



SEMINOLE COUNTY
PLANNING & DEVELOPMENT DIVISION
1101 EAST FIRST STREET, ROOM 2028
SANFORD, FLORIDA 32771
(407) 665-7371 EPLANDESK@SEMINOLECOUNTYFL.GOV

PROJ. #: 23-80000140
Received & Paid:
10/5/23

PRE-APPLICATION

INCOMPLETE APPLICATIONS WILL NOT BE ACCEPTED

APPLICATION FEE

☐ PRE-APPLICATION \$50.00

PROJECT

PROJECT NAME: LifePoint Christian Church	
PARCEL ID #(S): 25-20-29-300-0170-0000	
TOTAL ACREAGE: 2.5	BCC DISTRICT: 4: Lockhart
ZONING: A-1	FUTURE LAND USE: LDR

APPLICANT

NAME: Ryan Hoffman	COMPANY: Hoffman & Adams Construction LLC	
ADDRESS: 13509 Greentree Dr		
CITY: Tampa	STATE: FL	ZIP: 33613
PHONE: 423-963-8220	EMAIL: Ryan@haconstructions.com	

CONSULTANT

NAME: Ryan Hoffman	COMPANY: Hoffman & Adams Construction LLC	
ADDRESS: 13509 Greentree Dr		
CITY: Tampa	STATE: FL	ZIP: 33613
PHONE: 423-963-8220	EMAIL: Ryan@haconstructions.com	

PROPOSED DEVELOPMENT (CHECK ALL THAT APPLY)

☐ SUBDIVISION ☐ LAND USE AMENDMENT ☐ REZONE ☒ SITE PLAN ☒ SPECIAL EXCEPTION

Description of proposed development: Addition/ Remodel

STAFF USE ONLY

COMMENTS DUE: <u>10/13</u>	COM DOC DUE: <u>10/19</u>	DRC MEETING: <u>10/25</u>
<input type="checkbox"/> PROPERTY APPRAISER SHEET <input type="checkbox"/> PRIOR REVIEWS:		
ZONING: <u>A-1</u>	FLU: <u>LDR</u>	LOCATION: <u>on the west side of Myrtle Lake Hills Rd, north of E.E. Williamson Rd</u>
W/S: <u>Sunshine Water</u>	BCC: <u>4: Lockhart</u>	

Agenda: 10/20

Hoffman & Adams Construction
Ryan Hoffman
13509 Greentree Drive
Tampa, FL 33613
Ryan@haconstructions.com
423-963-8220
10/03/2023

Seminole County Planning & Development Division
1101 East 1st Street
Sanford, FL 32771

Dear Sir/Madam,

RE: Request for Pre-Application Meeting - LifePoint Christian Church Renovation and Expansion Project

I hope this letter finds you well. I am writing on behalf of LifePoint Christian Church in Longwood, Florida, regarding an upcoming renovation and expansion project within our facility. We are reaching out to request a pre-application meeting with your esteemed division to discuss our plans and ensure compliance with all necessary regulations and requirements.

LifePoint Christian Church has been an integral part of the Seminole County community for many years, providing spiritual and community support to our members and neighbors. As we continue to grow and adapt to the needs of our congregation, we have identified the need to renovate and expand our church facilities to better serve our community.

The proposed project involves renovating the interior of our existing church building to create more functional spaces for worship, community gatherings, and various activities. Additionally, we plan to add additional square footage to accommodate our growing congregation and provide improved amenities.

Before proceeding further with our plans, we understand the importance of complying with all local regulations, zoning ordinances, and building codes. We wish to ensure that our project aligns with all the requirements set forth by the Seminole County Planning & Development Division. Therefore, we kindly request a pre-application meeting to discuss our project in detail, seek guidance on the permitting process, and ascertain if there are any additional requirements or considerations that we may not be aware of.

We believe that a pre-application meeting will facilitate a smoother and more efficient development process, allowing us to address any concerns or issues upfront. We are committed to working collaboratively with your division to ensure that our renovation and expansion project not only meets all regulatory standards but also enhances our church's ability to serve our community effectively.

Please let us know your availability for a pre-application meeting at your earliest convenience. We are flexible and can accommodate your schedule to ensure that the meeting is as convenient as possible for your team. You can contact me at 423-963-8220 or via email at Ryan@haconstructions.com to coordinate the details of the meeting.

We appreciate your prompt attention to this matter and look forward to discussing our project with you. Thank you for your assistance in helping us make LifePoint Christian Church an even better resource for our community.

****Side note****

You will see a set of plans that is the existing building and another set of what we're planning.

