	N 89°23'07" E	184.66'	
L16	N 00°36'53" W	10.00'	

OLD REPUBLIC NATIONAL TITLE INSURANCE COMPANY ALTA COMMITMENT FOR TITLE INSURANCE NUMBER 01-23031731-01T DATED AUGUST 23, 2023 SCHEDULE B - SECTION II

- 9 GRANT OF EASEMENT IN FAVOR OF WILLIAM C. DEMETREE AND JACK C. DEMETREE, RECORDED 12/19/1980, IN BOOK 1311, PAGE 1515, OF THE SEMINOLE COUNTY RECORDS.
SHOWN HEREON
- 10 CONDITIONAL UTILITY AGREEMENT FOR WATER SERVICE BY AND BETWEEN SEMINOLE COUNTY, AND A. LEE SMITH AND CAROL J. SMITH, RECORDED 02/25/2005, IN BOOK 5628, PAGE 777, OF THE SEMINOLE COUNTY RECORDS.
UNABLE TO INTERPRET LOCATION FROM SUPPLIED DOCUMENT
- 11 CONSERVATION EASEMENT IN FAVOR OF SEMINOLE COUNTY, RECORDED 04/11/2005, IN BOOK 5683, PAGE 342, OF THE SEMINOLE COUNTY RECORDS.
SHOWN HEREON
- 12 DISTRIBUTION EASEMENT IN FAVOR OF FLORIDA POWER CORPORATION D/B/A PROGRESS ENERGY FLORIDA, INC., RECORDED 12/20/2005, IN BOOK 6049, PAGE 158, OF THE SEMINOLE COUNTY RECORDS.
BLANKET IN NATURE
- 13 EASEMENT IN FAVOR OF BILLSOUTH TELECOMMUNICATIONS, INC., RECORDED 04/20/2006, IN BOOK 6212, PAGE 914, OF THE SEMINOLE COUNTY RECORDS.
BLANKET IN NATURE
- 14 EASEMENT IN FAVOR OF BILLSOUTH TELECOMMUNICATIONS, INC., RECORDED 04/20/2006, IN BOOK 6212, PAGE 917, OF THE SEMINOLE COUNTY RECORDS.
SHOWN HEREON
- 15 CONSERVATION EASEMENT IN FAVOR OF ST. JOHNS RIVER WATER MANAGEMENT DISTRICT, RECORDED 07/08/2008, IN BOOK 7025, PAGE 1652, OF THE SEMINOLE COUNTY RECORDS.
SHOWN HEREON

OR RANCH OF OVIEDO LLC
 PARCEL ID: 11-21-31-300-0440-0000
 NOT PLATTED

WINTER MILES LLC
 PARCEL ID: 11-21-31-300-0460-0000
 NOT PLATTED

POINT OF BEGINNING
 GULFSTREAM 20' ACCESS EASEMENT
 GULFSTREAM LEASE PARCEL
 K & M COMMERCIAL PROPERTIES INC.
 PARCEL ID: 11-21-31-506-0000-0030
 NOT PLATTED

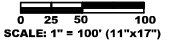
SITE BENCHMARK
 SET PK NAIL AND RED DISK
 ELEVATION=32.86' (N.A.V.D. 1988) (A.M.S.L.)

CENTER PROPOSED TOWER
 LATITUDE- NORTH 28°40'33.764"
 LONGITUDE- WEST 81°10'52.200"
 ELEVATION=32.60' (N.A.V.D. 1988) (A.M.S.L.)
 STATE PLANE COORDINATES
 X=598074.929
 Y=1578542.493

