

September 7, 2025

**INDEX OF DOCUMENTS SUBMITTED BY APPLICANT IN NIKOLIC SMALL SCALE
FUTURE LAND USE DESIGNATION AMENDMENT FROM PUBLIC, QUASI-PUBLIC
TO SUBURBAN ESTATES**

(1). Agenda Packet presented as part of the agenda item submitted to the August 6, 2025 Planning and Zoning Commission). Documents which included (as designated by County Staff):

- FLU Zoning Map
- Aerial
- WRPA Consistency Form
- Attachment A- FLUMA
- Ordinance
- Community Meeting Minutes
- Community Meeting Notice
- Community Meeting Mailing List And Sign In Sheets
- Applicant Legal Analysis
- Applicant Vita Resume
- Business Of Economic Impact Statement Form

(2). Application Packet which includes, among an array of other things, a detailed analysis of contacts with agencies to address assertion that cemetery use existed (conclusions were that none did) as well as a detailed analysis of the site and historical ownership related thereto as well as determinations made by and actions taken by the Seminole County Property Appraiser.

(3). Boundary Survey (1 page).

(4). Legal Memorandum of Applicant, dated July 23, 2024 (sic, should be 2025) demonstrating legal consistency of the application to the provisions (goals, objectives and policies) of the *Seminole County Comprehensive Plan* (indeed a denial would be inconsistent with the *Seminole County Comprehensive Plan*). See file named "Applicant Legal Analysis"

(5). Chronology of Nikolic land use designation in the context of Seminole County's comprehensive planning process, dated August 20, 2025 (5 pages).

(6). Emails to Dr. Deborah Bauer of August 22, 2025 and August 26, 2025.

(7). Emails to Mr. Bill Klatt, of August 26, 2025 and September 2, 2025.

(8). Email from Mr. Mark Bartlett Ground Penetrating Radar Systems, LLC with a Statement of Qualifications consisting of 25 pages.

(9). Photos and video of September 3, 2025 and September 4, 2025.

Video to be provided by Applicant if desired

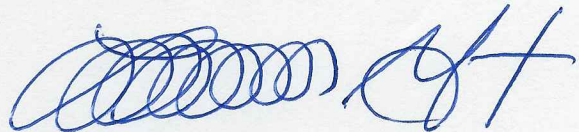
(10). Affidavit Relating To Property Evaluation of Christopher Owen Smith, dated September 4, 2025 (1 page).

(11). Affidavit Relating To Property Evaluation of John Joseph Schmitz, dated September 4, 2025 (1 page).

(12). Analysis Of Use Of Property, dated September 5, 2025 (9 pages).

(13). Affidavit Relating To Property Evaluation of Lonnie N. Groot, dated September 5, 2025 (2 pages).

This inventory of files does not include communications to and from various County staff persons or the tax deed sale file.

A handwritten signature in blue ink, consisting of a series of loops followed by a stylized 'G' and 'H'.

Lonnie N. Groot



PM: Annie

SEMINOLE COUNTY
PLANNING & DEVELOPMENT DIVISION
1101 EAST FIRST STREET, ROOM 2028
SANFORD, FLORIDA 32771
(407) 665-7371 EPLANDESK@SEMINOLECOUNTYFL.GOV

PROJ. # 24-10000001
Received & paid
12-16-24

REZONE/FUTURE LAND USE AMENDMENT

ALL INFORMATION MUST BE PROVIDED FOR APPLICATION TO BE CONSIDERED COMPLETE

APPLICATION TYPES/FEEES

- | | |
|---|--|
| <input type="checkbox"/> LARGE SCALE FUTURE LAND USE AMENDMENT ONLY (>50 ACRES) | \$400/ACRE* (\$10K MAX. FEE) |
| <input type="checkbox"/> LARGE SCALE FLU AMENDMENT <u>AND</u> REZONE (>50 ACRES) | \$400/ACRE* (\$10K MAX. FEE) + 50% OF REZONE |
| LSFLUA FEE _____ + 50% OF REZONE FEE _____ = _____ TOTAL LSFLUA AND REZONE FEE | |
| <input checked="" type="checkbox"/> SMALL SCALE FUTURE LAND USE AMENDMENT ONLY (≤50 ACRES) | \$3,500 |
| <input type="checkbox"/> SMALL SCALE FLU AMENDMENT <u>AND</u> REZONE (≤50 ACRES) | \$3,500 + 50% OF REZONE FEE |
| SSFLUA FEE \$3,500 + 50% OF REZONE FEE _____ = _____ TOTAL SSFLUA AND REZONE FEE | |
| <input type="checkbox"/> TEXT AMENDMENT (NOT ASSOCIATED WITH LAND USE AMENDMENT) | \$3,000 |
| <input type="checkbox"/> TEXT AMENDMENT (ASSOCIATED WITH LAND USE AMENDMENT) | \$1,000 |
| <input type="checkbox"/> REZONE (NON-PD)** | \$2,500 + \$75/ACRE* (\$6,500 MAX. FEE) |
| <input type="checkbox"/> PD REZONE** | |
| <input type="checkbox"/> PD REZONE | \$4,000 + \$75/ACRE* (\$10K MAX. FEE) |
| <input type="checkbox"/> PD FINAL DEVELOPMENT PLAN | \$1,000 |
| <input type="checkbox"/> PD FINAL DEVELOPMENT PLAN AS AN ENGINEERED SITE PLAN | CALCULATED BELOW |
| (TOTAL SF OF <u>NEW</u> IMPERVIOUS SURFACE AREA SUBJECT FOR REVIEW/1,000)^x x \$25 + \$2,500 = FEE DUE | |
| (TOTAL SF OF <u>NEW</u> ISA _____ /1,000 = _____)^x x \$25 + \$2,500 = FEE DUE: _____ | |
| <u>EXAMPLE</u> : 40,578 SF OF NEW ISA UNDER REVIEW = 40,578/1,000 = <u>40.58</u> x \$25 = <u>\$1,014.50</u> + \$2,500 = <u>\$3,514.50</u> | |
| <input type="checkbox"/> PD MAJOR AMENDMENT | \$4,000 + \$75/ACRE** (\$10K MAX. FEE) |
| <input type="checkbox"/> PD MINOR AMENDMENT | \$1,000 |
| <input type="checkbox"/> DEVELOPMENT OF REGIONAL IMPACT (DRI) | |
| <input type="checkbox"/> DETERMINATION OF SUBSTANTIAL DEVIATION (OR OTHER CHANGE) | \$3,500.00 |

*PER ACRE FEES ARE ROUNDED UP TO THE NEAREST FULL ACRE

**50% OF REZONE FEE IF REZONE IS CONCURRENT WITH A LAND USE AMENDMENT

^ACREAGE IS CALCULATED FOR THE AFFECTED AREA ONLY

^^ROUNDED TO 2 DECIMAL POINTS

PROJECT

PROJECT NAME:	Nikolic Future Land Use Amendment		
PARCEL ID #(S):	02-20-29-300-0130-0000		
LOCATION:	MARKHAM WOODS ROAD		
EXISTING USE(S):	VACANT	PROPOSED USE(S):	SINGLE FAMILY RESIDENTIAL
TOTAL ACREAGE:	2.533 2.60	BCC DISTRICT:	5: Herr
WATER PROVIDER:	County	SEWER PROVIDER:	County
CURRENT ZONING:	A-1	PROPOSED ZONING:	A-1
CURRENT FUTURE LAND USE:	PUB-G	PROPOSED FUTURE LAND USE:	SE

APPLICANTEPLAN PRIVILEGES: VIEW ONLY ☐ UPLOAD ☒ NONE ☐

NAME:	LONNIE GROOT		
COMPANY:	STENSTROM LAW FIRM		
ADDRESS:	300 International Parkway, Suite 100		
CITY:	LAKE MARY	STATE:	FLORIDA
ZIP:	32746		
PHONE:	386-748-3685		
EMAIL:	lgroot@stenstrom.com		

lgroot@stenstrom.com

CONSULTANTEPLAN PRIVILEGES: VIEW ONLY ☐ UPLOAD ☐ NONE ☐

NAME:	LONNIE GROOT		
COMPANY:	GROOT LAW		
ADDRESS:	3047 South Atlantic Avenue, Suite 1103		
CITY:	DAWTONA BEACH SHORES	STATE:	FLORIDA
ZIP:	32118		
PHONE:	386-748-3685		
EMAIL:	lonniegrootlawyer@gmail.com		

OWNER(S)

(INCLUDE NOTARIZED OWNER'S AUTHORIZATION FORM)

NAME(S):	Aleksandar Nikolic and Dragana Nikolic		
ADDRESS:	1111 Outlook Drive		
CITY:	DECTONA	STATE:	FLORIDA
ZIP:	32725-8344		
PHONE:	321-363-2170		
EMAIL:	anex404@gmail.com		

CONCURRENCY REVIEW MANAGEMENT SYSTEM (SELECT ONE)

☒ I elect to defer the Concurrency Review that is required by Chapter 163, Florida Statutes, per Seminole County's Comprehensive Plan for the above listed property until a point as late as Site Plan and/or Final Engineering submittals for this proposed development plan. I further specifically acknowledge that any proposed development on the subject property will be required to undergo Concurrency Review and meet all Concurrency requirements in the future. **PD Final Development Plan as an Engineered Site Plan may not defer.**

☐ I hereby declare and assert that the aforementioned proposal and property described are covered by a valid previously issued Certificate of Vesting or a prior Concurrency determination (Test Notice issued within the past two years as identified below. Please attach a copy of the Certificate of Vesting or Test Notice.)

TYPE OF CERTIFICATE**CERTIFICATE NUMBER****DATE ISSUED**

VESTING:

TEST NOTICE:

☐ Concurrency application has been submitted online and the appropriate fee is attached. I wish to encumber capacity at an early point in the development process and understand that only upon approval of the Development Order and the full payment of applicable facility reservation fees is a Certificate of Concurrency issued and entered into the Concurrency Management monitoring system.

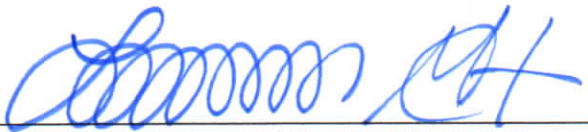
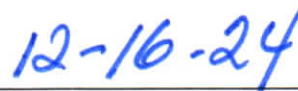
By my signature hereto, I do hereby certify that the information contained in this application is true and correct to the best of my knowledge and understand that deliberate misrepresentation of such information may be grounds for denial or reversal of the application and/or revocation of any approval based upon this application.

I hereby authorize County staff to enter upon the subject property at any reasonable time for the purposes of investigating and reviewing this request. I also hereby agree to place a public notice sign (placard), if required, on the subject property at a location(s) to be determined by County staff.

I further acknowledge that Seminole County may not defend any challenge to my proposed Future Land Use Amendment/Rezoning and related development approvals, and that it may be my sole obligation to defend any and all actions and approvals, which authorize the use or development of the subject property. Submission of this form initiates a process and does not imply approval by Seminole County or any of its boards, commissions or staff.

I further acknowledge that I have read the information contained in this application pertaining to proposed amendments to the official Zoning map, official Future Land Use map and/or Comprehensive Plan and have had sufficient opportunity to inquire with regard to matters set forth therein and, accordingly, understand all applicable procedures and matters relating to this application.

I hereby represent that I have the lawful right and authority to file this application.

**SIGNATURE OF OWNER/AUTHORIZED AGENT**(PROOF OF PROPERTY OWNER'S AUTHORIZATION IS REQUIRED
IF SIGNED BY SOMEONE OTHER THAN THE PROPERTY OWNER)**DATE**

OWNER AUTHORIZATION FORM

An authorized applicant is defined as:

- The property owner of record; or
- An agent of said property owner (power of attorney to represent and bind the property owner must be submitted with the application); or
- Contract purchase (a copy of a fully executed sales contract must be submitted with the application containing a clause or clauses allowing an application to be filed).