Sincerely,

Ryan Hoffman

Hoffman & Adams Construction

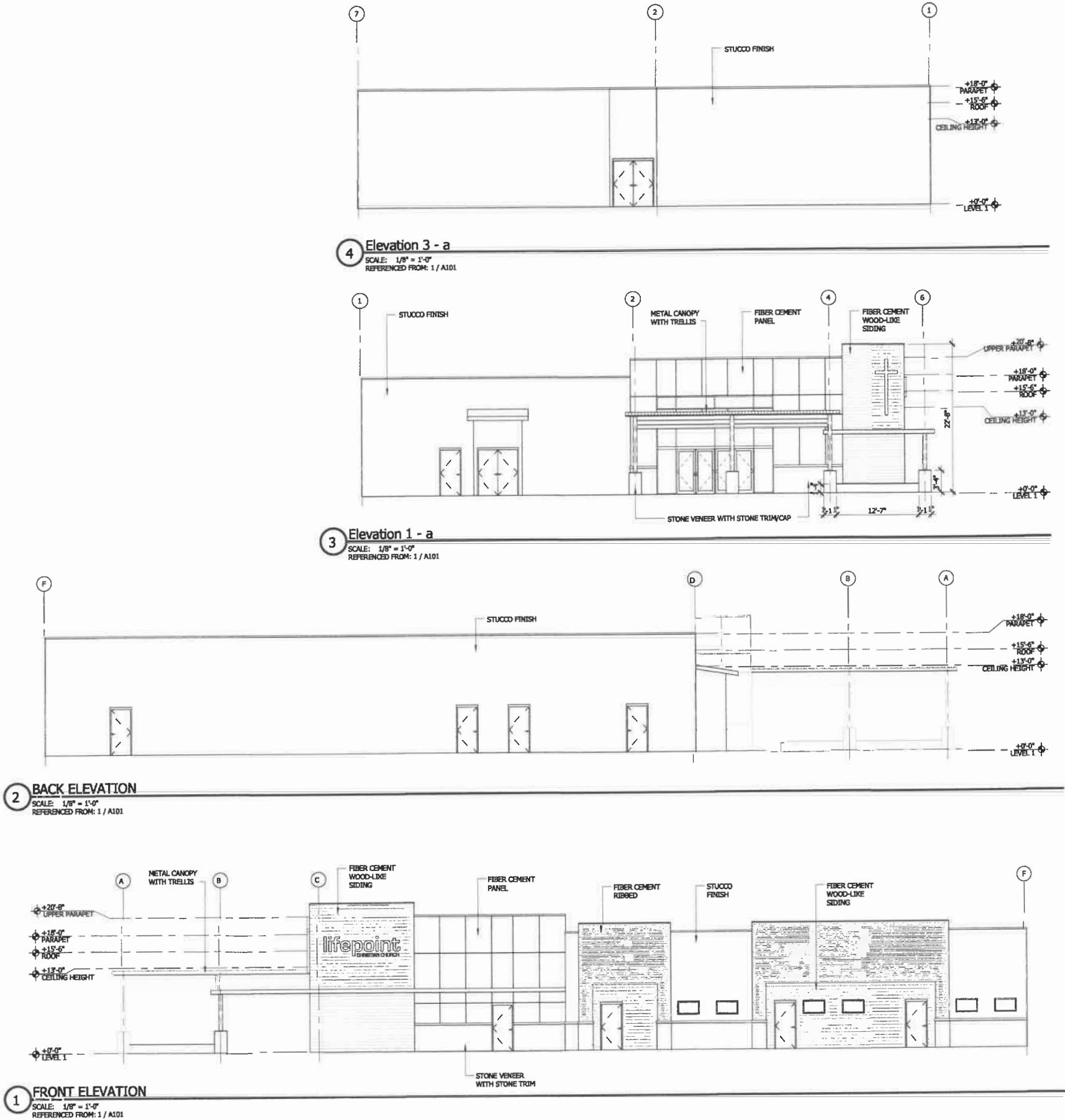
Written dimensions on these drawings shall have precedence over scaled dimensions. Contractor shall verify and be responsible for all dimensions and conditions on the job. Scott + Cormia Architecture and Interiors, LLC must be notified immediately in writing of any deviation from the dimensions and conditions shown on these drawings. Field verify all conditions prior to laying out or fabricating associated work. Bring to the architect's attention any deviation from designed conditions and field conditions prior to ordering materials and installing work, and cooperate with architect to modify such conditions at no additional cost to the owner, architect or architect's consultants. Shop details must be submitted to the architect's office and reviewed by the architect prior to ordering materials, fabrication and delivery to the job site, unless otherwise provided for under the specific contractual agreement between the architect and client. Scott + Cormia Architecture and Interiors, LLC expressly reserves its common law copyright and other property rights in these documents. These documents are not to be reproduced, changed, or copied in any form or manner whatsoever, nor are they to be assigned to a third party without the written consent of Scott + Cormia Architecture and Interiors, LLC. The use of these documents for the construction of a project is the sole responsibility of the third party. The third party shall indemnify and hold Scott + Cormia Architecture and Interiors, LLC harmless from and against all claims, damages, costs, collection fees and other costs. 8/29/2023 9:55:15 AM

IF THIS SHEET DOES NOT MEASURE TO 24 x 36, IT HAS BEEN ENLARGED OR REDUCED. ADJUST SCALE ACCORDINGLY.

THIS SHEET IS PART OF THE DOCUMENT SET AND SHOULD NOT BE SEPARATED.

ALWAYS REFER TO THE LATEST DRAWING SET.

EACH CONTRACTOR SHALL COORDINATE THEIR WORK WITH ALL OTHER TRADES.



ELEVATION NOTES

- | # | NOTE | REV |
|----|--|-----|
| 1 | EXTERIOR PAINT TO INCLUDE M1 ADDITIVE TO PREVENT MILDEW AND FUNGUS GROWTH. | |
| 2 | PAINT SHALL BE SHERWIN WILLIAMS 25 YR SUPER PAINT OR APPROVED EQ. | |
| 3 | ALL METAL PAINT TO BE ENAMEL BASE. | |
| 4 | GENERAL CONTRACTOR TO PROVIDE SHOP DRAWINGS FOR ALL EXTERIOR LIGHT FIXTURES FOR APPROVAL BY ARCHITECT AND OWNER, PRIOR TO PURCHASE AND INSTALLATION COMPLYING W/ APPLICABLE ADA GUIDELINES. | |
| 5 | CONTRACTOR TO PAINT ALL EXPOSED PIPES, CONDUITS, DISCONNECTS & JUNCTION BOXES TO MATCH ADJACENT SURFACES. | |
| 6 | CONTRACTOR TO PROVIDE FOR COMPONENTS AND CLADDING A FLORIDA PRODUCT APPROVAL OR NOTICE OF ACCEPTANCE FROM STATE OF FLORIDA AND SHOP DRAWINGS FOR APPROVAL BY ARCHITECT, ENGINEER, AND COUNTY PRIOR TO ORDERING AND CONSTRUCTION. | |
| 7 | ELEVATION HEIGHTS ARE FOR REFERENCE ONLY TO THE ARCHITECTURAL DRAWINGS. SEE CIVIL FOR ACTUAL FLOOR HEIGHT ABOVE SEA LEVEL. CONTACT ARCHITECT OF RECORD IF HEIGHTS DIFFER. | |
| 8 | NO SIGNAGE IS INCLUDED IN THIS PACKAGE. SIGNAGE SHOWN FOR REFERENCE ONLY. ALL SIGNS MUST BE PERMITTED SEPARATELY. | |
| 9 | COLOR SAMPLES TO BE APPROVED BY OWNER BEFORE APPLICATION. IF PRINTED IN COLOR, THESE ELEVATIONS ONLY OFFER A GENERAL REPRESENTATION OF THE SELECTED COLORS. COLORS VIEWED ON A COMPUTER SCREEN AND THEN PRINTED WILL VARY AND WILL NEVER BE AN EXACT REPRESENTATION OF THE ACTUAL PROJECT. REFER TO MANUFACTURER PROVIDED COLOR SAMPLES ONLY FOR FINAL APPROVAL. | |
| 10 | WHERE COLOR IS SHOWN AS BEING SPECIFIC TO ONE MANUFACTURER, AN EQUIVALENT COLOR BY ANOTHER MANUFACTURER MAY BE SUBMITTED FOR APPROVAL. MANUFACTURERS AND MATERIALS SPECIFIED ARE NOT INTENDED TO LIMIT THE SELECTION OF EQUAL COLORS AND PERFORMANCE FROM OTHERS. | |
| 11 | DO NOT TRANSITION PAINT COLORS ON AN EXTERIOR CORNER. ALL COLOR CHANGES SHOULD BE AT INTERIOR CORNERS. UNO. CONTACT ARCHITECT IF A CONFLICT OCCURS. | |
| 12 | PAINT ALL EXPOSED EDGES OF TRIM, INCLUDING EDGES. | |
| 13 | LOUVERS AND PANEL FRONTS SHALL BE SPRAY PAINTED TO MATCH ADJACENT SURFACES, INCLUDING FACTORY FINISHED ITEMS. UNO. BRUSH PAINTING OF THESE ITEMS WILL NOT BE PERMITTED. | |
| 14 | ALL EXTERIOR GLAZING TO HAVE A MAXIMUM U-FACTOR OF 0.40 AND SHGC OF 0.25. | |
| 15 | REFER TO STUCCO NOTES FOR ADDITIONAL INFORMATION. | |