POINT OF BEGINNING
 GULFSTREAM 30' x 60' LEASE PARCEL
 GULFSTREAM 10' UTILITY EASEMENT

OFF BROADWAY OWNERS ASSN INC
 PARCEL ID: 11-21-31-506-0800-0000
 NOT PLATTED

OFF BROADWAY OWNERS ASSN INC
 PARCEL ID: 11-21-31-506-0A00-0000
 NOT PLATTED



REVISIONS									
DATE	BY	DESCRIPTION	DATE	BY	DESCRIPTION	DATE	BY	DESCRIPTION	

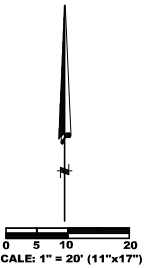
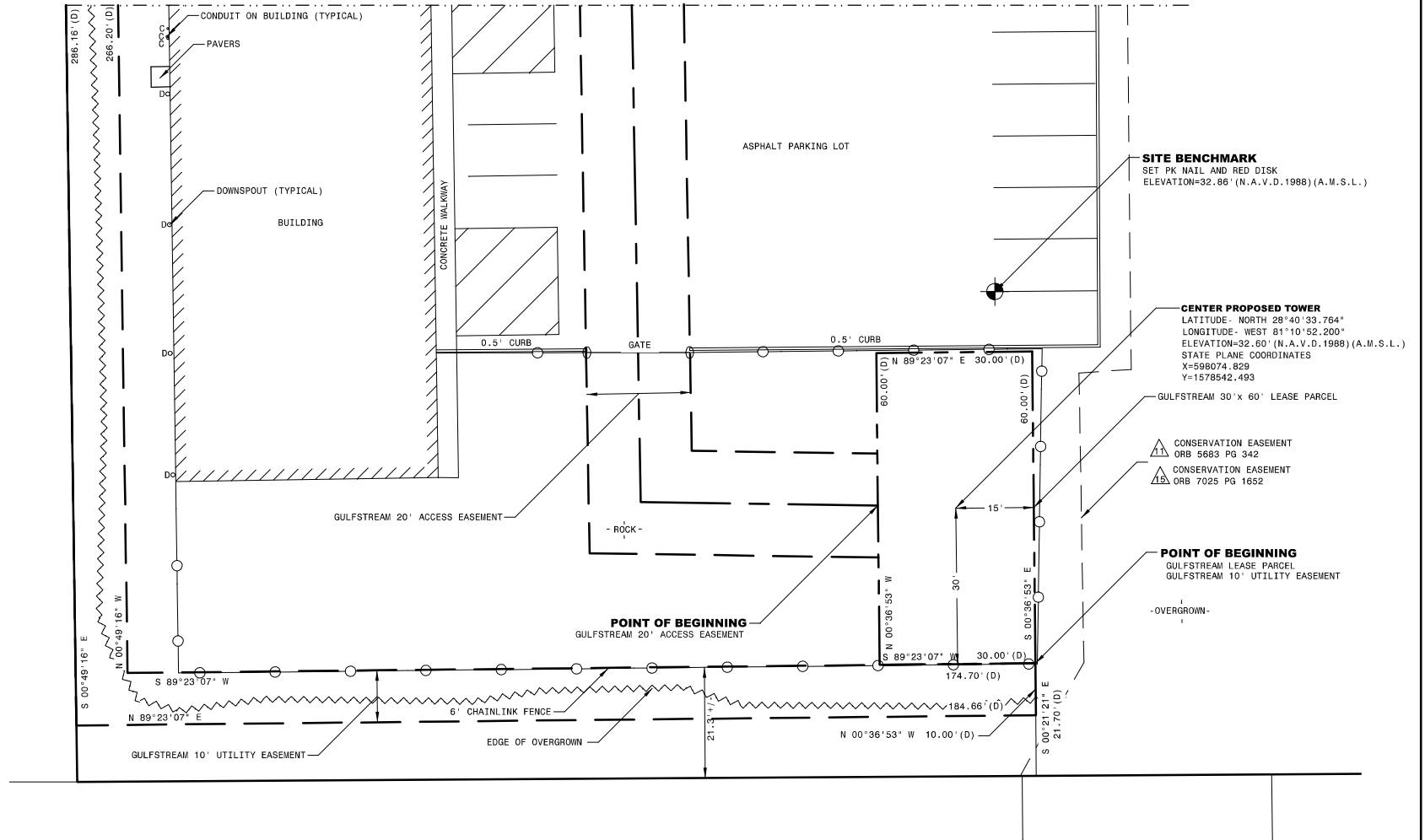
ADVANCED LAND SURVEYING
 AND MAPPING, INC.
 371 BRIGHTWATERS DRIVE COCOA BEACH, FLORIDA 32931
 PH: (407) 508-2395