I, ALEKSANDAR NIKOLIC, the owner of record for the following described property (Tax/Parcel ID Number) 02-20-29-300-0130-0000 hereby designates LONNIE GROOT to act as my authorized agent for the filing of the attached application(s) for:

<input type="checkbox"/> Arbor Permit	<input type="checkbox"/> Construction Revision	<input type="checkbox"/> Final Engineering	<input type="checkbox"/> Final Plat
<input checked="" type="checkbox"/> Future Land Use	<input type="checkbox"/> Lot Split/Reconfiguration	<input type="checkbox"/> Minor Plat	<input type="checkbox"/> Special Event
<input type="checkbox"/> Preliminary Sub. Plan	<input type="checkbox"/> Site Plan	<input type="checkbox"/> Special Exception	<input type="checkbox"/> Rezone
<input type="checkbox"/> Vacate	<input type="checkbox"/> Variance	<input type="checkbox"/> Temporary Use	<input type="checkbox"/> Other (please list):

OTHER: _____

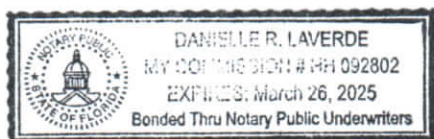
and make binding statements and commitments regarding the request(s). I certify that I have examined the attached application(s) and that all statements and diagrams submitted are true and accurate to the best of my knowledge. Further, I understand that this application, attachments, and fees become part of the Official Records of Seminole County, Florida and are not returnable.

December 16, 2024
Date


Property Owner's Signature
ALEKSANDAR NIKOLIC
Property Owner's Printed Name

STATE OF FLORIDA
COUNTY OF SEMINOLE

SWORN TO AND SUBSCRIBED before me, an officer duly authorized in the State of Florida to take acknowledgements, appeared Aleksandar Nikolic (property owner),
☒ by means of physical presence or ☐ online notarization; and ☒ who is personally known to me or ☐ who has produced _____ as identification, and who executed the foregoing instrument and sworn an oath on this 16th day of December, 2024.



Danielle R. Laverde
Notary Public

**SEMINOLE COUNTY
APPLICATION & AFFIDAVIT**

Ownership Disclosure Form

The owner of the real property associated with this application is a/an (check one):

☒ Individual

☐ Corporation

☐ Land Trust

☐ Limited Liability Company

☐ Partnership

☐ Other (describe): _____

1. List all **natural persons** who have an ownership interest in the property, which is the subject matter of this petition, by name and address.

NAME	ADDRESS	PHONE NUMBER
Aleksandar Nikolic	1111 Outlook Drive	321-363-2170
Dragana Nikolic	Deltona, Florida 32725-8344	321-363-2170

(Use additional sheets for more space)

2. For each **corporation**, list the name, address, and title of each officer; the name and address of each director of the corporation; and the name and address of each shareholder who owns two percent (2%) or more of the stock of the corporation. Shareholders need not be disclosed if a corporation's stock are traded publicly on any national stock exchange.

NAME	TITLE OR OFFICE	ADDRESS	% OF INTEREST

(Use additional sheets for more space)

3. In the case of a **trust**, list the name and address of each trustee and the name and address of the beneficiaries of the trust and the percentage of interest of each beneficiary. If any trustee or beneficiary of a trust is a corporation, please provide the information required in paragraph 2 above:

Trust Name: _____

NAME	TRUSTEE OR BENEFICIARY	ADDRESS	% OF INTEREST

(Use additional sheets for more space)

4. For **partnerships**, including limited partnerships, list the name and address of each principal in the partnership, including general or limited partners. If any partner is a corporation, please provide the information required in paragraph 2 above.

NAME	ADDRESS	% OF INTEREST

(Use additional sheets for more space)

5. For each **limited liability company**, list the name, address, and title of each manager or managing member; and the name and address of each additional member with two percent (2%) or more membership interest. If any member with two percent (2%) or more membership interest, manager, or managing member is a corporation, trust or partnership, please provide the information required in paragraphs 2, 3 and/or 4 above.

Name of LLC: _____

NAME	TITLE	ADDRESS	% OF INTEREST

(Use additional sheets for more space)

6. In the circumstances of a **contract for purchase**, list the name and address of each contract purchaser. If the purchaser is a corporation, trust, partnership, or LLC, provide the information required for those entities in paragraphs 2, 3, 4 and/or 5 above.

Name of Purchaser: _____

NAME	ADDRESS	% OF INTEREST

(Use additional sheets for more space)

Date of Contract: _____

Specify any contingency clause related to the outcome for consideration of the application: _____

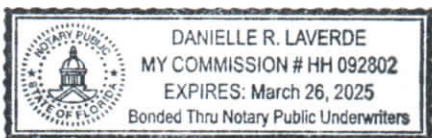
7. As to any type of owner referred to above, a change of ownership occurring subsequent to this application, shall be disclosed in writing to the Planning and Development Director prior to the date of the public hearing on the application.
8. I affirm that the above representations are true and are based upon my personal knowledge and belief after all reasonable inquiry. I understand that any failure to make mandated disclosures is grounds for the subject Rezone, Future Land Use Amendment, Special Exception, or Variance involved with this Application to become void. I certify that I am legally authorized to execute this Application and Affidavit and to bind the Applicant to the disclosures herein.

12-16-24
Date

[Signature]
Owner, Agent, Applicant Signature

**STATE OF FLORIDA
COUNTY OF SEMINOLE**

Sworn to and subscribed before me by means of ☒ physical presence or ☐ online notarization, this 16th day of December, 2024, by Aleksandar Nikolic, who is ☐ personally known to me, or ☒ has produced FL Driver License as identification.



Danielle R. Laverde
Signature of Notary Public

Danielle R. Laverde
Print, Type or Stamp Name of Notary Public

ATTACHMENT "A"

GROUND PENETRATING RADAR REPORT



JOB SUMMARY REPORT

Order Number:

Work Order #710223

Job Date:

Sep 30, 2024 12:08:00 PM

Customer:

138764 Alex Nikolic

Billing Address:

Alex Nikolic
5996 Markham Woods Road
Lake Mary FL 32746
United States

JOB DETAILS

Jobsite Location

5996 Markham Woods Road Lake Mary Florida 32746

Work Order Number

Work Order #710223

Job Number

PO Number

GPRS Project Manager:

Jamie Titherington

Thank you for using GPRS on your project. We appreciate the opportunity to work with you. If you have questions regarding the results of this scanning, please contact the lead GPRS project manager on this project.

EQUIPMENT USED

The following equipment was used on this project:

- **Underground GPR Antenna:** This GPR Antenna uses frequencies ranging from 250 MHz to 450 MHz and is mounted in a stroller frame that rolls over the surface. Data is displayed on a screen and marked in the field in real time. The surface needs to be reasonably smooth and unobstructed to obtain readable scans. Obstructions such as curbs, landscaping, and vegetation will limit the efficacy of GPR. The total effective scan depth can be as much as 8' or more with this antenna but can vary widely depending on the soil conditions and composition. Some soil types, such as clay, may limit maximum depths to 3' or less. As depth increases, targets must be larger to be detected, and non-metallic targets can be challenging to locate. The depths provided should always be treated as estimates as their accuracy can be affected by multiple factors. For more information, please visit: [Link](#)
- **EM Pipe Locator:** Electromagnetic Pipe and Cable Locator. Detects electromagnetic fields. Used to actively trace conductive pipes and tracer wires, or passively detect power and radio signals traveling along conductive pipes and utilities. For more information, please visit: [Link](#)
- **Magnetometer:** The Magnetometer detects the magnetic field of a ferromagnetic object by responding to the difference in the magnetic field between two sensors. Data is interpreted in the field by listening to changes in frequency emitted by a speaker on the device. Larger metallic objects can be located at depths of up to 10' or more, depending on the size, type, shape, and orientation of targets and the amount of interference from other objects. For more information, please visit: [Link](#)
- **GPS:** This handheld unit offers accuracy down to 4 inches; however, the accuracy achieved will depend on the satellite environment at the time of collection and is not considered survey-grade. Features can be collected as points, lines, or areas and then exported as a KML/KMZ or overlaid on a CAD drawing. For more information, please visit: [Link](#)



JOB SUMMARY REPORT

WORK PERFORMED

UNDERGROUND UTILITY

Client Provided Drawings

No

Client completed 811 locate request

No

Scope of Work

Scanning approximately 2.6 acre property adjacent to grave yard, and before county will issue any permits they are requiring GPR service to be performed to make sure that there are no graves on lot.

Large Area Scan (acres)

2.6

Approximate GPR Effective Depth (ft)

6

Utilities Located

- Unknown

Limitations Encountered

- Surface obstructions
- Not enough area to perform scan
- Area not accessible to be scanned
- Overgrown vegetation
- Other

Limitations Encountered - Other

There appeared to be a lot of trash scattered throughout the property that also affected out GPR data.

Obstructions Encountered

Any railroad ties along drive way, fences, scattered trash, or heavily wooded areas/brush overgrowth.

Marking Medium

- Spray Paint

Results Notes

-We scanned all accessible areas within the work scope and along the perimeter with GPR. We swept the work area with the RD on both passive modes, power and radio.

-Based on the accessible areas of the property we could scan, we did not find any graves within the property. We did however find an Area-of-concern just off the property along the driveway south of the property. This Area-of-Concern could not be confirmed as a grave. Area was marked with minimal paint for our records and the removed after completion. Understand we cannot scan within 2' of all obstructions. We advise to stay 12" from all markings.

-Note some lines are not traceable without direct tie-ons. Note we do not replace 811.

-Understand we have a 1" to 1' diameter limitation.

-Understand our max depth of 6' does not indicate that we could see this deep throughout the entire work area and our visibility is more limited depending on: the quantity, depths and solidity of objects within the soil. Moisture can also affect our visibility and readings of line depth.

-All findings were explained to site contact and understood our limitations.

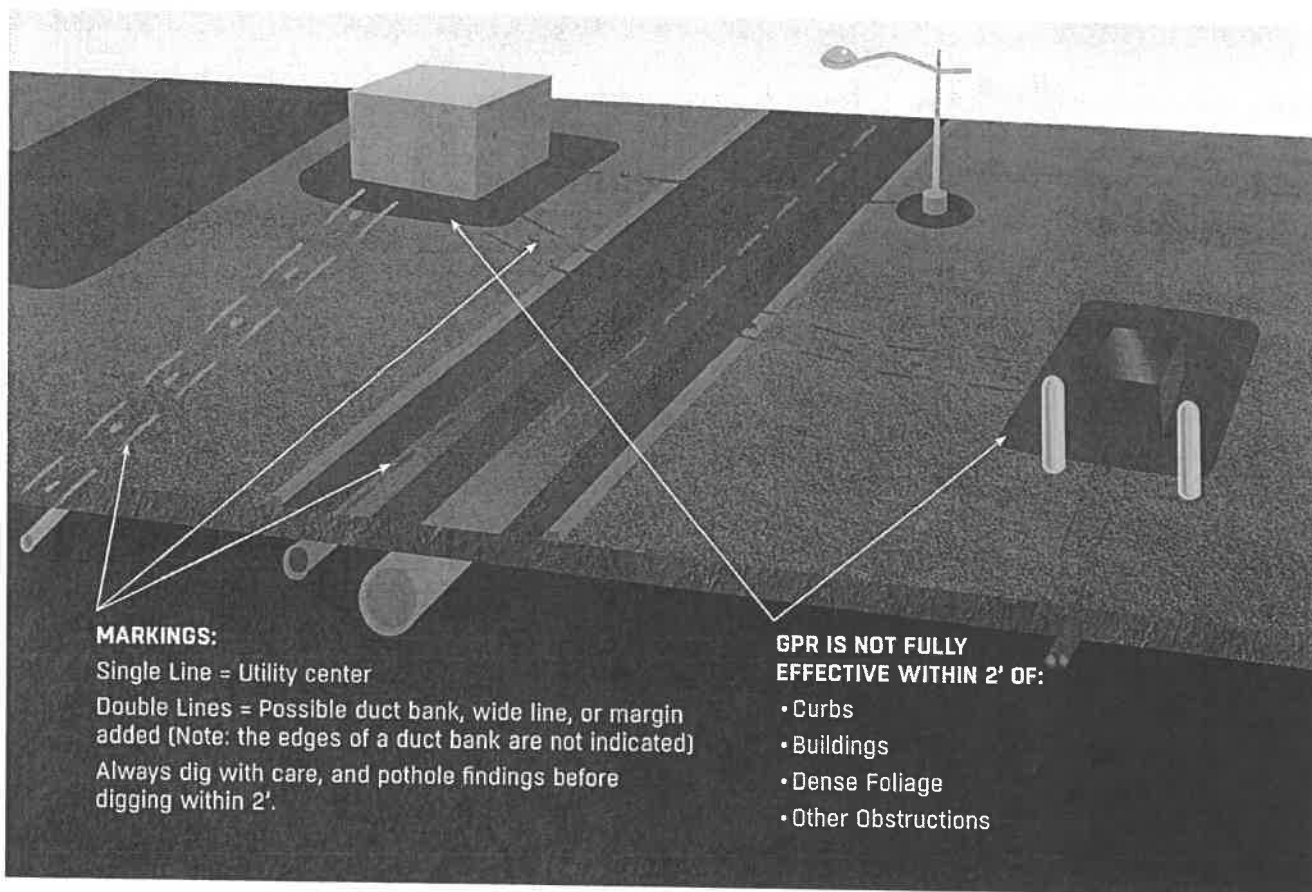


JOB SUMMARY REPORT

SUPPLEMENTAL INFORMATION

COMMON UTILITY LOCATING LIMITATIONS

There are many limitations to locating utilities, due to a variety of factors, with several more common examples illustrated here.