STUCCO NOTES

- | # | NOTE | REV |
|----|---|-----|
| 1 | REFER TO ELEVATIONS FOR CONTROL JOINT LAYOUT. IF NO JOINTS ARE SHOWN, OR IF THE LAYOUT APPEARS TO BE INCOMPLETE, THE REMAINING NOTES AND CRITERIA IN THIS LIST SHALL GOVERN. | |
| 2 | CONTRACTOR SHALL PROVIDE A STUCCO CONTROL JOINT LAYOUT SUBMITTAL FOR REVIEW/APPROVAL BY ARCHITECT. | |
| 3 | INSTALLATION OF SYSTEM SHALL ADHERE TO STANDARDS SET BY ASTM C1063 "STANDARD SPECIFICATION FOR INSTALLATION OF LATHING AND FURRING TO RECEIVE INTERIOR AND EXTERIOR PORTLAND CEMENT-BASED PLASTER." | |
| 4 | IF CONDITIONS EXIST THAT ARE NOT COVERED BY PROVIDED DETAILS, CONTRACTOR SHALL FOLLOW ACCEPTED INDUSTRY STANDARDS REFERENCED HEREIN, OR SHALL REQUEST NECESSARY INFORMATION FROM DESIGN TEAM. | |
| 5 | CONTROL JOINTS SHALL BE LOCATED TO DELINEATE PLASTERWORK INTO AREAS (PANELS) OF 144 SQFT MAXIMUM FOR VERTICAL SURFACES, AND 100 SQFT MAXIMUM FOR HORIZONTAL AND OTHER NON-VERTICAL SURFACES. | |
| 6 | DISTANCES BETWEEN CONTROL JOINTS SHALL NOT EXCEED 18 FEET O.C. | |
| 7 | CONTROL JOINTS SHALL BE LOCATED AS REQUIRED TO DELINEATE PLASTERWORK INTO AREAS (PANELS) WITH LENGTH-TO-WIDTH RATIOS OF NOT GREATER THAN 2:1:1. | |
| 8 | CONTROL JOINTS SHALL BE LOCATED WHERE CONTROL JOINTS OCCUR IN SURFACE OF CONSTRUCTION DIRECTLY BEHIND PLASTER. | |
| 9 | CONTROL JOINTS SHALL BE LOCATED WHERE PLASTERWORK AREAS CHANGE DIMENSIONS, TO DELINEATE RECTANGULAR-SHAPED AREAS (PANELS) AND TO RELIEVE THE STRESS THAT OCCURS AT THE CORNER FORMED BY THE DIMENSION CHANGE. | |
| 10 | EXPANSION JOINTS SHALL NOT BE CONCEALED WITHOUT THE INSTALLATION OF A CONTROL JOINT. | |
| 11 | LATH SHALL NOT BE INSTALLED CONTINUOUS THROUGH CONTROL JOINTS BUT SHALL BE STOPPED AND TIED AT EACH SIDE. | |

SCOTT + CORMIA

ARCHITECTURE + INTERIORS

Scott + Cormia Architecture and Interiors, LLC

429 S. Keller Road, Suite 200
Orlando, Florida 32810

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AA26002980
www.scottcormia.com

project

LIFEPOINT CHRISTIAN CHURCH

1470 MYRTLE LAKE HILLS RD
LONGWOOD, FL 32750

seal

NOT FOR
BIDDING OR
CONSTRUCTION

To the best of the architect's or engineer's knowledge, the plans and specifications comply with the applicable minimum building codes and the applicable fire safety standards as determined by the local authority.

submissions

#	DATE	DESCRIPTION

drawing info

PROJECT #: 22010

DRAWN BY: XXX, XXX, XXX

CHECKED BY: XXX

sheet number

EXTERIOR ELEVATIONS

A301

IF THIS SHEET DOES NOT MEASURE TO 24 x 36, IT HAS BEEN ENLARGED OR REDUCED. ADJUST SCALE ACCORDINGLY.

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EACH CONTRACTOR SHALL COORDINATE THEIR WORK WITH ALL OTHER TRADES.

FLOOR PLAN NOTES

NOTE

1 FURNITURE PROVIDED BY TENANT & SHOWN FOR REFERENCE ONLY. UNO. IT IS THE RESPONSIBILITY OF THE FURNITURE VENDOR TO FIELD VERIFY AND ASSURE THAT A MINIMUM OF 44" CLEAR AISLE ACCESS IS PROVIDED THROUGHOUT.

2 REFER TO SHEET A (A22) FOR DIMENSIONED FRAMING PLAN FOR WALL TYPES AND TOP PLATE CONNECTION TYPES.

3 COMMERCIAL KITCHEN EQUIPMENT SHOWN FOR REFERENCE ONLY. REFER TO SHEET SERIES ____ FOR DETAILS.

4 BREAKROOM EQUIPMENT SHOWN FOR REFERENCE ONLY. REFER TO SHEET SERIES ____ FOR DETAILS.

5 DASHED LINES REPRESENT ITEMS ABOVE. REFER TO REFLECTED CEILING PLAN ON SHEET A (A111).

6 REFER TO LIFE SAFETY SHEETS FOR RATED WALL LOCATION & TYPE.

WALL PHASING

Respective to the views phase, walls are depicted as shown:

EXISTING WALL TO REMAIN

WALL TO BE DEMOLISHED

NEW WALL

SCOTT + CORMIA

ARCHITECTURE + INTERIORS

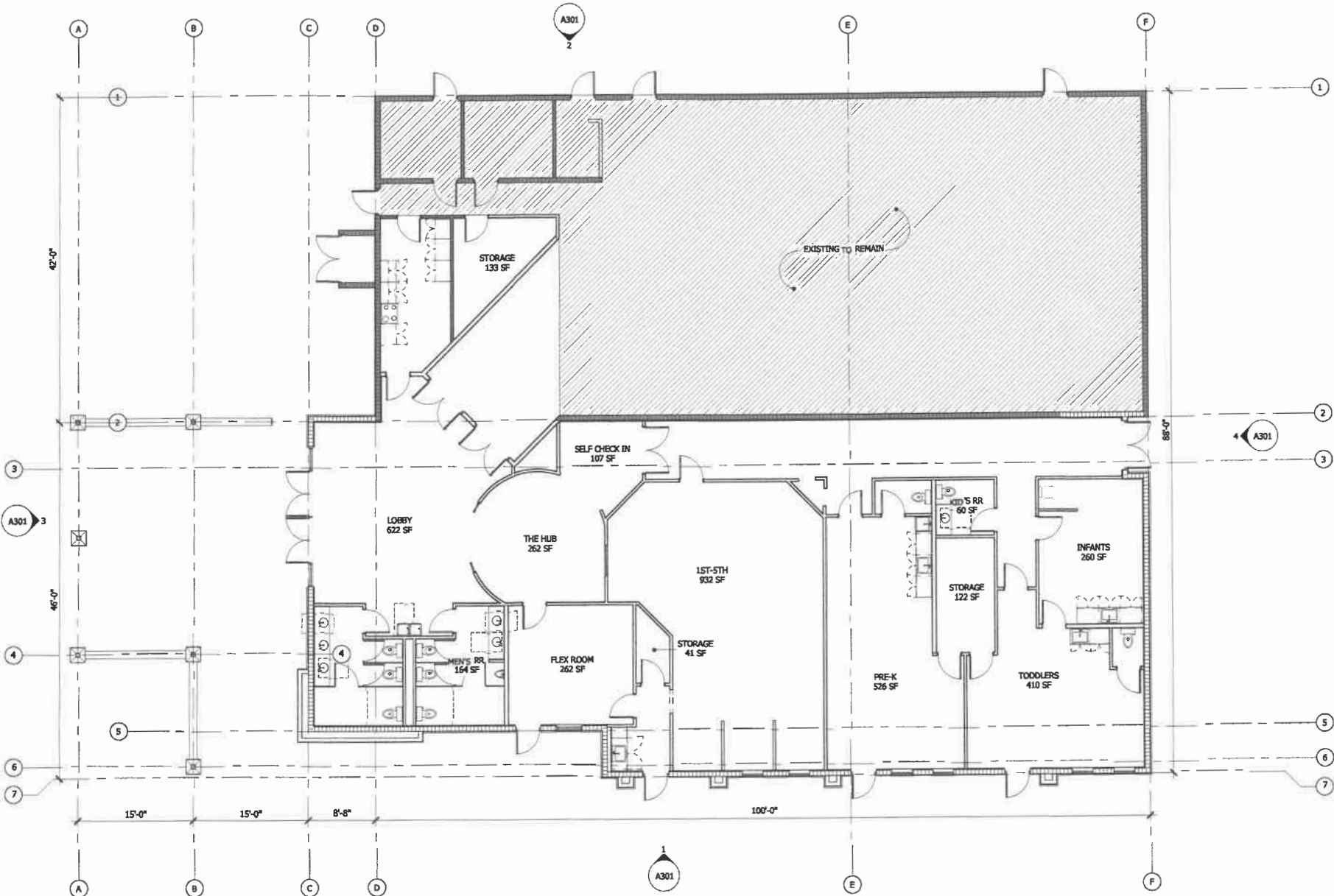
Scott + Cormia Architecture and Interiors, LLC

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AA26002990
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1 NEW FLOOR PLAN
SCALE: 1/8" = 1'-0"
REFERENCED FROM: 1 / A301

project

LIFEPOINT CHRISTIAN CHURCH
1470 MYRTLE LAKE HILLS RD
LONGWOOD, FL 32750

seal

NOT FOR
BIDDING OR
CONSTRUCTION

To the best of the architect's or engineer's knowledge, the plans and specifications comply with the applicable minimum building codes and the applicable fire safety standards as determined by the local authority.

submissions		
#	DATE	DESCRIPTION

drawing info
PROJECT # : 22010
DRAWN BY : XXX, XXX, XXX
CHECKED BY : XXX
sheet number
NEW FLOOR PLAN

TRUE NORTH
A101

WALL PHASING

Respective to the views phase, walls are depicted as shown:

EXISTING WALL TO REMAIN

WALL TO BE DEMOLISHED

NEW WALL

DEMOLITION NOTES

#

NOTE

REV

1

DEMOLITION WORK IS TO BE DONE IN ADHERENCE TO THE OWNER'S REQUIREMENTS FOR TIME AND DURATION OF HEAVY NOISE. CONTRACTOR TO COORDINATE WITH FACILITY ABOUT HOURS OF WORK, AND USE OF OCCUPIED SPACE.

2

SOME MINOR DEMOLITION IS NECESSARY FOR NEW CONSTRUCTION THAT IS NOT NOTED IN THIS PLAN.

3

REMOVAL PROCEDURES OF THE EXISTING FINISH CAN VARY DEPENDING ON THE CONDITION OF THE EXISTING SUBSTRATE. NOTIFY ARCHITECT & OWNER IF THERE IS ANY DETRIMENTAL CONDITION SEEN BEYOND THE SCOPE OF WORK.

4

CONTRACTOR TO PROTECT IN PLACE EXISTING UTILITIES OR REPAIR AS NEEDED FOR NEW CONSTRUCTION.

5

CONTRACTOR TO REPAIR ANY DAMAGE TO EXISTING TENANT FIRE RATED WALLS OR FIREPROOFING AS NECESSARY.

6

ITEMS IDENTIFIED FOR RE-USE ARE TO BE CAREFULLY REMOVED AND STORED AS DIRECTED BY THE LANDLORD. CONTRACTOR SHALL PROVIDE THE BUILDING OWNER WITH AN INVENTORY OF THESE ITEMS.

7

CONFIRM WIDTH & HEIGHT OF DOORS AND HARDWARE; ALERT ARCHITECT OF ANY DISCREPANCIES.

8

IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO PROTECT ALL EXISTING BUILDING AREAS AND FINISHES FROM DAMAGE & SHALL, AT CONTRACTOR'S EXPENSE, RESTORE TO ORIGINAL CONDITION ANY AREAS OR FINISHES DAMAGED BY THE WORK.