BOUNDARY SURVEY
 PREPARED FOR
GULFSTREAM TOWERS
 FL239 OVIEDO
 A PORTION OF SECTION 11, TOWNSHIP 21 SOUTH, RANGE 31 EAST
 SEMINOLE COUNTY, FLORIDA

DRAWN	S. PETRARIOLI
FIELD DATE	SEPTEMBER 20, 2023
FIELD BOOK	PRINT
SCALE	1"=100'
PROJECT NO.	X
FILE NAME	FL239 OVIEDO.DWG
SHEET	2 OF 4

SEE SHEET 1 OF 4 FOR SURVEY INFORMATION
 SEE SHEET 2 OF 4 FOR PARENT TRACT DETAIL
 SEE SHEET 4 OF 4 FOR UTILITY EASEMENT DETAIL

SEE SHEET 4 FOR CONTINUATION



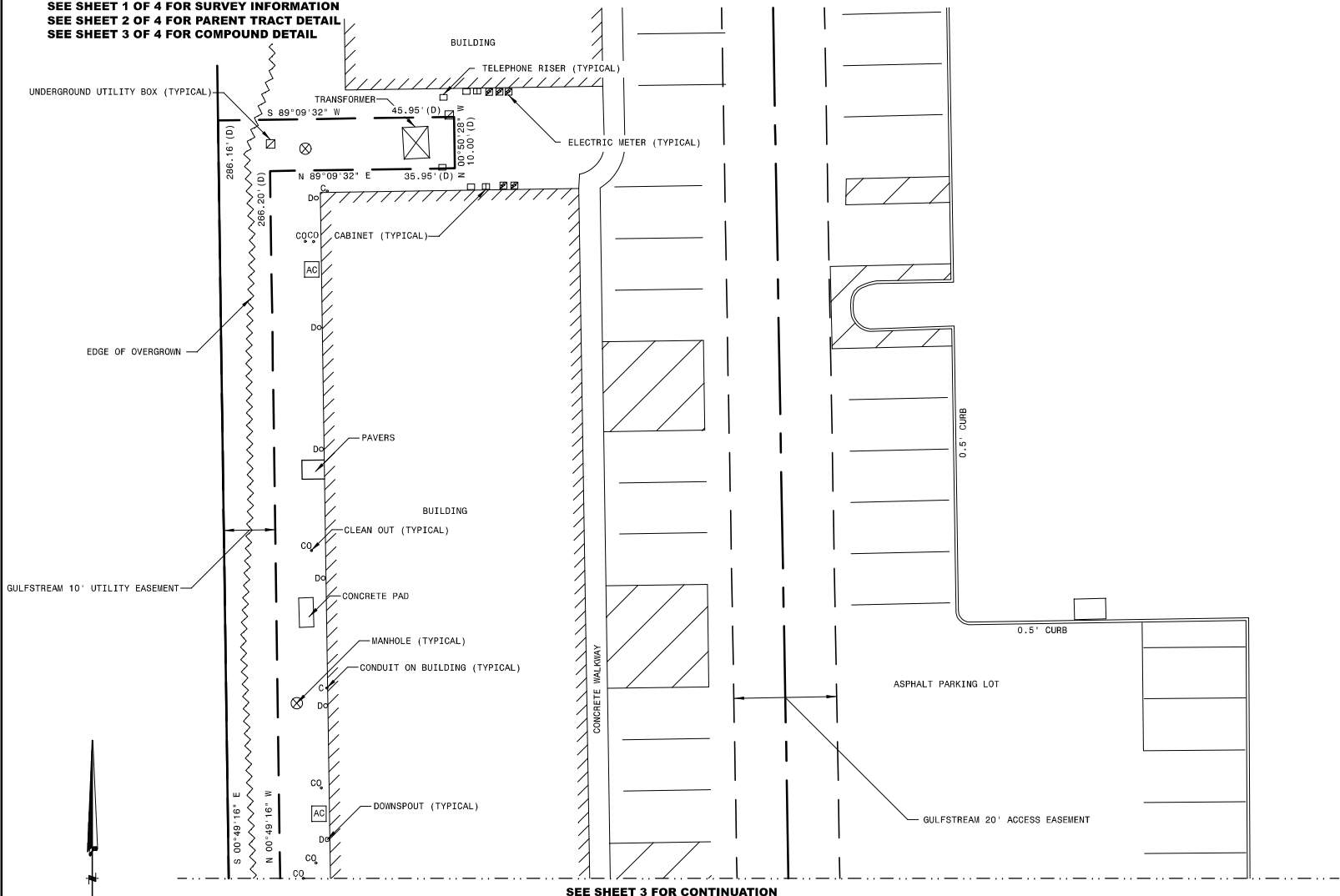
REVISIONS							
DATE	BY	DESCRIPTION	DATE	BY	DESCRIPTION	DATE	BY