JOB SUMMARY REPORT

JOB SITE IMAGES



Jobsite Photo #1



Jobsite Photo #2



JOB SUMMARY REPORT



Jobsite Photo #3



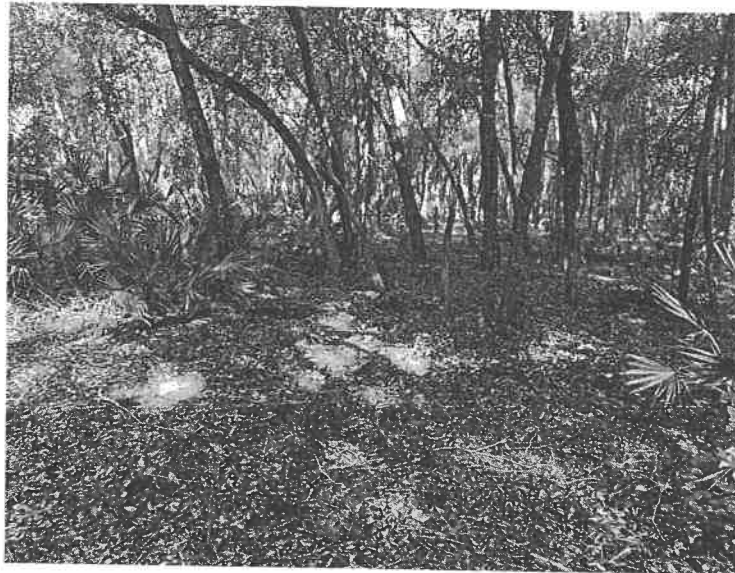
Jobsite Photo #4



JOB SUMMARY REPORT



Jobsite Photo #5



Jobsite Photo #6



JOB SUMMARY REPORT



Jobsite Photo #7



Jobsite Photo #8



JOB SUMMARY REPORT



Jobsite Photo #9



Jobsite Photo #10



Jobsite Photo #11



JOB SUMMARY REPORT

CONTACT / SIGNATURE INFORMATION

SIGNATURE

Via
phone

Contact Information

Contact Name Alex Nikolic

Email

anex4040@gmail.com

TERMS & CONDITIONS

<http://www.gprsinc.com/termsandconditions.html>

ATTACHMENT "B"

COMMUNICATIONS

Lonnie Groot

From: Lonnie Groot
Sent: Friday, November 8, 2024 7:26 AM
To: Beamon, Serita D.
Subject: RESEND CORRECTED: Property Formerly Owned By Seminole County School District; Request For Information
Attachments: SCPA Sheet 1.pdf; SCPA Map 2.pdf; Job Summary Report - JSR-193129_(20241003_1806).pdf; 710223_Alex Nikolic_UNKNOWN_20241011_jamie.titherington_Alex Nikolic - Markham Woods_LinesOnly.pdf

"I am different from [George] Washington; I have a higher, grander standard of principle. Washington could not lie. I can lie, but I won't." — Mark Twain

THIS TRANSMISSION MAY BE ATTORNEY CLIENT PRIVILEGED

Serita:

First, I hope that all is well with you and that you are enjoying life and your job of many challenges.

I write to you to request that you ask your staff to look into the prior ownership of a parcel of property located on Markham Woods Road.

The first PDF that I attach for reference is the Seminole County Property Appraiser data sheet relating to the subject parcel which is now owned by our clients, Aleksandar and Dragana Nikolic. The second PDF is a map of the area showing the property which is labeled "Missionary Baptist Cemetery" which is located, as will be noted, across the street from Markham Woods Middle School and Heathrow Elementary School. The next to last PDF is a report procured by our clients which shows that there are no graves on the site. The last PDF is an aerial photograph of the subject property.

We are working with Seminole County Planning Staff and they recommended that we contact the School District to determine if there are any files relating to the property in your offices as, it is understood, that the School District previously owned the property now owned by our clients.

Thus, I am requesting that you ask your staff to review the files of the School District in an effort to find any files that relate to the property.

As always, your kind attention to this matter will be greatly appreciated.

Thank you for your attention to this matter.

Please call me ANYTIME at the office (407-322-2171) or at my cell phone (386-748-3685). I answer my cell phone 24 hours a day. If long distance, the office's toll free number is 800-247-5225. My e-mail address is lgroot@stenstrom.com

I look forward to seeing you.

Lonnie Groot

Lonnie Groot

From: Lonnie Groot
Sent: Friday, November 8, 2024 7:34 AM
To: info@fpan.us
Subject: Property Located In Seminole County; Markham Woods Road; Request For Information
Attachments: SCPA Sheet 1.pdf; SCPA Map 2.pdf; Job Summary Report - JSR-193129_(20241003_1806).pdf; 710223_Alex Nikolic_UNKNOWN_20241011_jamie.titherington_Alex Nikolic - Markham Woods_LinesOnly.pdf

"I am different from [George] Washington; I have a higher, grander standard of principle. Washington could not lie. I can lie, but I won't." — Mark Twain

THIS TRANSMISSION MAY BE ATTORNEY CLIENT PRIVILEGED

Dear Friends at the Florida Public Archaeology Network:

First, I hope that all is well with you and the University of West Florida as you all fulfill your most important mission.

I write to you to request that you look into whether property located on Markham Woods Road in Seminole County is shown in any historical records to be a former cemetery. We think that it was not used as a cemetery, but we are working with Seminole County Planning Staff and they recommended that we contact your offices to determine if there are any files relating to the property that you all may be maintaining.

I provide you with several attached documents that I hope will assist you in your efforts.

The first PDF that I attach for reference is the Seminole County Property Appraiser data sheet relating to the subject parcel which is now owned by our clients, Aleksandar and Dragana Nikolic. The second PDF is a map of the area showing the property which is labeled "Missionary Baptist Cemetery" which reference cannot be explained by anyone at the County or otherwise, particularly in view of the fact that it is believed that the property was once owned by the Seminole County School District. The next to last PDF is a report procured by our clients which shows that there are no graves on the site. The last PDF is an aerial photograph of the subject property.

Thus, we are requesting that you review the files of your offices in an effort to find any files that relate to the property.

Your kind attention to this matter will be greatly appreciated.

Our clients merely desire to build a home or a homes on the 2.6-acre tract. The information that you provide will be of great help and assistance in that regard.

Thank you for your attention to this matter.

Please call me ANYTIME at the office (407-322-2171) or at my cell phone (386-748-3685). I answer my cell phone 24 hours a day. If long distance, the office's toll free number is 800-247-5225. My e-mail address is lgroot@stenstrom.com

I look forward to seeing you.

Lonnie Groot

Lonnie Groot

From: Lonnie Groot
Sent: Friday, November 8, 2024 7:48 AM
To: bcnteam@blackcemeterynetwork.org
Subject: Property Located In Seminole County; Markham Woods Road; Request For Information
Attachments: SCPA Sheet 1.pdf; SCPA Map 2.pdf; Job Summary Report - JSR-193129_(20241003_1806).pdf; 710223_Alex Nikolic_UNKNOWN_20241011_jamie.titherington_Alex Nikolic - Markham Woods_LinesOnly.pdf

"I am different from [George] Washington; I have a higher, grander standard of principle. Washington could not lie. I can lie, but I won't." — Mark Twain

THIS TRANSMISSION MAY BE ATTORNEY CLIENT PRIVILEGED

Dear BCN Team:

First, I hope that all is well with you and yours.

I write to you to request that you look into whether property located on Markham Woods Road in Seminole County is shown in any historical records to be a former cemetery. We think that it was not used as a cemetery, but we are working with Seminole County Planning Staff to determine if there are any files relating to the property that you all may be maintaining.

I provide you with several attached documents that I hope will assist you in your efforts.

The first PDF that I attach for reference is the Seminole County Property Appraiser data sheet relating to the subject parcel which is now owned by our clients, Aleksandar and Dragana Nikolic. The second PDF is a map of the area showing the property which is labeled "Missionary Baptist Cemetery" which reference cannot be explained by anyone at the County or otherwise, particularly in view of the fact that it is believed that the property was once owned by the Seminole County School District. The next to last PDF is a report procured by our clients which shows that there are no graves on the site. The last PDF is an aerial photograph of the subject property.

Thus, we are requesting that you review the files of your offices in an effort to find any files that relate to the property.

Your kind attention to this matter will be greatly appreciated.

Our clients merely desire to build a home or a homes on the 2.6-acre tract. The information that you provide will be of great help and assistance in that regard.

Thank you for your attention to this matter.

Please call me ANYTIME at the office (407-322-2171) or at my cell phone (386-748-3685). I answer my cell phone 24 hours a day. If long distance, the office's toll free number is 800-247-5225. My e-mail address is lgroot@stenstrom.com

I look forward to seeing you.

Lonnie Groot

Lonnie Groot

From: Lonnie Groot
Sent: Friday, November 8, 2024 7:40 AM
To: SiteFile@dos.myflorida.com
Subject: Property Located In Seminole County; Markham Woods Road; Request For Information
Attachments: SCPA Sheet 1.pdf; SCPA Map 2.pdf; Job Summary Report - JSR-193129_(20241003_1806).pdf; 710223_Alex Nikolic_UNKNOWN_20241011_jamie.titherington_Alex Nikolic - Markham Woods_LinesOnly.pdf

"I am different from [George] Washington; I have a higher, grander standard of principle. Washington could not lie. I can lie, but I won't." — Mark Twain

THIS TRANSMISSION MAY BE ATTORNEY CLIENT PRIVILEGED

Dear Friends at the Florida Department of State:

First, I hope that all is well with you and yours.

I write to you to request that you look into whether property located on Markham Woods Road in Seminole County is shown in any historical records to be a former cemetery. We think that it was not used as a cemetery, but we are working with Seminole County Planning Staff and they recommended that we contact your offices to determine if there are any files relating to the property that you all may be maintaining.

I provide you with several attached documents that I hope will assist you in your efforts.

The first PDF that I attach for reference is the Seminole County Property Appraiser data sheet relating to the subject parcel which is now owned by our clients, Aleksandar and Dragana Nikolic. The second PDF is a map of the area showing the property which is labeled "Missionary Baptist Cemetery" which reference cannot be explained by anyone at the County or otherwise, particularly in view of the fact that it is believed that the property was once owned by the Seminole County School District. The next to last PDF is a report procured by our clients which shows that there are no graves on the site. The last PDF is an aerial photograph of the subject property.

Thus, we are requesting that you review the files of your offices in an effort to find any files that relate to the property.

Your kind attention to this matter will be greatly appreciated.

Our clients merely desire to build a home or a homes on the 2.6-acre tract. The information that you provide will be of great help and assistance in that regard.

Thank you for your attention to this matter.

Please call me ANYTIME at the office (407-322-2171) or at my cell phone (386-748-3685). I answer my cell phone 24 hours a day. If long distance, the office's toll free number is 800-247-5225. My e-mail address is lgroot@stenstrom.com

I look forward to seeing you.

Lonnie Groot

Lonnie Groot

From: Lonnie Groot
Sent: Friday, November 8, 2024 7:53 AM
To: Patrisha.Meyers@dos.fl.gov
Subject: Property Located In Seminole County; Markham Woods Road; Request For Information
Attachments: SCPA Sheet 1.pdf; SCPA Map 2.pdf; Job Summary Report - JSR-193129_(20241003_1806).pdf; 710223_Alex Nikolic_UNKNOWN_20241011_jamie.titherington_Alex Nikolic - Markham Woods_LinesOnly.pdf

"I am different from [George] Washington; I have a higher, grander standard of principle. Washington could not lie. I can lie, but I won't." — Mark Twain

THIS TRANSMISSION MAY BE ATTORNEY CLIENT PRIVILEGED

Ms. Meyers:

First, I hope that all is well with you and yours.