9

ELECTRICAL OUTLETS & SWITCHES THAT OCCUR IN WALLS TO BE REMOVED SHALL HAVE THE WIRING PULLED BACK TO THE J-BOX OR PANEL.

11

PATCH & REPAIR WALLS WHICH ARE TO REMAIN WHEN ADJACENT PERPENDICULAR WALLS ARE REMOVED.

12

PATCH & REPAIR EXISTING WALLS TO REMAIN WHEN MILLWORK IS REMOVED.

13

WHERE NEW FLOORING IS SCHEDULED, REMOVE EXISTING FLOOR FINISH AND PREPARE SURFACE FOR INSTALLATION OF NEW FLOORING. UNO. COORDINATE WITH FLOOR FINISH PLANS.

14

CONTRACTOR TO VERIFY EXISTING CONDITIONS AND DIMENSIONS PRIOR TO BEGINNING WORK. DIMENSIONS SHOWN ON DEMOLITION DRAWINGS ARE APPROXIMATE.

15

REFER TO MECHANICAL, ELECTRICAL, PLUMBING AND STRUCTURAL DRAWINGS FOR ADDITIONAL DEMOLITION INFORMATION.

16

AT ALL TIMES, THE CONTRACTOR SHALL KEEP ALL REQUIRED EGRESS EXIT PATHS UNOBSTRUCTED, ILLUMINATED AND PROTECTED FROM CONSTRUCTION ACTIVITY.

17

PROVIDE TEMPORARY DUST SECURITY WALLS TYPE AS SHOWN. REMOVE AT END OF PROJECT.

18

PROVIDE TEMPORARY PLASTIC DUST BARRIER HUNG FROM CEILING AS SHOWN. TAPE ALL SEAMS AND EDGES. REMOVE AT END OF PROJECT.

19

ALL HANGERS, STRAPS & OTHER ACCESSORY OBJECTS CONNECTED TO ITEMS BEING REMOVED SHALL BE REMOVED AS WELL.

20

ERECT TEMPORARY BARRIERS, CLOSURES, PARTITIONS AND CAPS ON DUCTWORK AND SEAL TIGHT TO PREVENT THE SPREAD OF DUST AND DEBRIS FROM THE AREA TO ADJACENT OR NEARBY AREAS THAT REMAIN OCCUPIED AND OPERATIONAL. TEMPORARY WALLS SHALL BE CONSTRUCTED AS NOTED ON SHEET.

21

SPRINKLER HEADS, SMOKE AND FIRE DETECTION EQUIPMENT MUST BE SHIELDED TO AVOID FALSE ALARMS. COORDINATE WITH FIRE PROTECTION CONTRACTOR.

22

CONTRACTOR SHALL REMOVE ALL WIRING, CABLE AND CONDUIT NOT IN USE IN AREAS OF WORK FROM WITHIN WALLS AND ABOVE CEILING. COORDINATE WITH BUILDING MANAGER.

23

ON REMAINING WALLS ADJACENT TO THOSE BEING DEMOLISHED, EXISTING BASE SHALL BE REMOVED BACK TO NEAREST INSIDE CORNER AND WALLS SHALL BE REPAIRED SO AS TO CREATE A SMOOTH SURFACE READY TO RECEIVE NEW BASE.

24

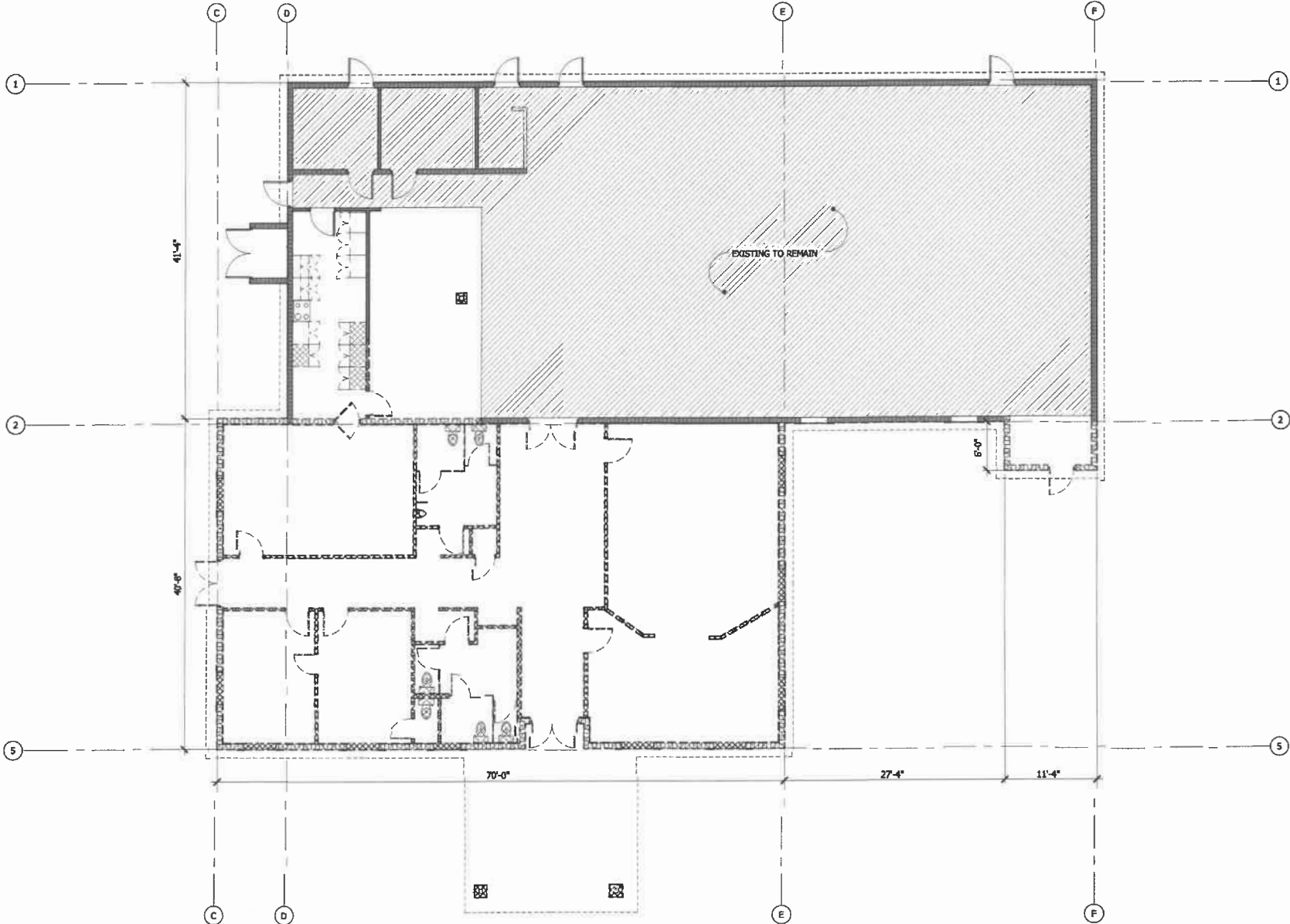
CONTRACTOR TO CONSTRUCT OR PROVIDE PROTECTION BARRIERS AS NEEDED FOR SAFETY AND TO CONTAIN DUST DUE TO DEMOLITION. CONTRACTOR SHALL TAKE CAREFUL MEASURES TO CONTAIN THE SPREAD OF DUST AND FUMES OUT OF THE WORK AREA THROUGH OPENINGS, DUCTWORK ETC.