ADVANCED LAND SURVEYING
 AND MAPPING, INC.
 371 BRIGHTWATERS DRIVE COCOA BEACH, FLORIDA 32931
 PH: (407) 898-2395

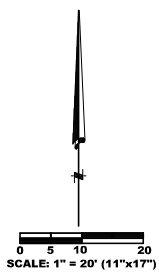
BOUNDARY SURVEY
 PREPARED FOR
GULFSTREAM TOWERS
 FL239 0V1E00
 A PORTION OF SECTION 11, TOWNSHIP 21 SOUTH, RANGE 31 EAST
 SEMINOLE COUNTY, FLORIDA

DRAWN	S. PETRAROLI
FIELD DATE	SEPTEMBER 20, 2023
FIELD BOOK	PRINT
SCALE	1"=20'
PROJECT NO.	X
FILE NAME	FL239 0V1E00.DWG
SHEET	3 OF 4

SEE SHEET 1 OF 4 FOR SURVEY INFORMATION
 SEE SHEET 2 OF 4 FOR PARENT TRACT DETAIL
 SEE SHEET 3 OF 4 FOR COMPOUND DETAIL



SEE SHEET 3 FOR CONTINUATION



REVISIONS					
DATE	BY	DESCRIPTION	DATE	BY	DESCRIPTION

ADVANCED LAND SURVEYING
 AND MAPPING, INC.
 371 BRIGHTWATERS DRIVE COCOA BEACH, FLORIDA 32931
 PH: (407) 808-2305

BOUNDARY SURVEY
 PREPARED FOR
GULFSTREAM TOWERS
 FL239 0V1E00
 A PORTION OF SECTION 11, TOWNSHIP 21 SOUTH, RANGE 31 EAST
 SEMINOLE COUNTY, FLORIDA

DRAWN	S. PETRAROLI
FIELD DATE	SEPTEMBER 20, 2023
FIELD BOOK	PRINT
SCALE	1"=20'
PROJECT NO.	X
FILE NAME	FL239 0V1E00.DWG
SHEET	4 OF 4

Property Record Card



Parcel: **11-21-31-300-0460-0000**
 Property Address: **1604 SMITHFIELD WAY OVIEDO, FL 32765**
 Owners: **WINTER MILES LLC**
 2025 Market Value \$7,851,171 Assessed Value \$7,851,171 Taxable Value \$7,851,171
 2024 Tax Bill \$103,706.12
 Commerce Center property w/1st Building size of 7,500 SF and a lot size of 13.65 Acres

Parcel Location



Site View



11213130004600000 02/19/2022

Parcel Information

Parcel	11-21-31-300-0460-0000
Property Address	1604 SMITHFIELD WAY OVIEDO, FL 32765
Mailing Address	1616 SMITHFIELD WAY STE 1054 OVIEDO, FL 32765-9399
Subdivision	
Tax District	01:County Tax District
DOR Use Code	4102:Commerce Center
Exemptions	None
AG Classification	No

Value Summary

	2025 Working Values	2024 Certified Values
Valuation Method	Income	Income
Number of Buildings	8	8
Depreciated Building Value	\$0	\$0
Depreciated Other Features	\$0	\$0
Land Value (Market)	\$0	\$0
Land Value Agriculture	\$0	\$0
Just/Market Value	\$7,851,171	\$7,851,171
Portability Adjustment	\$0	\$0
Save Our Homes Adjustment/Maximum Portability	\$0	\$0
Non-Hx 10% Cap (AMD 1)	\$0	\$0
P&G Adjustment	\$0	\$0
Assessed Value	\$7,851,171	\$7,851,171

2024 Certified Tax Summary

Tax Amount w/o Exemptions	\$103,706.12
Tax Bill Amount	\$103,706.12
Tax Savings with Exemptions	\$0.00