I write to you to request that you look into the records of the Historic Cemeteries Program Advisory Council as to whether property located on Markham Woods Road in Seminole County is shown in any historical records to be a former cemetery. We think that it was not used as a cemetery, but we are working with Seminole County Planning Staff to determine if there are any files relating to the property that you all may be maintaining.

I provide you with several attached documents that I hope will assist you in your efforts.

The first PDF that I attach for reference is the Seminole County Property Appraiser data sheet relating to the subject parcel which is now owned by our clients, Aleksandar and Dragana Nikolic. The second PDF is a map of the area showing the property which is labeled "Missionary Baptist Cemetery" which reference cannot be explained by anyone at the County or otherwise, particularly in view of the fact that it is believed that the property was once owned by the Seminole County School District. The next to last PDF is a report procured by our clients which shows that there are no graves on the site. The last PDF is an aerial photograph of the subject property.

Thus, we are requesting that you review the files of your offices in an effort to find any files that relate to the property.

Your kind attention to this matter will be greatly appreciated.

Our clients merely desire to build a home or a homes on the 2.6-acre tract. The information that you provide will be of great help and assistance in that regard.

Thank you for your attention to this matter.

Please call me ANYTIME at the office (407-322-2171) or at my cell phone (386-748-3685). I answer my cell phone 24 hours a day. If long distance, the office's toll free number is 800-247-5225. My e-mail address is lgroot@stenstrom.com

I look forward to seeing you.

Lonnie Groot

Lonnie Groot

From: Fowler, Christopher G. <Christopher.Fowler@dos.fl.gov>
Sent: Friday, November 8, 2024 9:15 AM
To: Lonnie Groot
Subject: RE: Property Located In Seminole County; Markham Woods Road; Request For Information
Attachments: map.pdf

Good morning,

I searched the parcel you indicated. There are no previously recorded resources within the search area. I attached



a map for your reference. Neither the cemetery or the church are recorded. Please note a cultural resource survey has not been performed in the area since 2001. Let me know if you have any questions. Have a great day and a nice weekend.

This record search is for informational purposes only and does NOT constitute a project review. This search only identifies resources recorded at the Florida Master Site File and does NOT provide project approval from the Division of Historical Resources. Contact the Compliance and Review Section of the Division of Historical Resources at 850-245-6333 for project review information.

Kind regards,

CHRIS FOWLER

Assistant Supervisor | Florida Master Site File | Bureau of Historic Preservation | Division of Historical Resources |
Florida Department of State | 500 South Bronough Street | Tallahassee, Florida
32399 | 850.245.6327 | 1.800.847.7278 | Fax: 850.245.6439 | flheritage.com

From: Lonnie Groot <lgroot@stenstrom.com>
Sent: Friday, November 8, 2024 7:40 AM
To: FMSFILE <FMSFILE@dos.myflorida.com>
Subject: Property Located In Seminole County; Markham Woods Road; Request For Information

EMAIL RECEIVED FROM EXTERNAL SOURCE

The attachments/links in this message have been scanned by Proofpoint.

"I am different from [George] Washington; I have a higher, grander standard of principle. Washington could not lie. I can lie, but I won't." — Mark Twain

THIS TRANSMISSION MAY BE ATTORNEY CLIENT PRIVILEGED

Dear Friends at the Florida Department of State:

First, I hope that all is well with you and yours.

I write to you to request that you look into whether property located on Markham Woods Road in Seminole County is shown in any historical records to be a former cemetery. We think that it was not used as a cemetery, but we are working with Seminole County Planning Staff and they recommended that we contact your offices to determine if there are any files relating to the property that you all may be maintaining.

I provide you with several attached documents that I hope will assist you in your efforts.

The first PDF that I attach for reference is the Seminole County Property Appraiser data sheet relating to the subject parcel which is now owned by our clients, Aleksandar and Dragana Nikolic. The second PDF is a map of the area showing the property which is labeled "Missionary Baptist Cemetery" which reference cannot be explained by anyone at the County or otherwise, particularly in view of the fact that it is believed that the property was once owned by the Seminole County School District. The next to last PDF is a report procured by our clients which shows that there are no graves on the site. The last PDF is an aerial photograph of the subject property.

Thus, we are requesting that you review the files of your offices in an effort to find any files that relate to the property.

Your kind attention to this matter will be greatly appreciated.

Our clients merely desire to build a home or a homes on the 2.6-acre tract. The information that you provide will be of great help and assistance in that regard.

Thank you for your attention to this matter.

Please call me ANYTIME at the office (407-322-2171) or at my cell phone (386-748-3685). I answer my cell phone 24 hours a day. If long distance, the office's toll free number is 800-247-5225. My e-mail address is lgroot@stenstrom.com

I look forward to seeing you.

Lonnie Groot

Lonnie Groot

From: Lonnie Groot
Sent: Friday, November 8, 2024 7:57 AM
To: archaeology@dos.myflorida.com
Subject: Property Located In Seminole County; Markham Woods Road; Request For Information
Attachments: SCPA Sheet 1.pdf; SCPA Map 2.pdf; Job Summary Report - JSR-193129_(20241003_1806).pdf; 710223_Alex Nikolic_UNKNOWN_20241011_jamie.titherington_Alex Nikolic - Markham Woods_LinesOnly.pdf

"I am different from [George] Washington; I have a higher, grander standard of principle. Washington could not lie. I can lie, but I won't." — Mark Twain

THIS TRANSMISSION MAY BE ATTORNEY CLIENT PRIVILEGED

Dear Friends:

First, I hope that all is well with you and yours.

I write to you to request that you look into whether property located on Markham Woods Road in Seminole County is shown in any historical records to be a former cemetery. We think that it was not used as a cemetery, but we are working with Seminole County Planning Staff to determine if there are any files relating to the property that you all may be maintaining.

I provide you with several attached documents that I hope will assist you in your efforts.

The first PDF that I attach for reference is the Seminole County Property Appraiser data sheet relating to the subject parcel which is now owned by our clients, Aleksandar and Dragana Nikolic. The second PDF is a map of the area showing the property which is labeled "Missionary Baptist Cemetery" which reference cannot be explained by anyone at the County or otherwise, particularly in view of the fact that it is believed that the property was once owned by the Seminole County School District. The next to last PDF is a report procured by our clients which shows that there are no graves on the site. The last PDF is an aerial photograph of the subject property.

Thus, we are requesting that you review the files of your offices in an effort to find any files that relate to the property.

Your kind attention to this matter will be greatly appreciated.

Our clients merely desire to build a home or a homes on the 2.6-acre tract. The information that you provide will be of great help and assistance in that regard.

Thank you for your attention to this matter.

Please call me ANYTIME at the office (407-322-2171) or at my cell phone (386-748-3685). I answer my cell phone 24 hours a day. If long distance, the office's toll free number is 800-247-5225. My e-mail address is lgroot@stenstrom.com

I look forward to seeing you.

Lonnie Groot

407-320-0006, Office

407-320-0281, Fax

Visit the Seminole County Public Schools Website

<https://www.scps.k12.fl.us>

Student Assignment & Program Access Department

<https://www.scps.k12.fl.us/district/departments/assignment-access/>

[Florida has a very broad Public Records Law. Virtually all written communications to or from School District Personnel are public records available to the public and media upon request. E-mail sent or received on the School District system will be considered public and will only be withheld from disclosure if deemed confidential pursuant to State Law.]



www.speakouthotline.org

From: Lonnie Groot <lgroot@stenstrom.com>

Sent: Friday, November 8, 2024 7:12 AM

To: Beamon, Serita D. <serita_beamon@scps.k12.fl.us>

Subject: Property Formerly Owned By Seminole County School District; Request For Information

⚠ CAUTION: This email originated from outside of Seminole County Public Schools.

Do not click links or open attachments unless you know the content is safe!

"I am different from [George] Washington; I have a higher, grander standard of principle. Washington could not lie. I can lie, but I won't." — Mark Twain

THIS TRANSMISSION MAY BE ATTORNEY CLIENT PRIVILEGED

Serita:

First, I hope that all is well with you and that you are enjoying life and your job of many challenges.

I write to you to request that you ask your staff to look into the prior ownership of a parcel of property located on Markham Woods Road.

The first PDF that I attach for reference is the Seminole County Property Appraiser data sheet relating to the subject parcel which is now owned by our clients, Aleksandar and Dragana Nikolic. The second PDF is a map of the area showing the property which is labeled "Missionary Baptist Cemetery" which is located, as will be noted, across the street from Markham Woods Middle School and Heathrow Elementary School. The last PDF is a report procured by our clients which shows that there are no graves on the site. The last PDF is an aerial photograph of the subject property.

We are working with Seminole County Planning Staff and they recommended that we contact the School District to determine if there are any files relating to the property in your offices as, it is understood, that the School District previously owned the property now owned by our clients..

Thus, I am requesting that you ask your staff to review the files of the School District in an effort to find any files that relate to the property.

As always, your kind attention to this matter will be greatly appreciated.

Thank you for your attention to this matter.

Please call me ANYTIME at the office (407-322-2171) or at my cell phone (386-748-3685). I answer my cell phone 24 hours a day. If long distance, the office's toll free number is 800-247-5225. My e-mail address is lgroot@stenstrom.com

I look forward to seeing you.

Lonnie Groot

From: Lonnie Groot
Sent: Friday, November 15, 2024 4:38 PM
To: cindy.price@equitable.com
Subject: 2013 Tax Deed
Attachments: 2013 Tax Deed.pdf

"I am different from [George] Washington; I have a higher, grander standard of principle. Washington could not lie. I can lie, but I won't." — Mark Twain

THIS TRANSMISSION MAY BE ATTORNEY CLIENT PRIVILEGED

Cindy:

First, I hope that all is well with you.

Please note the attached.

I know that Price Estates, LLC is now dissolved. I am consulting you regarding property associated with the 2013 Tax Deed which is attached.

We represent the couple that purchased the property from Price Estates, LLC – Mr. and Mrs. Nikolic.

We have no issue with the sale at all. We are just trying to determine if you have any information about the property actually being used as a cemetery. We think that it has not been and we had a technical search done of the lands which showed no gravesites. It might be helpful, however, if you also had no knowledge of any graves on the site. Can you assist us in that regard?

Thank you for your attention to this matter.

Please call me ANYTIME at the office (407-322-2171) or at my cell phone (386-748-3685). I answer my cell phone 24 hours a day. If long distance, the office's toll free number is 800-247-5225. My e-mail address is lgroot@stenstrom.com

I look forward to seeing you.

Lonnie Groot

Lonnie N. Groot, Esquire
Stenstrom, McIntosh, Colbert & Whigham, P.A.
300 International Parkway, Suite 100
Lake Mary, Florida 32746

Lonnie Groot

From: Lonnie Groot
Sent: Friday, November 15, 2024 4:51 PM
To: Juli Vandehey
Cc: Jessica Day; Tamarsh Cooper
Subject: RE: 2013 Tax Deed File

Juli:

Thanks for the prompt response.

Carpe diem and have a great weekend.

Lonnie

From: Juli Vandehey <Juli.Vandehey@SeminoleCounty.tax>
Sent: Friday, November 15, 2024 4:41 PM
To: Jessica Day <Jessica.Day@SeminoleCounty.tax>; Lonnie Groot <lgroot@stenstrom.com>
Cc: Tamarsh Cooper <Tamarsh.Cooper@SeminoleCounty.tax>
Subject: Re: 2013 Tax Deed File

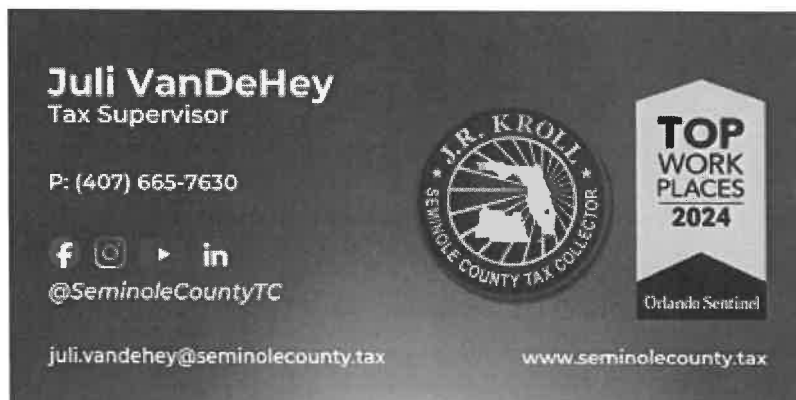
Good Evening Mr. Groot,

The tax deed 2013-1417 file was turned over to the Seminole County Clerk of Courts Office in 2016. You will want to reach out to the Seminole County Clerk of Courts Records Office for this file as they are the official record keeper of tax deed sales.

