



SEMINOLE COUNTY  
 PLANNING & DEVELOPMENT DIVISION  
 1101 EAST FIRST STREET, ROOM 2028  
 SANFORD, FLORIDA 32771  
 (407) 665-7371 EPLANDESK@SEMINOLECOUNTYFL.GOV

PROJ. #: 25-80000125  
 Received: 11/12/25  
 Paid: 11/12/25

## PRE-APPLICATION

### INCOMPLETE APPLICATIONS WILL NOT BE ACCEPTED

#### APPLICATION FEE

☐ PRE-APPLICATION \$50.00

#### PROJECT

PROJECT NAME:

PARCEL ID #(S):

TOTAL ACREAGE:

BCC DISTRICT:

ZONING:

FUTURE LAND USE:

#### APPLICANT

NAME:

COMPANY:

ADDRESS:

CITY:

STATE:

ZIP:

PHONE:

EMAIL:

#### CONSULTANT

NAME:

COMPANY:

ADDRESS:

CITY:

STATE:

ZIP:

PHONE:

EMAIL:

#### PROPOSED DEVELOPMENT (CHECK ALL THAT APPLY)

☐ SUBDIVISION ☐ LAND USE AMENDMENT ☐ REZONE ☐ SITE PLAN ☐ SPECIAL EXCEPTION

Description of proposed development: \_\_\_\_\_

#### STAFF USE ONLY

COMMENTS DUE: **11/21**

COM DOC DUE: **11/25**

DRC MEETING: **12/3**

☐ PROPERTY APPRAISER SHEET ☐ PRIOR REVIEWS:

ZONING: **A-1**

FLU: **LDR**

LOCATION:

on the south side of Hillview Dr,  
east of S SR 434

W/S: **Altamonte Springs**

BCC: **3: Constantine**

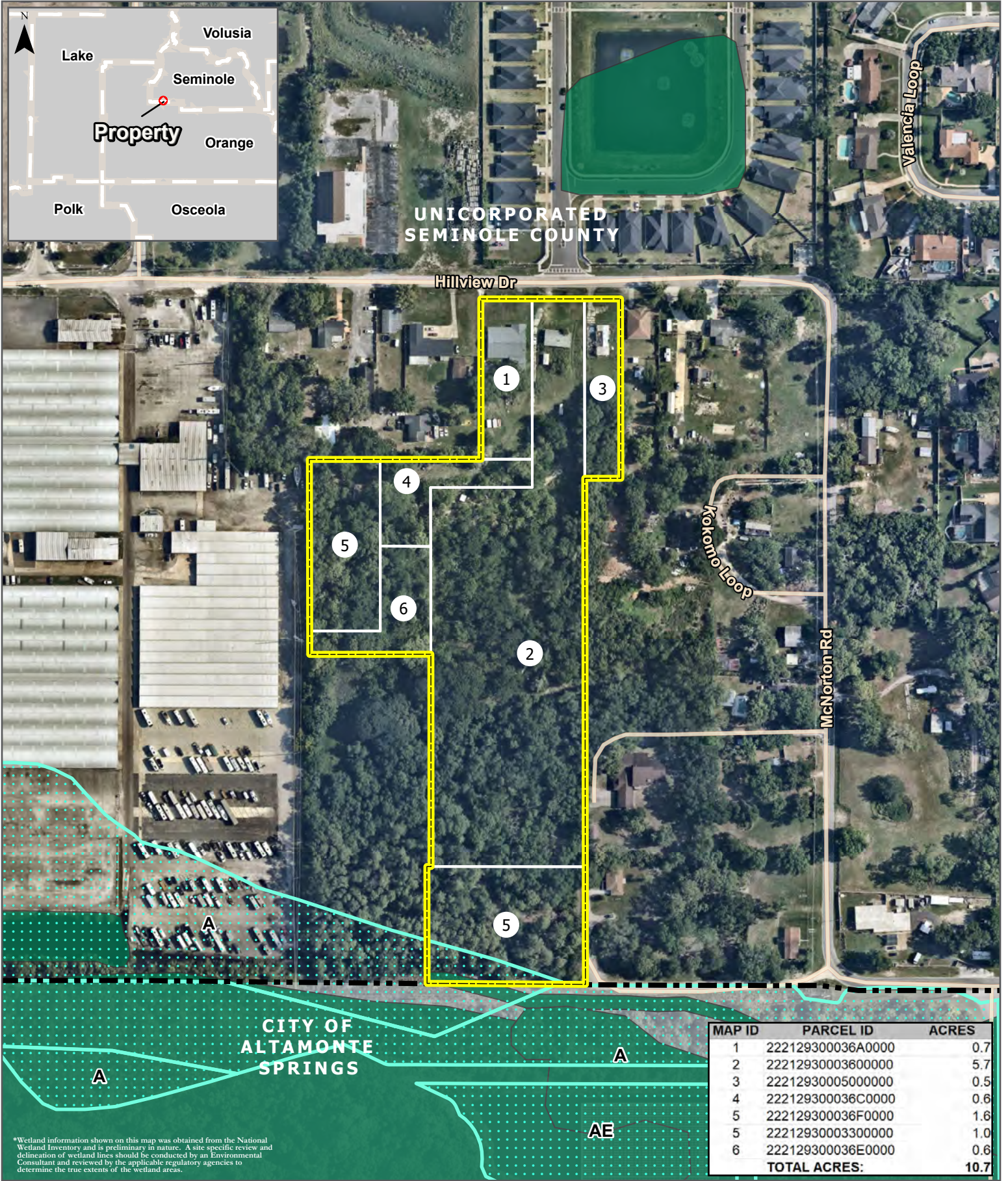
Agenda: 11/26

### **Hillview South Project Narrative:**

- The proposed project is for an approximately 70-unit residential townhouse project with 24' x 80' (min) lots. May change based on building setback requirements.
- To develop the subject property the applicant will be requesting a future land use map amendment to MDR and a rezoning to R-3A.
- A new concept is being provided for review and comment that includes the following parcels:
  - 22-21-29-300-036F-0000
  - 22-21-29-300-0500-0000
  - 22-21-29-300-036A-0000
  - 22-21-29-300-036C-0000
  - 22-21-29-300-0360-0000
  - 22-21-29-300-0330-0000
  - 22-21-29-300-036E-0000

The concept plans include the following elements:

- A minimum of 25% open space. The stormwater pond meeting the requirements of Section 30.14.2.3 (h) will be utilized as open space.
- 15' building separation between groups of townhouses.
- 25' perimeter buffers, however buffers may be decreased if not required to be 25' to add lot depth, if needed, to meet setback requirements.



\*Wetland information shown on this map was obtained from the National Wetland Inventory and is preliminary in nature. A site specific review and delineation of wetland lines should be conducted by an Environmental Consultant and reviewed by the applicable regulatory agencies to determine the true extents of the wetland areas.

Map Source: Esri, Seminole County, FL, FEMA, NWI

- Property
- Special Flood Hazard Areas Subject to Inundation by the 1% Annual Chance Flood
- Wetlands\*