Owner(s)

Name - Ownership Type
 WINTER MILES LLC

Note: Does NOT INCLUDE Non Ad Valorem Assessments

Legal Description

SEC 11 TWP 21S RGE 31E NE 1/4 OF NE 1/4 OF SE 1/4 & N 1/2 OF NW 1/4 OF NE 1/4 OF SE 1/4 (LESS BEG 9.08 FT W OF NE COR RUN S 63 DEG 19 MIN 49 SEC W 442.27 FT N 49 DEG 21 MIN 40 SEC W 104.80 FT N 14 DEG 5 MIN 47 SEC W 134.30 FT E 507.45 FT TO BEG & RD)

Taxes

Taxing Authority	Assessed	Exempt Amount	Taxable
COUNTY GENERAL FUND	\$7,851,171	\$0	\$7,851,171
Schools	\$7,851,171	\$0	\$7,851,171
FIRE	\$7,851,171	\$0	\$7,851,171
ROAD DISTRICT	\$7,851,171	\$0	\$7,851,171
SJWM(Saint Johns Water Management)	\$7,851,171	\$0	\$7,851,171

Sales

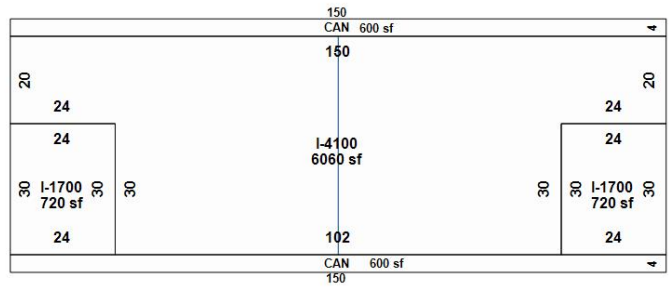
Deed Type	Date	Sale Amount	Book / Page	Sale Type	Qualified?
WARRANTY DEED	11/1/2005	\$100	06004/1168	Vacant	No
WARRANTY DEED	5/1/2003	\$100,000	04827/0280	Vacant	Yes
WARRANTY DEED	12/1/1996	\$100	03169/1912	Vacant	No
WARRANTY DEED	9/1/1985	\$180,660	01672/0256	Vacant	Yes

Land

Units	Rate	Assessed	Market
405,076 SF	\$3.80/SF	\$1,539,289	\$1,539,289
3.60 Acres	\$535/Acre	\$1,924	\$1,924

Building Information	
#	1
Use	MASONRY PILASTER
Year Built*	2007
Bed	
Bath	
Fixtures	0
Base Area (ft ²)	7500
Total Area (ft ²)	
Constuction	METAL PREFINISHED - INSULATED
Replacement Cost	\$822,563
Assessed	\$653,938

* Year Built = Actual / Effective

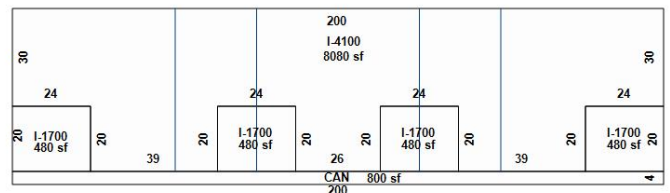


Building 1

Appendages	
Description	Area (ft ²)
CANOPY	600
CANOPY	600

Building Information	
#	2
Use	MASONRY PILASTER
Year Built*	2007
Bed	
Bath	
Fixtures	0
Base Area (ft ²)	10000
Total Area (ft ²)	
Constuction	METAL PREFINISHED - INSULATED
Replacement Cost	\$1,081,864
Assessed	\$860,082

* Year Built = Actual / Effective

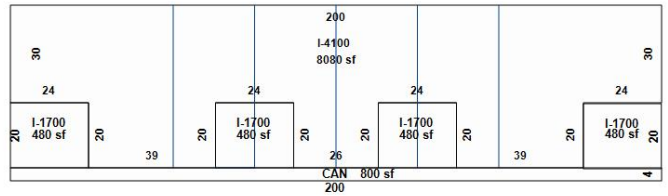


Building 2

Appendages	
Description	Area (ft ²)
CANOPY	800

Building Information	
#	3
Use	MASONRY PILASTER
Year Built*	2007
Bed	
Bath	
Fixtures	0
Base Area (ft ²)	10000
Total Area (ft ²)	
Constuction	METAL PREFINISHED - INSULATED
Replacement Cost	\$1,081,864
Assessed	\$860,082