Kindest Regards,

Juli
Seminole County Delinquent Tax Department

Your feedback drives us forward! Click here to leave your Google Review.



CONFIDENTIALITY NOTICE: If the word "EXEMPT" or "CONFIDENTIAL" appears in this message line, this message and any attachments are for the sole use of the intended recipient(s) and may contain confidential and privileged information that is exempt from public disclosure. Any unauthorized review, use, disclosure, or distribution is prohibited. If you have received this message in error please contact the sender (by phone or reply electronic mail) and then destroy all copies of the original message.

PLEASE NOTE: Florida has a very broad public records law (F. S. 119). All e-mails to and from County Officials are kept as a public record.

Your e-mail communications, including your e-mail address may be disclosed to the public and media at any time.

>>> Lonnie Groot <lgroot@stenstrom.com> 11/15/2024 4:29 PM >>>

"I am different from [George] Washington; I have a higher, grander standard of principle. Washington could not lie. I can lie, but I won't." — Mark Twain

THIS TRANSMISSION MAY BE ATTORNEY CLIENT PRIVILEGED

Jessica:

First, I hope that all is well with you.

Please note the attached.

Who would have the file from this 2013 tax deed sale involving the attached Tax Deed?

Thank you for your attention to this matter.

Please call me ANYTIME at the office (407-322-2171) or at my cell phone (386-748-3685). I answer my cell phone 24 hours a day. If long distance, the office's toll free number is 800-247-5225. My e-mail address is lgroot@stenstrom.com

I look forward to seeing you.

Lonnie Groot

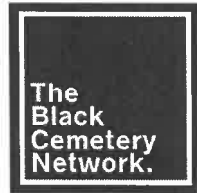
Lonnie Groot

From: BCN Team <bcnteam@blackcemeterynetwork.org>
Sent: Friday, November 15, 2024 5:18 PM
To: Lonnie Groot
Subject: Re: Property Located In Seminole County; Markham Woods Road; Request For Information

Hello Lonnie,

Thank you for reaching out to the Black Cemetery Network. We appreciate your commitment in preserving and protecting Black cemeteries. Unfortunately the services you're requesting fall a bit outside the scope of what the BCN is currently able to offer. We do not have information on this cemetery because sites included in the archive are those which have been submitted by individuals and organizations which are currently working to preserve black cemeteries and sacred spaces across the country.. Have you tried reaching out to the Historic Preservation Office in your state also? To contact your state office, please refer to this page on the NPS website: [National Park Service State Historic Preservation Offices](#). Your state and county should have access to the archival data to guide you in your research. Please let us know if you have any further questions and keep us updated about your site! Thank you for the support!

Best,
Alanah C.
- **The BCN Team**



#BLACKGRAVESMATTER

On Fri, Nov 8, 2024 at 7:48 AM Lonnie Groot <lgroot@stenstrom.com> wrote:

"I am different from [George] Washington; I have a higher, grander standard of principle. Washington could not lie. I can lie, but I won't." — Mark Twain

THIS TRANSMISSION MAY BE ATTORNEY CLIENT PRIVILEGED

Dear BCN Team:

First, I hope that all is well with you and yours.

I write to you to request that you look into whether property located on Markham Woods Road in Seminole County is shown in any historical records to be a former cemetery. We think that it was not used as a cemetery, but we are working with Seminole County Planning Staff to determine if there are any files relating to the property that you all may be maintaining.

I provide you with several attached documents that I hope will assist you in your efforts.

The first PDF that I attach for reference is the Seminole County Property Appraiser data sheet relating to the subject parcel which is now owned by our clients, Aleksandar and Dragana Nikolic. The second PDF is a map of the area showing the property which is labeled "Missionary Baptist Cemetery" which reference cannot be explained by anyone at the County or otherwise, particularly in view of the fact that it is believed that the property was once owned by the Seminole County School District. The next to last PDF is a report procured by our clients which shows that there are no graves on the site. The last PDF is an aerial photograph of the subject property.

Thus, we are requesting that you review the files of your offices in an effort to find any files that relate to the property.

Your kind attention to this matter will be greatly appreciated.

Our clients merely desire to build a home or a homes on the 2.6-acre tract. The information that you provide will be of great help and assistance in that regard.

Thank you for your attention to this matter.

Please call me ANYTIME at the office (407-322-2171) or at my cell phone (386-748-3685). I answer my cell phone 24 hours a day. If long distance, the office's toll free number is 800-247-5225. My e-mail address is lgroot@stenstrom.com

I look forward to seeing you.

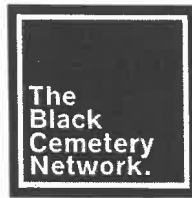
Lonnie Groot

From: BCN Team <bcnteam@blackcemeterynetwork.org>
Sent: Friday, November 15, 2024 5:18 PM
To: Lonnie Groot
Subject: Re: Property Located In Seminole County; Markham Woods Road; Request For Information

Hello Lonnie,

Thank you for reaching out to the Black Cemetery Network. We appreciate your commitment in preserving and protecting Black cemeteries. Unfortunately the services you're requesting fall a bit outside the scope of what the BCN is currently able to offer. We do not have information on this cemetery because sites included in the archive are those which have been submitted by individuals and organizations which are currently working to preserve black cemeteries and sacred spaces across the country.. Have you tried reaching out to the Historic Preservation Office in your state also? To contact your state office, please refer to this page on the NPS website: [National Park Service State Historic Preservation Offices](#). Your state and county should have access to the archival data to guide you in your research. Please let us know if you have any further questions and keep us updated about your site! Thank you for the support!

Best,
Alanah C.
- The BCN Team



#BLACKGRAVESMATTER

On Fri, Nov 8, 2024 at 7:48 AM Lonnie Groot <lgroot@stenstrom.com> wrote:

"I am different from [George] Washington; I have a higher, grander standard of principle. Washington could not lie. I can lie, but I won't." — Mark Twain

THIS TRANSMISSION MAY BE ATTORNEY CLIENT PRIVILEGED

Dear BCN Team:

Lonnie Groot

From: Ford, Joy E. <joy_ford@scps.k12.fl.us>
Sent: Tuesday, November 19, 2024 4:31 AM
To: Lonnie Groot
Subject: Re: Property Formerly Owned By Seminole County School District; Request For Information

Good morning Lonnie. After reviewing all available records on the Heathrow / Markham Woods Middle site, I was unable to find any information on ever owning the parcel in question. Any additional information that you can provide to prove otherwise would be greatly appreciated.

Joy

[Get Outlook for iOS](#)

From: Lonnie Groot <lgroot@stenstrom.com>
Sent: Monday, November 18, 2024 6:04:10 PM
To: Ford, Joy E. <joy_ford@scps.k12.fl.us>
Subject: RE: Property Formerly Owned By Seminole County School District; Request For Information

You don't often get email from lgroot@stenstrom.com. [Learn why this is important](#)

 **CAUTION:** This email originated from outside of Seminole County Public Schools.

Do not click links or open attachments unless you know the content is safe!

Joy:

Please let me know if I can provide you with any further information.

Thanks,

Lonnie

From: Ford, Joy E. <joy_ford@scps.k12.fl.us>
Sent: Tuesday, November 12, 2024 6:45 PM
To: Lonnie Groot <lgroot@stenstrom.com>
Subject: Automatic reply: Property Formerly Owned By Seminole County School District; Request For Information

Hello and thank you for contacting Seminole County Public Schools. I will be out of the office until Monday, November 18th and will respond to your email at that time. Thank you.

Joy Ford, Project Coordinator
Facilities Planning, Seminole County Public Schools
400 East Lake Mary Boulevard

Sanford FL 32773
W 4073200069
C 4073143130

www.speakouthotline.org

[Florida has a very broad Public Records Law. Virtually all written communications to or from School District Personnel are public records available to the public and media upon request. E-mail sent or received on the School District system will be considered public and will only be withheld from disclosure if deemed confidential pursuant to State Law.]

Lonnie Groot

From: Heather DeVore <hdevore@seminoleclerk.org>
Sent: Tuesday, November 19, 2024 9:22 AM
To: Lonnie Groot
Subject: RE: 2013 Tax Deed File
Attachments: 2016-05-26 1417-2013.tif

Good morning - I still have it scanned as a TIF file. Let me know if it's viewable for you.

Happy and Healthy Holidays,



Heather DeVore
Team Leader, Official Records
1750 E. Lake Mary Blvd.
Sanford, FL 32773
Phone: 407-665-4411
www.SeminoleClerk.org

Grant Maloy, Seminole County Clerk of the Circuit Court and Comptroller
"Skilled Professionals Serving People"

From: Lonnie Groot <lgroot@stenstrom.com>
Sent: Tuesday, November 19, 2024 9:02 AM
To: Heather DeVore <hdevore@seminoleclerk.org>
Subject: FW: 2013 Tax Deed File

EXTERNAL EMAIL: The email originated from outside of the Seminole County Clerk's Office.
Please DO NOT reply to this email, open any links or attachments unless you trust the sender and know the content is safe.

Heather:

Good morning.

Juli Vandehey of the Seminole County Tax Collector's office advised me that you may be able to assist me with finding the file relating to the attached tax deed.

I have been trying to get through to the Clerk of Court, but I think that my emails are not working in that regard.

Can you please let me know if you have the file available to review?

Thanks much.

Lonnie

From: Lonnie Groot
Sent: Monday, November 18, 2024 6:03 PM
To: 'clerk@seminoleclerk.org' <clerk@seminoleclerk.org>
Subject: RE: 2013 Tax Deed File

Grant:

If you would rather me call someone, please let me know.

Thanks and carpe diem.

Lonnie

From: Lonnie Groot
Sent: Friday, November 15, 2024 4:58 PM
To: clerk@seminoleclerk.org
Subject: 2013 Tax Deed File

Grant:

I hope that this email finds you and your family doing very well. I still fondly recall learning about and buying firms at your home with your little ones running around. Our littlest of 7 girls is about to turn 40.

In any event, could you please forward the below and the attached to the right person in your office?

I would sure appreciate it.

Please let me know if I can ever be of any assistance to you.

Thanks,

Lonnie

From: Juli Vandehey <Juli.Vandehey@SeminoleCounty.tax>
Sent: Friday, November 15, 2024 4:41 PM
To: Jessica Day <Jessica.Day@SeminoleCounty.tax>; Lonnie Groot <lgroot@stenstrom.com>
Cc: Tamarsh Cooper <Tamarsh.Cooper@SeminoleCounty.tax>
Subject: Re: 2013 Tax Deed File

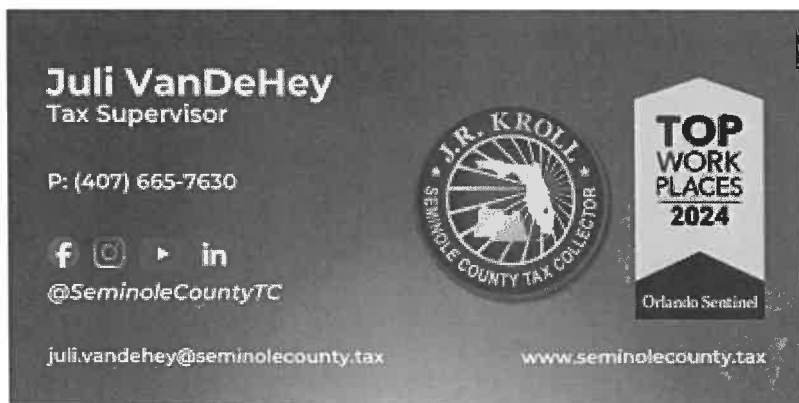
Good Evening Mr. Groot,

The tax deed 2013-1417 file was turned over to the Seminole County Clerk of Courts Office in 2016. You will want to reach out to the Seminole County Clerk of Courts Records Office for this file as they are the official record keeper of tax deed sales.