25

REMOVE EXISTING LOUVER VENTS AND INFILL OPENING WITH 2-HOUR CMU (UL-90S). REMOVE EXISTING BLOCK SIDE WALLS SUCH THAT NEW INFILL WALL CREATES CORRECT STAGGERED VERTICAL JOINTS TO CONSTRUCT ACCEPTED FIRE RATED WALL PER UL.

26

SEAL ALL GRILLES AND DIFFUSERS AGAINST DUST PRIOR TO BEGINNING CONSTRUCTION. REMOVE ALL SEALS AFTER WORK IS COMPLETE. VERIFY DUCTS ARE FREE OF MOLD AND DEBRIS PRIOR TO OCCUPANCY. GENERAL CONTRACTOR SHALL PERFORM NECESSARY CORRECTIVE MEASURES TO ABATE ANY DEFICIENCIES.



1

DEMOLITION PLAN

SCALE: 1/8" = 1'-0"

REFERENCED FROM: 1 / A301

SCOTT + CORMIA

ARCHITECTURE + INTERIORS

Scott + Cormia Architecture and Interiors, LLC

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project

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LONGWOOD, FL 32750

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BIDDING OR
CONSTRUCTION

To the best of the architect's or engineer's knowledge, the plans and specifications comply with the applicable minimum building codes and the applicable fire safety standards as distributed by the local authority.

submissions		
#	DATE	DESCRIPTION

drawing info

PROJECT # : 22010

DRAWN BY : XXX, XXX, XXX

CHECKED BY : XXX

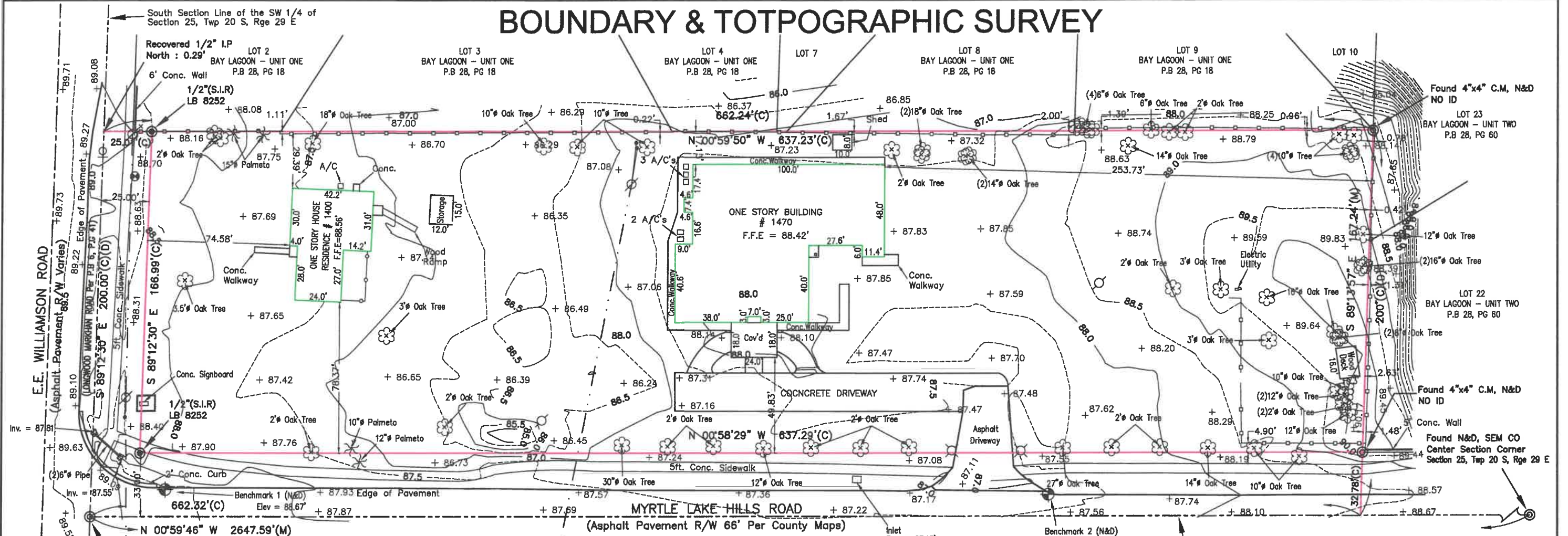
sheet number

EXISTING FLOOR PLAN



A100

BOUNDARY & TOPOGRAPHIC SURVEY



SURVEY NOTES :

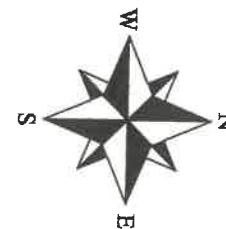
- 1) Assumed North based on a Bearing on the EAST Section line of the SW 1/4 of Section 25, Twp 20 S, Rge 29 E, being N 00°59' 46" W, assumed.
- 2) This Survey has been prepared without benefit of Title Abstract and is subject of any Deductions, Limitations, Restrictions, Reservations, Easements, Right Of Ways, agreements or other matters of record.
- 3) Unless otherwise noted; Distances shown hereon refer to plat and field measurement.
- 4) No underground utilities or underground encroachments were measured or located as part of this survey.
- 5) Legal description provided by others.
- 6) Only visible and above ground encroachments located.
- 7) Examination of the abstract of title will have to be made to determine recorded instruments, if any, affecting property.
- 8) Underground portions of footings, foundations or other Improvements were not located.
- 9) The ownership of the fences was not determined.
- 10) The flood data provided is for informational purposes only. The Local F.E.M.A agency should be contacted for accuracy and verification
- 11) This survey has been prepared for the exclusive use of the person or entities named hereon.
- 12) This map is intended to be displayed at a scale of 1" = 50' or smaller.
- 13) Wall ties are to the face of the wall.