* Year Built = Actual / Effective



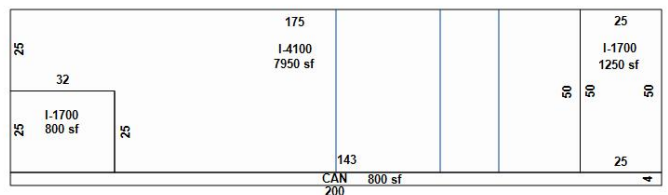
Building 3

Appendages

Description	Area (ft ²)
CANOPY	800

Building Information	
#	4
Use	MASONRY PILASTER
Year Built*	2007
Bed	
Bath	
Fixtures	0
Base Area (ft ²)	10000
Total Area (ft ²)	
Constuction	METAL PREFINISHED - INSULATED
Replacement Cost	\$1,085,816
Assessed	\$863,224

* Year Built = Actual / Effective



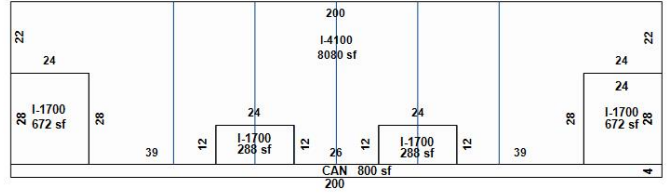
Building 4

Appendages

Description	Area (ft ²)
CANOPY	800

Building Information	
#	5
Use	MASONRY PILASTER
Year Built*	2007
Bed	
Bath	
Fixtures	0
Base Area (ft ²)	10000
Total Area (ft ²)	
Constuction	METAL PREFINISHED - INSULATED
Replacement Cost	\$1,081,864
Assessed	\$860,082

* Year Built = Actual / Effective



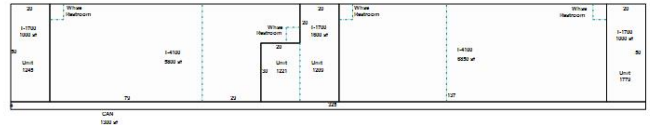
Building 5

Appendages

Description	Area (ft ²)
CANOPY	800

Building Information	
#	6
Use	MASONRY PILASTER
Year Built*	2013
Bed	
Bath	
Fixtures	0
Base Area (ft ²)	16250
Total Area (ft ²)	
Constuction	METAL PREFINISHED - INSULATED
Replacement Cost	\$1,764,491
Assessed	\$1,521,873

* Year Built = Actual / Effective



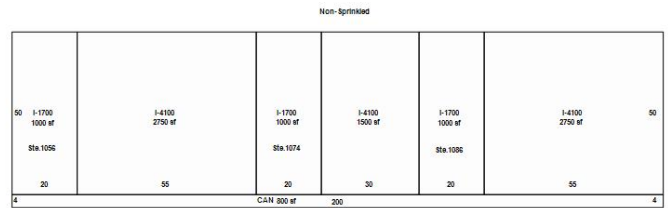
Building 6

Appendages

Description	Area (ft ²)
CANOPY	1300

Building Information	
#	7
Use	MASONRY PILASTER
Year Built*	2018
Bed	
Bath	
Fixtures	0
Base Area (ft ²)	10000
Total Area (ft ²)	
Constuction	METAL PREFINISHED - INSULATED
Replacement Cost	\$1,124,895
Assessed	\$1,040,528

* Year Built = Actual / Effective



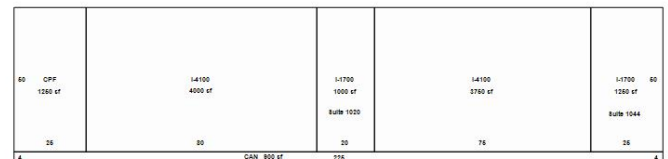
Building 7

Appendages

Description	Area (ft ²)
CANOPY	800

Building Information	
#	8
Use	MASONRY PILASTER
Year Built*	2018
Bed	
Bath	
Fixtures	0
Base Area (ft ²)	10000
Total Area (ft ²)	
Constuction	METAL PREFINISHED - INSULATED
Replacement Cost	\$1,118,573
Assessed	\$1,034,680