Kindest Regards,

Juli
Seminole County Delinquent Tax Department

Your feedback drives us forward! Click here to leave your Google Review.



CONFIDENTIALITY NOTICE: If the word "EXEMPT" or "CONFIDENTIAL" appears in this message line, this message and any attachments are for the sole use of the intended recipient(s) and may contain confidential and privileged information that is exempt from public disclosure. Any unauthorized review, use, disclosure, or distribution is prohibited. If you have received this message in error please contact the sender (by phone or reply electronic mail) and then destroy all copies of the original message.

PLEASE NOTE: Florida has a very broad public records law (F. S. 119). All e-mails to and from County Officials are kept as a public record.

Your e-mail communications, including your e-mail address may be disclosed to the public and media at any time.

>>> Lonnie Groot <lgroot@stenstrom.com> 11/15/2024 4:29 PM >>>

"I am different from [George] Washington; I have a higher, grander standard of principle. Washington could not lie. I can lie, but I won't." — Mark Twain

THIS TRANSMISSION MAY BE ATTORNEY CLIENT PRIVILEGED

Jessica:

First, I hope that all is well with you.

Please note the attached.

Who would have the file from this 2013 tax deed sale involving the attached Tax Deed?

Thank you for your attention to this matter.

Please call me ANYTIME at the office (407-322-2171) or at my cell phone (386-748-3685). I answer my cell phone 24 hours a day. If long distance, the office's toll free number is 800-247-5225. My e-mail address is lgroot@stenstrom.com

I look forward to seeing you.

Lonnie Groot

Lonnie Groot

From: Chandler, Makenna <Makenna.Chandler@dos.fl.gov>
Sent: Monday, December 2, 2024 3:00 PM
To: Lonnie Groot
Cc: Meyers, Patrisha L.; Chase, Kelly L.
Subject: Re: Missionary Baptist Church Cemetery

Thank you for your patience as we researched the Nickloc's parcel in Seminole County. While we do not have a cemetery recorded at this location, we are unable to confirm the absence of a cemetery on this property. The Florida Master Site File (FMSF) is not a complete list of historic resources. The parcel or project area may contain unrecorded archaeological sites, cemeteries, historical structures, or other resources even if previously surveyed for cultural resources.

There are several recorded cemeteries in close proximity to this property including The New Island Lake Burial League Cemetery and the Pinnie Ridge cemetery. Based on the history of these cemeteries it appears that the burials were once marked with wooden markers that have now completely disintegrated. Further, the University of Florida conducted a survey of Florida cemeteries in 2019, and the Missionary Baptist Cemetery did appear on their list at the parcel in question, therefore the Nickloc's parcel has the potential to contain a cemetery.

Depending on development and permitting plans, you may be required by local or state agencies to conduct further investigations. Please visit the [Division of Historical Resources Compliance and Review's](#) website for more information.

I am sorry that I was not able to provide more information. I will be out of the office for the rest of this week, but please reach out to my supervisor, Patty Meyers-Gidusko (copied above) if there is anything else we can do to assist you.

Makenna Chandler, M.S., RPA

Historic Cemeteries Preservationist | Division of Historical Resources | Florida Department of State
500 South Bronough Street | Tallahassee, FL 32399
O: (850) 245-6370
www.flheritage.com



From: Lonnie Groot <lgroot@stenstrom.com>
Sent: Monday, December 2, 2024 8:15 AM
To: Chandler, Makenna <Makenna.Chandler@dos.fl.gov>
Cc: Meyers, Patrisha L. <Patrisha.Meyers@dos.fl.gov>
Subject: RE: Missionary Baptist Church Cemetery

EMAIL RECEIVED FROM EXTERNAL SOURCE

Makenna:

I hope that you and yours had a very nice holiday.

Do you know when you might be able to provide the requested information. I am working on finalizing the application to the County today.

Thanks and carpe diem.

Lonnie

From: Lonnie Groot
Sent: Wednesday, November 20, 2024 4:38 PM
To: 'Chandler, Makenna' <Makenna.Chandler@dos.fl.gov>
Cc: Meyers, Patrisha L. <Patrisha.Meyers@dos.fl.gov>
Subject: RE: Missionary Baptist Church Cemetery

"I am different from [George] Washington; I have a higher, grander standard of principle. Washington could not lie. I can lie, but I won't." — Mark Twain

THIS TRANSMISSION MAY BE ATTORNEY CLIENT PRIVILEGED

Makeena:

Thanks very much for the update.

I hope that all is well with you.

Thank you for your attention to this matter.

Please call me ANYTIME at the office (407-322-2171) or at my cell phone (386-748-3685). I answer my cell phone 24 hours a day. If long distance, the office's toll free number is 800-247-5225. My e-mail address is lgroot@stenstrom.com

Carpe diem.

Lonnie Groot

From: Chandler, Makenna <Makenna.Chandler@dos.fl.gov>
Sent: Wednesday, November 20, 2024 12:06 PM
To: Lonnie Groot <lgroot@stenstrom.com>
Cc: Meyers, Patrisha L. <Patrisha.Meyers@dos.fl.gov>
Subject: Missionary Baptist Church Cemetery

Hello Lonnie,

My name is Makenna and I am a Historic Preservationist with The State of Florida's Office of Historic Cemeteries. I am reaching out to give you an update on the possible cemetery located in Lake Mary. I am

still going through our records at the state and am waiting to hear back from a few people, I should have a better update for you by next week.

Makenna Chandler, M.S., RPA

Historic Cemeteries Preservationist | Division of Historical Resources | Florida Department of State
500 South Bronough Street | Tallahassee, FL 32399

O: (850) 245-6370

www.flheritage.com

ATTACHMENT "C"

STATEMENT OF SUPPORT

STATEMENT IN SUPPORT OF NIKOLIC SMALL SCALE AMENDMENT TO FUTURE LAND USE DESIGNATION ASSIGNED BY THE SEMINOLE COUNTY COMPREHENSIVE PLAN

A, INTRODUCTION:

The property which is the subject of this application is assigned its current future land use designation as a result of a concept having been developed that the property was once part of the Missionary Baptist Cemetery.

The undersigned applicant appreciates the input of Seminole County staff prior to the collection of the following information which is provided in support of the application for a change in the future land use designation assigned to the subject property under the provisions of the *Seminole County Comprehensive Plan*.

Although the applicant, in consultation with the County staff, has cause the property owners to engage in the ground penetrating radar work utilizing the services of a consultant, inquired as to the status of the site with various agencies and otherwise researched the physical history of the subject property, it is suggested that County staff may find it helpful to review Part E of this Statement In Support prior to reviewing the rest of the document. That is stated as it appears that the contents of that part of this document are dispositive of the issue as to whether the subject property has ever been used as a cemetery and, thus, should garner a favorable recommendation by County staff for the proposed action.

B. GROUND PENETRATING RADAR REPORT:

As a technical matter, the property relative to which this application relates was subjected to a technical evaluation using ground penetrating radar using the GPRS consulting firm. The resulting report was previously provided to County staff, but another copy is provided with this application. The results of the investigation was that no graves were found on the property and the only "area of concern" was found "just off the property along the driveway south of the property".

Accordingly, the subject site is apparently clear of gravesites while an area not on the subject property may have an issue that needs to be further evaluated by that property owner (although it seems to be in use at this time in any event).

C. HISTORICAL EVIDENCE FROM AGENCIES CONTACTED:

In terms of making inquiries to various authorities with potential historical information; several inquiries were made the results of which are outlined hereinafter. The actual communications is also provided with this application (all efforts in communicating will be attached).

First, Makenna Chandler, M.S., RPA, Historic Cemeteries Preservationist, of the Division of Historical Resources of the Florida Department of State stated, in pertinent part, in response to an inquiry by the applicant that:

While we do not have a cemetery recorded at this location, we are unable to confirm the absence of a cemetery on this property. The Florida Master Site File (FMSF) is not a complete list of historic resources. The parcel or project area may contain unrecorded archaeological sites, cemeteries, historical structures, or other resources even if previously surveyed for cultural resources.

There are several recorded cemeteries in close proximity to this property including The New Island Lake Burial League Cemetery and the Pinnie Ridge cemetery. Based on the history of these cemeteries it appears that the burials were once marked with wooden markers that have now completely disintegrated. Further, the University of Florida conducted a survey of Florida cemeteries in 2019, and the Missionary Baptist Cemetery did appear on their list at the parcel in question, therefore the Nickloc's parcel has the potential to contain a cemetery.

Depending on development and permitting plans, you may be required by local or state agencies to conduct further investigations.

With regard to the point stated by Ms. Chandler, it is understood that, if unmarked human remains are encountered on the subject property (or any property for that matter as all property has the potential to have graves as was the case with regard to England's King Richard III¹), it is understood that the laws protecting human burials and human remains relate to any type of burial. Section 872.02, *Florida Statutes*, pertains to a wide array of burial sites. Section 872.05, *Florida Statutes*, ensures that proper steps are to be taken when unmarked human remains are encountered which begin with notifying law enforcement personnel. Also, all activity that may disturb the unmarked human burial shall cease immediately. That is, no further digging may occur and the remains shall not be removed including any associated artifacts. Indeed, the soil containing the remains shall not be disturbed. Consent shall not be given to remove or disturb remains or associated artifacts, other than to a law enforcement officer, the medical examiner, or an archaeologist representing the Florida Division of Historical Resources. That is all well understood and there are no issues with complying with controlling law in that regard as should be the case with any property owner.

Additionally, Chris Fowler Assistant Supervisor, Florida Master Site File, Bureau of Historic Preservation, Division of Historical Resources, of the Florida Department of State responded to an inquiry by the applicant, in pertinent part, as follows:

I searched the parcel you indicated. There are no previously recorded resources within the search area. I attached a map for your reference. Neither the cemetery or the church are recorded. Please note a cultural resource survey has not been performed in the area since 2001.

An inquiry was also directed by the applicant to the Black Cemetery Network for any information that that organization may have available relative to the site. Ms. Alanah Cooper of that organization advised, in part, that:

¹ See, <https://www.nationalgeographic.com/history/article/how-did-englands-lost-king-end-up-beneath-a-parking-lot>.

We appreciate your commitment in preserving and protecting Black cemeteries. Unfortunately the services you're requesting fall a bit outside the scope of what the BCN is currently able to offer. We do not have information on this cemetery because sites included in the archive are those which have been submitted by individuals and organizations which are currently working to preserve black cemeteries and sacred spaces across the country.. Have you tried reaching out to the Historic Preservation Office in your state also? To contact your state office, please refer to this page on the NPS website: National Park Service State Historic Preservation Offices. Your state and county should have access to the archival data to guide you in your research. Please let us know if you have any further questions and keep us updated about your site! Thank you for the support!

There was also a concept that the property was once owned by the Seminole County School District. An inquiry was made by the applicant in that regard to the Seminole County Superintendent of Public Schools. Ms. Joy Ford, Project Coordinator Facilities Planning, Seminole County Public Schools, responded on behalf of the School District and stated, however, in pertinent part, that:

After reviewing all available records on the Heathrow/Markham Woods Middle site, I was unable to find any information on ever owning the parcel in question. Any additional information that you can provide to prove otherwise would be greatly appreciated.

The applicant is of the belief that this misconception of School District ownership at some point in time occurred due to the fact that the 1946 deed conveying the subject property to the Church provided in the legal description pertaining to the conveyance " . . . less 2 acres deeded to the School Board . . . ".

Accordingly, as a result of this area of inquiry made by the applicant, it cannot be dispositively concluded, as is the case with any other property that is not currently and clearly being used as a cemetery, before total excavation of such a site, whether or not a cemetery was or graves are located on the property.

In this case, however, the physical characteristics of the land seem to make such as future discovery not particularly likely.