2602 E. Livingston Street  
Orlando, FL 32803 Ph. 407-487-2594

## Existing Conditions

### HILLVIEW PROPERTY

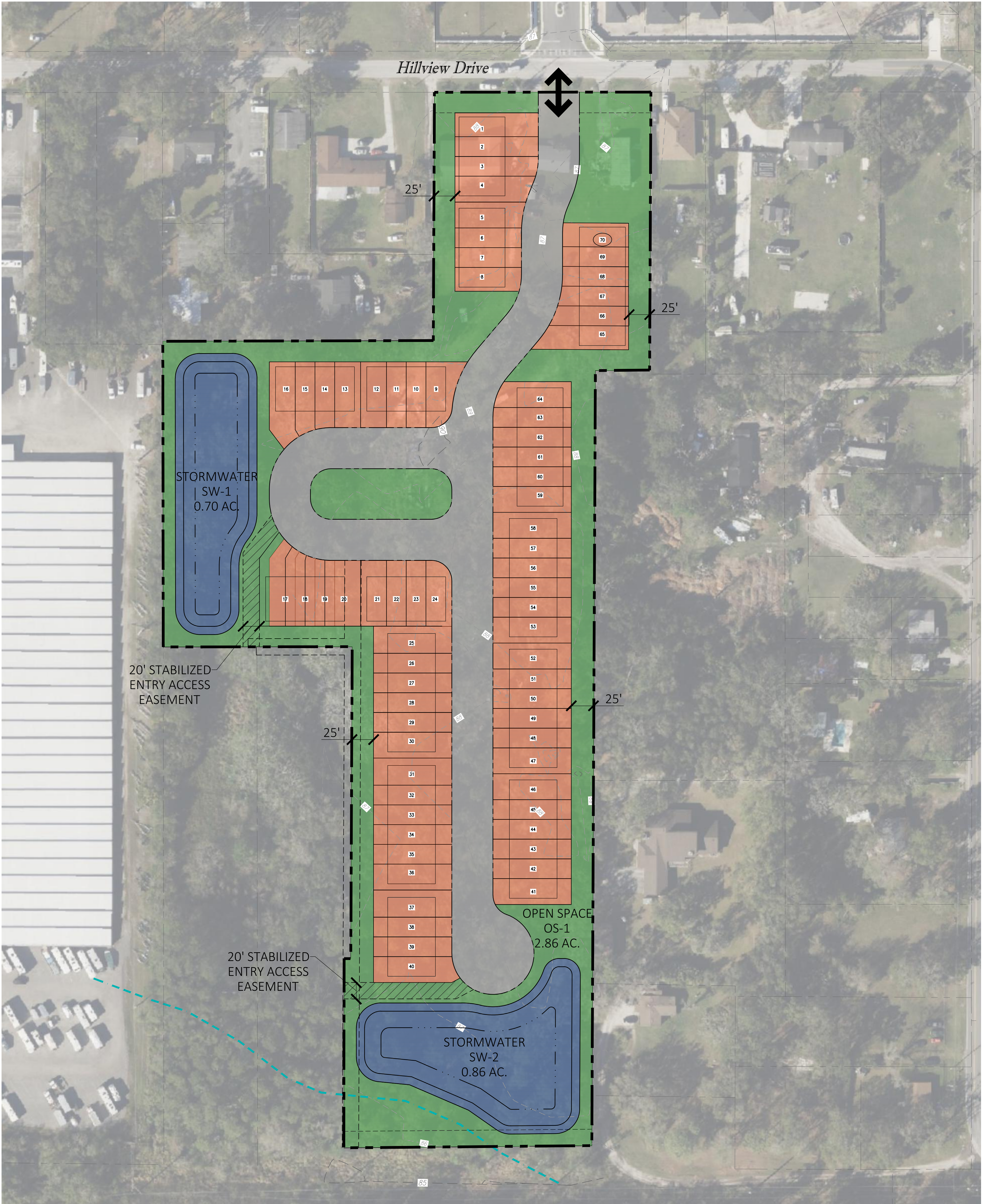
**POULOS & BENNETT**

a Pape-Dawson company

www.poulosandbennett.com  
Certificate of Authorization No. 28567



08/15/25  
P & B Job No.: 25-121



LEGEND

- Project Boundary
- 100-Year Floodplain (FEMA)
- 24' x 80' Min. Lot (Total = 70)
- Open Space
- Stormwater
- Full Access Point

TOTAL SITE AREA =	10.52 AC.
TOTAL LOTS =	4.18 AC.
TOTAL OPEN SPACE =	2.86 AC.
TOTAL STORMWATER =	1.56 AC.
TOTAL ROW =	1.92 AC.
PROPOSED DENSITY =	8.3 DU/AC. (70 UNITS/8.42 NET DEVELOPABLE AREA)

**Disclaimers:**

1. This concept plan is illustrative in nature and based on information provided by the Client. It has not been compared with the jurisdictional development standards for validation of density, stormwater calculations, roadway geometry, etc. All conceptual plans are subject to change based on final entitlements and engineering.

Concept Plan #9

**Meritage Homes - Hillview Drive**

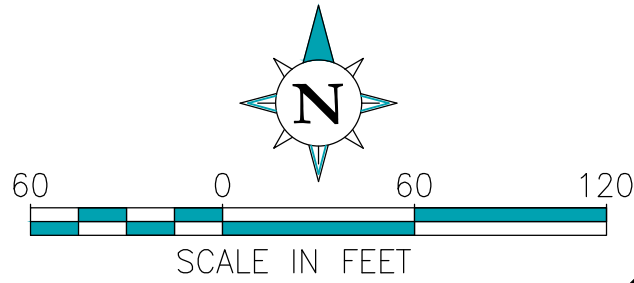
**POULOS & BENNETT**

November 7, 2025  
P & B Job No.: 25-121

2602 E. Livingston St.  
Orlando, Florida 32803- 407.487.2594

a Pape-Dawson company

www.poulosandbennett.com  
Certificate of Authorization No. 28567



**Seminole County Government  
Development Services Department  
Planning and Development Division  
Credit Card Payment Receipt**

If you have questions about your application or payment, please email us [eplandesk@seminolecountyfl.gov](mailto:eplandesk@seminolecountyfl.gov) or call us at: (407) 665-7371.

**Receipt Details**

**Date:** 11/12/2025 11:58:49 AM  
**Project:** 25-80000125  
**Credit Card Number:** 41\*\*\*\*\*4697  
**Authorization Number:** 07639G  
**Transaction Number:** 121125O10-AB9E5379-EF78-4B01-B320-6F3C323F2555  
**Total Fees Paid:** 52.50

**Fees Paid**

<b>Description</b>	<b>Amount</b>
CC CONVENIENCE FEE -- PZ	2.50
PRE APPLICATION	50.00
Total Amount	52.50