* Year Built = Actual / Effective



Building 8

Appendages

Description	Area (ft ²)
CANOPY	900
CARPORT FINISHED	1250

Permits				
Permit #	Description	Value	CO Date	Permit Date
16525	WAREHOUSE OFFICE BUILD OUT	\$50,000	7/26/2018	3/21/2018
04105	CONSTRUCT NEW 10,000 SQ FT METAL BUILDING W/3 UNITS, OFFICE, & WAREHOUSE - 418 SANTA ROSA CT	\$746,352	5/11/2018	6/13/2017
04104	CONSTRUCT NEW 10,000 SQ FT METAL BUILDING W/1 UNIT & 25' COVERED OVERHANG - 410 SANTA ROSA CT	\$880,675	7/26/2018	6/8/2017
06339	TENANT SPACE IN INDUSTRIAL BUILDING - CO REQ - 418 SANTA ROSA CT #1056	\$46,518	5/11/2018	5/14/2017
06340	INTERIOR BUILD OUT - C/O REQ - 418 SANTA ROSA CT #1074	\$50,136	5/11/2018	5/14/2017
06341	INT BUILD OUT - C/O REQ - 418 SANTA ROSA CT #1086	\$68,226	5/11/2018	5/14/2017
04163	NEW WAREHOUSE W/4 OFFICE SUITES - 1641 SMITHFIELD WAY	\$1,345,355	1/16/2014	5/23/2013
01754	ELECTRICAL UPGRADES - #1228 - 1644 SMITHFIELD WAY	\$2,350		3/11/2013
04061	ADDED 2 WALLS, ELECTRIC OUTLETS, & LIGHTS - #1150 - 1636 SMITHFIELD WAY	\$2,050		5/23/2011
10699	SECURITY SYSTEM - #1120 - GERRY LOPEZ MUSIC; PAD PER PERMIT 1624 SMITHFIELD WAY	\$500		10/21/2008
01638	INSTALL VOICE DATA & TV CABLES FOR COMPUTERS & TELEPHONES; PAD PER PERMIT 1636 SMITHFIELD WAY	\$2,200		2/16/2007
11368	GROUND SIGN; PAD PER PERMIT 1285 N CR 426	\$4,000		10/5/2006
08128	DUMPSTER PAD; PAD PER PERMIT 1604 SMITHFIELD WAY	\$9,200		7/12/2006
00003	STORAGE WAREHOUSE; PAD PER PERMIT 1616 SMITHFIELD WAY	\$593,258	3/19/2007	1/3/2006
00012	STORAGE WAREHOUSE; PAD PER PERMIT 1636 SMITHFIELD WAY	\$593,258	3/19/2007	1/3/2006
00013	STORAGE WAREHOUSE; PAD PER PERMIT 1644 SMITHFIELD WAY	\$593,258	6/26/2007	1/3/2006
00010	STORAGE WAREHOUSE; PAD PER PERMIT 1624 SMITHFIELD WAY	\$593,258	3/19/2007	1/3/2006
00014	STORAGE WAREHOUSE; PAD PER PERMIT 1604 SMITHFIELD WAY	\$250,000	2/1/2008	1/3/2006

Extra Features				
Description	Year Built	Units	Cost	Assessed
COMMERCIAL CONCRETE DR 4 IN	2007	1320	\$7,181	\$4,129
COMMERCIAL ASPHALT DR 2 IN	2007	83119	\$224,421	\$129,042
BLOCK WALL - SF	2007	660	\$9,154	\$5,264
COMMERCIAL ASPHALT DR 2 IN	2013	34714	\$93,728	\$67,953
WALKS CONC COMM	2018	1696	\$9,226	\$7,842
COMMERCIAL ASPHALT DR 2 IN	2018	30089	\$81,240	\$69,054
BLOCK WALL - SF	2018	224	\$3,107	\$2,641