D. GENERAL HISTORICAL EVIDENCE:

Historically, it appears that the subject property may have been part of or associated with the old town of Markham which is described in the following web based article published by the Florida Trailblazer²:

Markham Ghost Town in Seminole County

JUNE 21, 2017 / FLORIDATRILBLAZER



Old Logging Tram

I've been exploring sections of this area known as Markham Woods in Seminole County where the old town of Markham was. Markham was founded around 1875 by William Markham and it was a turpentine and sawmill town. Many small towns in Florida during this time were based around these industries. In some places I could see old bricks left from structures once there and also some Herty cups³ and catface trees from the turpentine industry. I saw part of a metal structure as well but may be from a later time after the town, there are many layers of history here. There is a historical marker at the trailhead that describes the history:

"The pine flat woods that dominated the landscape provided economic activity of the residents of the Markham area. The land was purchased by William Markham in 1875 and a vibrant African-

² The "Florida Trailblazer" is Joe Dunn. See, <https://floridatrailblazer.com/about/>

³ The Herty Turpentine cup was invented by Charles Herty in 1902 with the intention of making the naval stores industry both more efficient and less destructive. By his design, the terra cotta vessel was hung beneath a 'cat face,' or pair of gutters placed into the tree to collect tar and sap. This method replaced the previous process of 'boxing' a tree, in which a deep gouge was cut into the trunk. These vessels were produced by the Herty Turpentine Cup Company founded in Florida in 1909.

American community developed the lumber, turpentine and agricultural activities here in the 1880's and early 1900's after construction of the Sanford and Lake Eustis Railway. Lumber activities operating in the Markham area over the years included the Overstreet Turpentine Company, the Spencer Sawmill, the Zachary Lumber Company and Wilson Cypress Company. The planks and timbers used to build the first bridge over the Wekiva River were milled at Markham, while the Wekiva's basswood trees were cut to make cigar boxes in the 1920's and 1930's. The Oak Grove Missionary Baptist Church was the center of this African-American community and the hub of religious, educational, political and community activities. The church provided a safe place to assemble freely to worship, discuss, learn and socialize. The church was also used for the school where members educated their children with ideals and values. The Pinnie Ridge (Grove) Cemetery, commonly called the "Piney Woods Cemetery" was next to the church. The wooden grave markers have disappeared. The Markham people build railroads, produced lumber and turpentine, grew citrus and worked the land. Markham and its surrounding area attracted not only a labor pool, but also permanent settlers who bought their own land, built homes and farmed. They worked hard, educated their children, and survived many hardships with dignity."

Exploring here you can find the old logging roads that were once used and the railroad line as well. Although much may not remain at some of these places just being there can take you back to another time. Much of the area has been reclaimed by nature but you can imagine how it once was. I am looking forward to my next exploration here to see what else may be there.

Other resources provided by the Florida Trailblazer (loridatrailblazer.com/2017/06/21/markham-ghost-town-in-seminole-county/) about the town of Markham are:

Videos

Markham Ghost Town - <https://www.youtube.com/watch?v=zuLvUe2GDDo&t=4s>
Turpentine History at Markham - <https://www.youtube.com/watch?v=0DImc2LKM8s&t=19s>

Old Truck in Markham Woods - <https://www.youtube.com/watch?v=VLzWafWJQE>

Resources

Markham Historical Marker - https://www.waymarking.com/waymarks/WMHET_Markham

Markham Woods Tract – Seminole County web link no longer works.

Catface Trees and Turpentine Industry - <https://ffgs.ifas.ufl.edu/>

Saga of The Turpentiners - Link no longer works.

The above was presented by the Florida Rambler together with the following photographic evidence:





Further, The Historical Marker Database (<https://www.hmdb.org/m.asp?m=156538>) provide the following the historical evidence relating to the area:



HMdb.org

THE HISTORICAL
MARKER
DATABASE

"Bite-Size Bits of Local, National, and Global History"

Markham



Photographed by Brandon D. Cross, September 13, 2020

1. Markham Marker (Side 1)

Inscription.

The pine flat woods that dominated the landscape provided economic activity of the residents of the Markham area. The land was purchased by William Markham in 1875 and a vibrant African-American community developed the lumber, turpentine and agricultural activities here in the 1880's and early 1900's after construction of the Sanford and Lake Eustis Railway.

Lumber activities operating in the Markham area over the years included the Overstreet Turpentine Company, the Spencer Sawmill, the Zachary Lumber Company, and Wilson Cypress Company.

The planks and timbers used to build the first bridge over the Wekiva River were milled at Markham, while the Wekiva's basswood trees were cut to make cigar boxes in the 1920's and 1930's.

The Oak Grove Missionary Baptist Church was the center of this African-American community and the hub of religious, educational, political and community activities. The church provided a safe place to assemble freely to worship, discuss, learn and socialize. The church was also for the school where members educated their children with ideals and values.

The Pinnie Ridge (Grove) Cemetery, commonly called the "Piney Woods Cemetery," was next to the church. The wooden grave markers have disappeared.

The Markham people built railroads, produced lumber and turpentine, grew citrus and worked the land. Markham people built railroads, produced lumber and turpentine, grew citrus and worked the land. Markham and its surrounding area attracted not only a labor pool, but also permanent settlers who bought their own land, built homes and farmed. They worked hard, educated their children, and survived many hardships with dignity.

Erected by Seminole County.

Topics. This historical marker is listed in these topic lists: Agriculture • Horticulture & Forestry • Industry & Commerce • Settlements & Settlers.

Location. 28° 47.498' N, 81° 23.869' W. Marker is in Lake Mary, Florida, in Seminole County. It is on Markham Road, 0.2 miles west of Brackenhurst Place, on the left when traveling west. Located at the Markham Trailhead of the Seminole Wekiva Trail. Touch for map. Marker is at or near this postal address: 8515 Markham Road, Lake Mary FL 32746, United States of America. Touch for directions.

Other nearby markers. At least 8 other markers are within 5 miles of this marker, measured as the crow flies:



Photographed by Brandon D. Cross, September 13, 2020

2. Markham Marker(Side 2)

(approx. 0.9 miles away); Michelle Akers (approx. 0.9 miles away); Sylvan Lake Park (approx. 0.9 miles away); Bookertown (approx. 4.6 miles away); Mayfair Country Club (approx. 4.8 miles away); William Bartram Trail (approx. 4.9 miles away); Florida Honors and Remembers our POW's and MIA's (approx. 4.9 miles away); Seminole County (approx. 4.9 miles away).



Photographed by Brandon D. Cross, September 13, 2020

3. Markham Marker



Photographed by Brandon D. Cross, September 13, 2020

4. Markham Marker

Credits. This page was last [revised](#) on October 6, 2020. It was originally submitted on September 20, 2020, by Brandon D Cross of Flagler Beach, Florida. This page has been viewed 779 times since then and 420 times this year. **Photos:** 1, 2, 3, 4, submitted on September 20, 2020, by Brandon D Cross of Flagler Beach, Florida. • Bernard Fisher was the editor who published this page.

Lastly, with regard to the history of the old town of Markham, the following article, originally published in 1996 in *The Orlando Sentinel* is provided:

Orlando Sentinel

BLACK LABORERS FORMED COMMUNITIES ON WEKIVA RIVER AFTER THE CIVIL WAR

By⁴

UPDATED: July 31, 2021 at 8:08 PM EST

Today, some of the finest gated neighborhoods in Seminole County are along Markham Woods, Markham and Longwood-Markham roads.

But more than 120 years ago, this pine flatlands near the Wekiva River was the remote lumber and turpentine community of Markham where black laborers lived a life of near slavery in the post-Civil War Florida frontier.

In 1875, William Markham bought land thick with pines. Lumbering, sawmill and turpentine stills provided work for black settlers throughout the 1880s after construction of the Sanford & Lake Eustis Railway.

Saturday, the Florida Park Service will dedicate a historic marker just east of the sharp bend where Longwood-Markham Road becomes Markham Road. The marker site, which is within the Wekiva Basin Geopark, is near the community's cemetery.

"They built railroads, produced lumber and turpentine, grew citrus and worked the land," according to research by the park service. "Markham and its surrounding area attracted not only a labor pool but also permanent settlers who built homes and bought and farmed their own land. . . . They worked hard, educated their children, and survived many hardships with dignity."

Markham grew up along the Sanford & Lake Eustis Railway, built in 1886 and 1887 from Sanford to Paola, Markham and into present-day Lake County at Sorrento, Mount Dora and Tavares. It was the last line built by the Jacksonville, Tampa and Key West Railroad. In 1890 Plant system took over the line, started by Dr. Joseph N. Bishop, who had offices in Sanford and Paola.

⁴ Reporter's name was omitted.

Bishop, a New York surgeon who came to the area in 1880, was one of the first settlers in the Markham-Paola-Sylvan Lake area.

Lumbering and turpentine operations in and around Markham included the Overstreet Turpentine Co., the Spencer Sawmill, the Zachary Lumber Co. and the Wilson Cypress Co.

The planks and timbers used to build the first bridge over the Wekiva River were milled at Markham.

A 1889 post office directory lists Markham's population as 500 people and Sylvan Lake's as 200. The area known today as Paola was originally known as Sylvan Lake.

The hub of the Markham community was the Oak Grove Missionary Baptist Church. The Pinnie Ridge Cemetery, also called the Piney Woods Cemetery, was next to the church. The wooden grave markers have disappeared.

Markham was a company town, writes Maybelle Thomas Glover in research papers prepared for the Florida Park Service.

"Men would chip bark, collect the sap in clay cups, transfer it to wooden barrels and take it by mule and wagon to Mr. Hagan's distillery and later to 'the section' (the Markham train station)," she writes. "There was a commissary and little houses for the workers there near the train station."

Glover was born in 1912 at the farm home built by her father, Lovell Thomas. Her father was a black farmer and carpenter and deacon at the church. Her mother, Ella Mae Jenkins, was a Seminole. They grew cabbage, string beans, potatoes, onions, mustards, collards, corn and okra. Sometimes twice a week, her father hitched his horse to a buggy to haul produce to Sanford's markets and returned with groceries, clothing and supplies.

As a child, she walked from her father's farm to the church's school. The school teachers had 50 students.

Florida's vast first-growth forests "yielded fabulous profits" for the mostly out-of-state companies that owned the timber and turpentine rights. The companies, though, kept the men who worked the trees in a "pine pitch fiefdom," Florida historian Gene M. Burnett writes in *Florida's Past*.

Throughout North and Central Florida, the living and working conditions of "teppentine" men were primitive and harsh. Crews and, sometimes, their families were crowded into isolated shanties. The food and wages were miserable. Many were forced to trade the scrip they earned for overpriced goods at company stores. In most areas, the laws were made and enforced by labor contractors.

By the 1940s, 70 years of turpentine and logging operations had stripped Florida of its old slash and longleaf pines. After the pines dried up from the turpentine operations, loggers moved in, cutting every tree and replanting none. Once the logging stripped the land of pines, ranchers, citrus growers and farmers cleared out palmettos for cattle, groves and fields.

Originally Published: April 14, 1996 at 4:00 AM EST

On the website Internment.net⁵ (<https://www.interment.net/data/us/fl/cemeteries-in-florida.pdf>) the following information was provided as compiled by University of Florida GeoPlan Center, last updated on June 25, 2019, under “Cemeteries in the State of Florida” on page 45 of 54:

NAME : Missionary Baptist Cemetery.
ALTERNATE: None provided.
COUNTY: Seminole.
CITY: Lake Mary.
ADDRESS: Markham Woods Rd.
ZIP: 32746.
LAT_DD: 28.78507259.
LONG_DD: -81.38639128.
TYPE: Community.
OWNER: The Markham Missionary Church.
OPERATING: Private.
YEAR: None provided.
NOTES: None provided.

A corporate search of the name of the Church, in several iterations, did not result in any information being discovered. Thus, unless the applicant has missed something in conducting an array of searches of the Florida Department of State’s Sunbiz website, it is difficult to discern what the Church was, by what truly legal name, etc. In any event, the evidence that arises in the context of the tax deed sale involving the subject property would seem to be dispositive of any issues relating to the Church as a legal entity and whether it operated a cemetery on the subject property.