LEGEND

- Set Corner
- Monument found
- Benchmark
- Aluminum Lamp Pole
- Wood Power Pole
- Wood Light Pole
- Water Meter
- Wood Pole Traffic Light
- Calculated Distance
- Deed Distance
- Measured Distance
- (F.I.R) Found Iron Rod
- (F.I.P) Found Iron Pipe
- (S.I.R) Set Iron Rod
- I.P Iron Pipe
- Twp Township
- Rge Range
- N&D Nail and Disk
- C.M Concrete Monument
- P.B Plat Book
- PG Pages
- Conc. Concrete
- Cov'd Covered
- A/C Air Conditioner
- Guy Wire
- Center Lines
- Property Line
- Wood Rail Fence
- 6ft Wood Fence
- Section Lines
- Overhead Power Lines
- Index Contour elev.
- Interval Contour Elev.
- Spot Elev.

LEGAL DESCRIPTION;

The East 200 feet of the Southeast 1/4 of the Southeast 1/4 of the Southwest 1/4 of Section 25, Township 20 South, Range 29 East, (Less Road Right-of-Way), Seminole County, Florida.



0 50' 100'
SCALE : 1" = 50'
SURVEY DATE: AUGUST 4, 2023

STADIA
SURVEYORS & MAPPERS LLC
535 Stonewall Ave.
Haines City, FL 33844
Tel. 863-303-7296
LB 8252

Certified to;
OWNER: LIFEPOINT CHRISTIAN CHURCH INC

PROPERTY INFORMATION ;
ADDRESS;
1400 EE WILLIAMSON RD
LONGWOOD, FL 32750
OWNER: LIFEPOINT CHRISTIAN CHURCH INC
PARCEL ID : 25-20-29-300-0170-0000
AREA = 2.44 ACRES
FEMA FIRM ;
Flood Zone: X
Base Flood Elevation: N/A
Map #: 12117C0155F
Effective Date: 9/28/2007

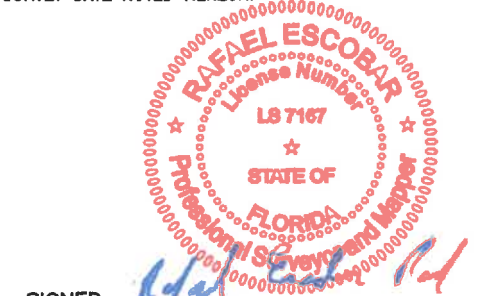
PROJECT NO. : 23 - 238
PAGE 1 OF 1

SURVEYOR'S NOTES:

1. ELEVATIONS SHOWN HEREON ARE BASED ON THE NGS BENCHMARK PID: DM3962, WITH ELEVATION 78.35(NAVD88).

SURVEYOR'S CERTIFICATION : I HEREBY CERTIFY THAT THIS BOUNDARY SURVEY IS A TRUE AND CORRECT REPRESENTATION OF A SURVEY PREPARED UNDER MY DIRECTION. THIS COMPLIES WITH THE MINIMUM TECHNICAL STANDARDS, AS SET FORTH BY THE STATE OF FLORIDA BOARD OF PROFESSIONAL LAND SURVEYORS IN CHAPTER 61G17-6, FLORIDA ADMINISTRATIVE CODE PURSUANT TO 472.027, FLORIDA STATUTES.

NOT VALID WITHOUT AN AUTHENTIC ELECTRONIC SIGNATURE AND AUTHENTICATED ELECTRONIC SEAL, AND/OR THE SIGNATURE AND/OR THE ORIGINAL RAISED SEAL OF A LICENSED SURVEYOR AND MAPPER. THE SEAL APPEARING ON THIS DOCUMENT WAS AUTHORIZED BY RAFAEL ESCOBAR, P.S.M. NO. 7167 ON THE SURVEY DATE NOTED HEREON.



SIGNED
RAFAEL ESCOBAR
PSM # 7167
AUGUST 8, 2023

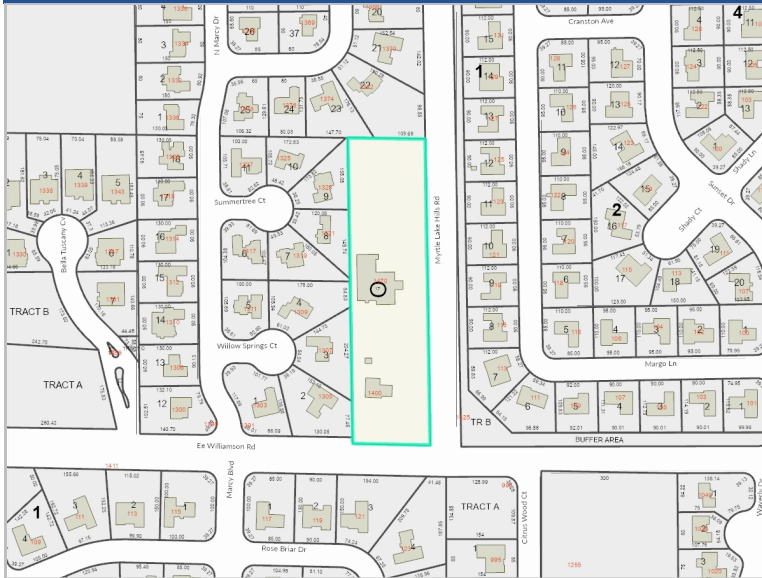
Property Record Card



Parcel 25-20-29-300-0170-0000

Property Address 1400 EE WILLIAMSON RD LONGWOOD, FL 32750

Parcel Location



Site View



25202930001700000 12/05/2021

Parcel Information

Parcel	25-20-29-300-0170-0000
Owner(s)	LIFEPOINT CHRISTIAN CHURCH INC
Property Address	1400 EE WILLIAMSON RD LONGWOOD, FL 32750
Mailing	1400 EE WILLIAMSON RD LONGWOOD, FL 32750-7132
Subdivision Name	
Tax District	01-COUNTY-TX DIST 1
DOR Use Code	71-CHURCHES
Exemptions	36-CHURCH/RELIGIOUS(2014)
AG Classification	No