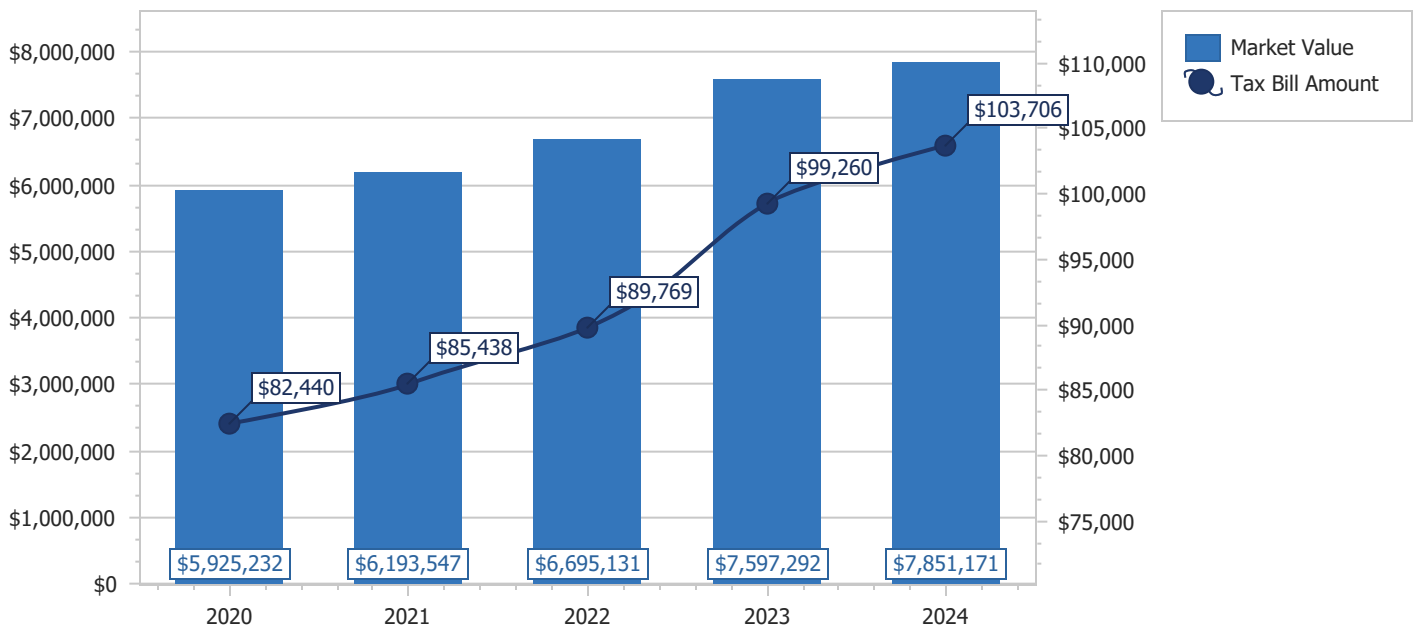
Zoning	
Zoning	M-1
Description	Industrial
Future Land Use	IND
Description	Industrial

School Districts	
Elementary	Partin
Middle	Jackson Heights
High	Hagerty

Political Representation	
Commissioner	District 2 - Jay Zembower
US Congress	District 7 - Cory Mills
State House	District 37 - Susan Plasencia
State Senate	District 10 - Jason Brodeur
Voting Precinct	Precinct 71

Utilities	
Fire Station #	Station: 44 Zone: 444
Power Company	DUKE
Phone (Analog)	AT&T
Water	
Sewage	
Garbage Pickup	
Recycle	
Yard Waste	
Hauler #	

Property Value History





**Seminole County Government
Development Services Department
Planning and Development Division
Credit Card Payment Receipt**

If you have questions about your application or payment, please email us eplandesk@seminolecountyfl.gov or call us at: (407) 665-7371.

Receipt Details

Date: 3/12/2025 10:23:01 AM
Project: 25-80000029
Credit Card Number: 37*****2002
Authorization Number: 264554
Transaction Number: 120325C2A-94921817-C7AD-46BA-872E-8C41B0B0922A
Total Fees Paid: 52.50

Fees Paid

Description	Amount
CC CONVENIENCE FEE -- PZ	2.50
PRE APPLICATION	50.00
Total Amount	52.50