Value Summary

	2023 Working Values	2022 Certified Values
Valuation Method	Cost/Market	Cost/Market
Number of Buildings	2	2
Depreciated Bldg Value	\$624,435	\$611,596
Depreciated EXFT Value	\$7,337	\$7,069
Land Value (Market)	\$178,744	\$167,050
Land Value Ag		
Just/Market Value	\$810,516	\$785,715
Portability Adj		
Save Our Homes Adj	\$0	\$0
Amendment 1 Adj	\$0	\$17,753
P&G Adj	\$0	\$0
Assessed Value	\$810,516	\$767,962

2022 Certified Tax Summary

2022 Tax Amount without Exemptions \$10,456.30 **2022 Tax Savings with Exemptions** \$10,456.30
2022 Tax Bill Amount \$0.00

* Does NOT INCLUDE Non Ad Valorem Assessments

Legal Description

SEC 25 TWP 20S RGE 29E
E 200 FT OF SE 1/4 OF SE
1/4 OF SW 1/4 (LESS RD)

Taxes			
Taxing Authority	Assessment Value	Exempt Values	Taxable Value
ROAD DISTRICT	\$810,516	\$810,516	\$0
SJWM(Saint Johns Water Management)	\$810,516	\$810,516	\$0
FIRE	\$810,516	\$810,516	\$0
COUNTY GENERAL FUND	\$810,516	\$810,516	\$0
Schools	\$810,516	\$810,516	\$0

Sales						
Description	Date	Book	Page	Amount	Qualified	Vac/Imp
CORRECTIVE DEED	02/01/2013	07981	1645	\$100	No	Improved
WARRANTY DEED	02/01/2013	07979	0641	\$810,000	No	Improved
WARRANTY DEED	03/01/2009	07153	1705	\$202,600	No	Improved
WARRANTY DEED	01/01/1975	01045	0866	\$37,500	Yes	Improved

Land					
Method	Frontage	Depth	Units	Units Price	Land Value
ACREAGE			2.57	\$69,550.00	\$178,744

Building Information													
#	Description	Year Built**	Bed	Bath	Fixtures	Base Area	Total SF	Living SF	Ext Wall	Adj Value	Repl Value	Appendages	
1	SINGLE FAMILY	1964	3	1.5	5	1,512	2,150	1,946	CONC BLOCK	\$81,720	\$136,200	Description	Area
												BASE	434.00
												OPEN PORCH FINISHED	24.00
												DETACHED UTILITY UNFINISHED	180.00

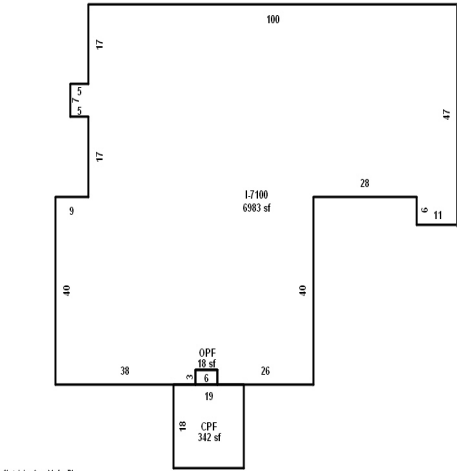


Sketch by Apex Media™

Building 1 - Page 1

** Year Built (Actual / Effective)

#	Description	Year Built Actual/Effective	Stories	Total SF	Ext Wall	Adj Value	Repl Value	Appendages	
2	MASONRY PILASTER .	1977/1994	1	6983.00	CONCRETE BLOCK-STUCCO - MASONRY	\$542,715	\$792,285	Description	Area
								OPEN PORCH FINISHED	18.00
								CARPORT FINISHED	342.00



Building 2 - Page 1

Permits					
Permit #	Description	Agency	Amount	CO Date	Permit Date
00127	GREATROOM/UTILITY/STUDY/BATH	County	\$25,404	9/10/1997	1/1/1997
08108	PRIVACY FENCE 6' & 8' HIGH	County	\$1,200		9/1/1999
09820	MISC ELECTRIC WIRING	County	\$600		11/1/1999
20892	GROUND SIGN; PAD PER PERMIT 1440 MYRTLE LAKE HILLS RD	County	\$500		12/15/2005
10083	REROOF	County	\$6,500		9/10/2007
04609	MECHANICAL	County	\$4,200		6/10/2010
09277	ELECTRICAL	County	\$1,000		9/17/2014
06145	ADD CLASSROOM, OFFICE TO CHURCH	County	\$198,464	7/7/1995	9/1/1994
08125	REROOF	County	\$21,000		6/14/2017
19567	1400 EE WILLIAMSON RD: MECHANICAL - COMMERCIAL-	County	\$23,600		11/30/2022

Extra Features				
Description	Year Built	Units	Value	New Cost
CONC UTILITY BLDG	06/01/1964	180	\$1,008	\$2,520
COMMERCIAL CONCRETE DR 4 IN	04/01/1994	3,878	\$6,329	\$15,822

Zoning			
Zoning	Zoning Description	Future Land Use	Future Land Use Description
A-1	Low Density Residential	LDR	Agricultural-1Ac

Utility Information								
Fire Station	Power	Phone(Analog)	Water Provider	Sewer Provider	Garbage Pickup	Recycle	Yard Waste	Hauler
15.00	DUKE	CENTURY LINK	SUNSHINE WATER SERVICES	SUNSHINE WATER SERVICES	NA	NA	NA	NA

Political Representation				
Commissioner	US Congress	State House	State Senate	Voting Precinct
Dist 4 - Amy Lockhart	Dist 7 - Cory Mills	Dist 36 - RACHEL PLAKON	Dist 10 - Jason Brodeur	24

School Information		
Elementary School District	Middle School District	High School District
Woodlands	Rock Lake	Lake Mary

*

10/03/23 SEMINOLE COUNTY GOVERNMENT - PROJECT FEES RECEIPT14:42:54
PROJ # 23-80000140 RECEIPT # 0290368

OWNER:

JOB ADDRESS:

LOT #:

PRE APPLICATION	50.00	50.00	.00
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TOTAL FEES DUE.....:	<u>50.00</u>
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AMOUNT RECEIVED.....:	<u>50.00</u>
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* DEPOSITS NON-REFUNDABLE *

** THERE IS A PROCESSING FEE RETAINAGE FOR ALL REFUNDS **

COLLECTED BY: DRHR01	BALANCE DUE.....:	.00
CHECK NUMBER.....:	000000000198	
CASH/CHECK AMOUNTS...:	50.00	
COLLECTED FROM:	RYAN HOFFMAN	
DISTRIBUTION.....:	1 - COUNTY 2 - CUSTOMER 3 - 4 - FINANCE	