As to Seminole County cemeteries, generally, the County lists 42 on its website at <https://www.seminolecountyfl.gov/departments-services/parks-recreation/parks-trails-and-natural-lands/museum-of-seminole-county-history/about-the-museum-of-seminole-county-hi/museum-resources-historical-informatio/directions-to-seminole-county-cemetery.html>

None of the cemeteries listed is the one that apparently abuts the subject property. The nearest listed cemetery, it would seem is the New Island Lake Cemetery, also known as the Oak Grove Cemetery, Island Lake Burial League, Overstreet Cemetery or Glover Corner Cemetery. The

⁵ The website contains 25+ million cemetery records, transcripts, and burial registers, from tens of thousands of cemeteries across the world, all contributed by genealogists, cemeteries, government agencies, and private organizations.

applicant's research indicates that this cemetery is located between Markham Woods Road, and the power line easement's eastern section, off Cedar Stone Road. In 1940, Section 2, Township 20 South, Range 29 East, Parcel #4 was recorded by Seminole County as: Island Lake Church Yard Cemetery. After the old Island Lake Church burned down, the Island Lake Burial League began burying in the old Oak Grove Baptist Cemetery, renaming it New Island Lake Cemetery. The Old Island Lake Cemetery now stands with no markers, although it is reported to have a large number of graves. In the defunct Pinnie Grove Cemetery, depressions and headstones were found quite a few yards from the main group at New Island. It is said that the area is mostly a large clearing in the woods, but some graves are at the wood line, and approaching from Markham Woods Road, there are depressions in the wooded area near the clearing. It is also said that the grounds are minimally maintained, and hunters use it from time to time. Some graves have only metal funeral home markers, some are rusted or unreadable, some are full stones. The point of bringing this description of this cemetery up for consideration in the context of this application is that the subject property not only had GPS applied to the site, but shows no indications of depressions or moved headstones, etc.. See, Find A Grave information accessible at the following link: <https://www.findagrave.com/cemetery/2558179/new-island-lake-burial-league-cemetery>

Likewise, in comparison to the subject property, the condition of the Paola Historical Cemetery as discussed at <https://floridahistoryblog.com/paola-historical-cemetery/> should be considered. Please note the following photograph and notation in that regard:



July, 2020

The Paola Historical Cemetery, also known as the Banana Lake Cemetery or Paola Church Yard Cemetery, is an unassuming lot recently cleared of underbrush

in hopes of being finally developed. It is estimated that around 60 graves were once buried here, although only the remains of 10 markers can be found today.

Again, please note that the subject property showed no indications of depressions or gravesites nor was it apparent that a clearing of any underbrush would show any gravesites located thereon.

Thus, based upon the foregoing historical evidence, it seems clear that the subject property is not likely to be impacted by any discovery of an unanticipated gravesite any more than any other property that is located in any area that was once inhabited by a rural historical settlement or a settlement of a Native American tribe or other societal group.

E. TAX DEED PROCESS INFORMATION:

As noted above, the applicant believes that, aside from the information provided in Parts B, C and D of this Statement In Support; the following should be dispositive in terms of a favorable recommendation for the requested future land use designation amendment.

The undersigned applicant obtained the entirety of the tax deed fled from the 1996 sale of the subject property from the Clerk of Circuit Court. Why this property which was owned by a church was being taxed (thus leading to a tax deed sale for failure to pay those taxes) and not exempt was a mystery to the undersigned applicant. That mystery, however, was cleared up with definiteness. Several aspects of this matter became apparent from a review of the large volume of records all of which will, of course, be provided upon request by the County staff.

It turned out that the property was not being put to a church use. Although the 2012 Seminole County Property Appraiser website data printout indicated a Department of Revenue Code of 7605 for cemeteries, the 2016 Property Appraiser aerial photography indicated a clearly wooded and undeveloped site and the 2013 tax deed correspondence showed a Code of 00 for vacant residential. Moreover, and more importantly, the January 3, 2012 Property Appraiser Property Record Card set forth a note attributed to 2 Property Appraiser employees (Barbara Jones and Linda McQ) stating that "Remove '38' for 2011 & forward per David. Never has been cemetery. Church no longer there." (**Emphasis** added).

Indeed, there is a letter, in the tax deed file, received August 10, 2017 by the Clerk of Circuit Court and Comptroller from NWO Investments (of Napoleon, Ohio) that stated that in August, 2012 the property lost its tax exempt status and that the Church ". . . hadn't been in existence for nearly 60 years." Again, the 2016 Property Appraiser aerial photography indicated a clearly wooded and undeveloped site which showed no use of anything – much less a cemetery,

Additionally, the sales price in 2016 during the tax deed sale process was \$145,000.00 which was no little sum at that time. The point here is that the law assumes that the purchasers of the property were well-informed buyers and an undevelopable site would not have fetched such a substantial sales price. Also, inasmuch as the tax deed overbid funds (\$137,989.40) were paid to the State of Florida Unclaimed Property Fund, that fact would seem to indicate that the Church that was the owner of the subject property took little interest in the property which would, it would

seem, not be the case if it were an active cemetery site. Further, if the Church had an active cemetery on the site, then it would have had funds to maintain the site resulting from the tax deed overbid proceeds.⁶ Indeed, as it turned out, NWO unsuccessfully asserted ownership of the tax deed overbid proceeds while unsuccessfully arguing to the Clerk of Circuit Court that the property had reverted from the Church to L.P. Hagan and Bertha A. Hagan, his wife, as the grantors, to the Church with "The Church Missionary Baptist Church, of Markham", as the grantee.

From the above, it seems clear and convincing that the evidence shows that the subject property, as found by the Seminole County Property Appraiser, "[n]ever has been cemetery."

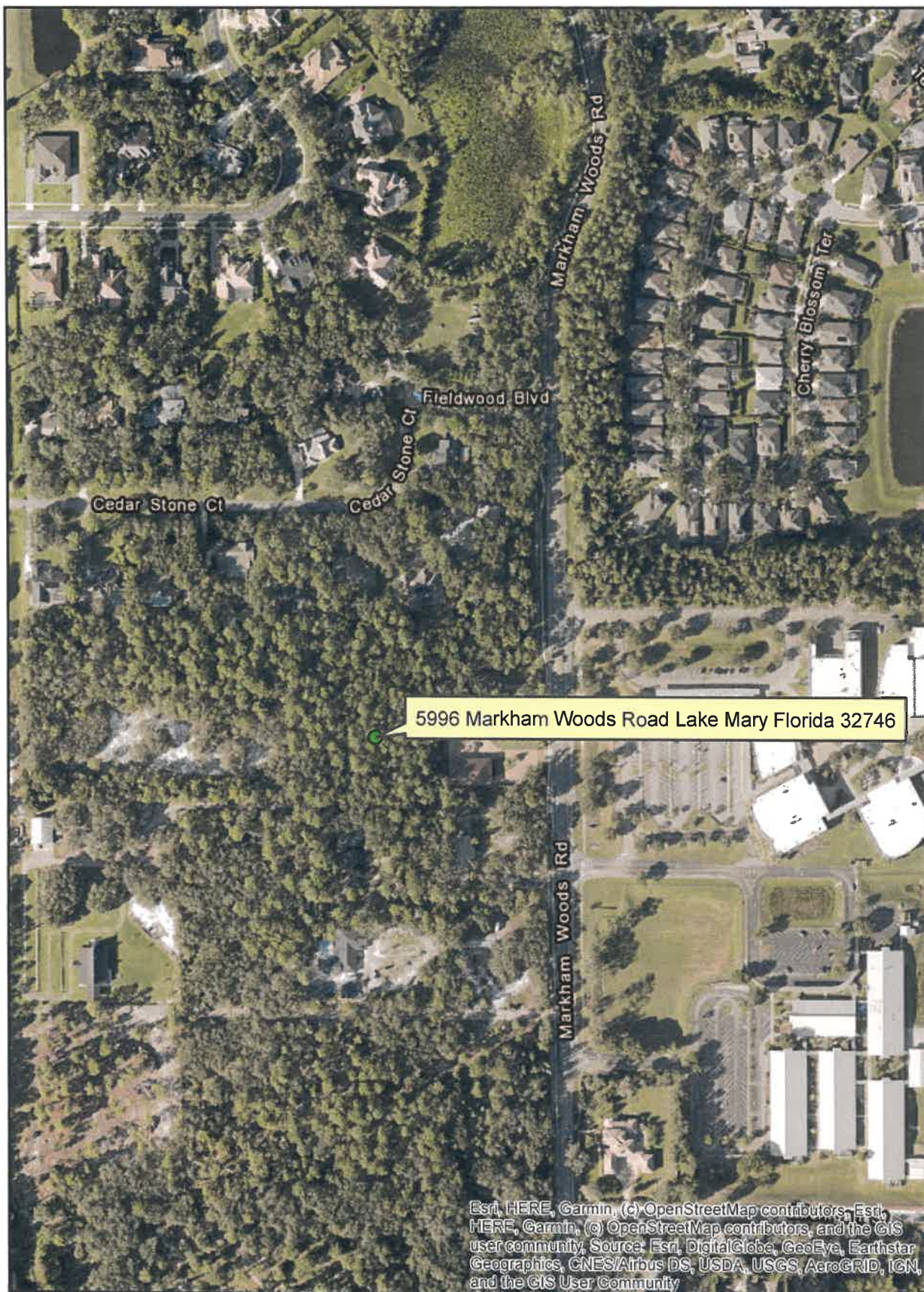
F. CONCLUSION:

Based upon the foregoing, it is respectfully submitted that the application for the requested amendment of the future land use designation should be approved.

Thank you for your professionalism and kind attention to this matter, We stand ready to provide documents or other information in order to help County staff in evaluating this application.


Lonnie N. Groot

⁶ It is noted that the tax deed paperwork shows the name of the Church as "Church The Markam Missionary" as does the website data of the Seminole County Property Appraiser. However, the 1946 Limited Warranty Deed conveyed the subject property from L.P. Hagan and Bertha A. Hagan, his wife, as the grantors, to the Church as "The Church Missionary Baptist Church, of Markham", as the grantee.



Legend

- FloridaSites
- HistoricalBridges
- HistoricalCemeteries
- ResourceGroups
- FloridaStructures

Esri, HERE, Garmin, (c) OpenStreetMap contributors, Esri, HERE, Garmin, (c) OpenStreetMap contributors, and the GIS user community, Source: Esri, DigitalGlobe, GeoEye, Earthstar Geographics, CNES/Airbus DS, USDA, USGS, AeroGRID, IGN, and the GIS User Community

130 65 0 130 Meters



Property Record Card



Parcel: 02-20-29-300-0130-0000
 Property Address: MARKHAM WOODS RD LAKE MARY, FL 32746
 Owners: NIKOLIC, ALEKSANDAR; NIKOLIC, DRAGANA
 2025 Market Value \$337,610 Assessed Value \$311,957
 2024 Tax Bill \$4,031.17 Tax Savings with Non-Hx Cap \$428.32
 Vacant Residential property has a lot size of 2.60 Acres

Parcel Location



Site View

Parcel Information

Parcel	02-20-29-300-0130-0000
Property Address	MARKHAM WOODS RD LAKE MARY, FL 32746
Mailing Address	1111 OUTLOOK DR DELTONA, FL 32725-8344
Subdivision	
Tax District	01:County Tax District
DOR Use Code	00:Vacant Residential
Exemptions	None
AG Classification	No

Value Summary

	2025 Working Values	2024 Certified Values
Valuation Method	Cost/Market	Cost/Market
Number of Buildings	0	0
Depreciated Building Value	\$0	\$0
Depreciated Other Features	\$0	\$0
Land Value (Market)	\$337,610	\$337,610
Land Value Agriculture	\$0	\$0
Just/Market Value	\$337,610	\$337,610
Portability Adjustment	\$0	\$0
Save Our Homes Adjustment/Maximum Portability	\$0	\$0
Non-Hx 10% Cap (AMD 1)	\$25,653	\$54,013
P&G Adjustment	\$0	\$0
Assessed Value	\$311,957	\$283,597

2024 Certified Tax Summary

Tax Amount w/o Exemptions	\$4,459.49
Tax Bill Amount	\$4,031.17
Tax Savings with Exemptions	\$428.32

Owner(s)

Name - Ownership Type

NIKOLIC, ALEKSANDAR - Tenancy by Entirety
 NIKOLIC, DRAGANA - Tenancy by Entirety

Note: Does NOT INCLUDE Non Ad Valorem Assessments

Legal Description

SEC 02 TWP 20S RGE 29E
N 1/2 OF NE 1/4 OF NE 1/4
OF NW 1/4 (LESS N 295.25 FT
OF E 295.25 FT & RD)

Taxes

Taxing Authority	Assessed	Exempt Amount	Taxable
COUNTY GENERAL FUND	\$311,957	\$0	\$311,957
Schools	\$337,610	\$0	\$337,610
FIRE	\$311,957	\$0	\$311,957
ROAD DISTRICT	\$311,957	\$0	\$311,957
SJWM(Saint Johns Water Management)	\$311,957	\$0	\$311,957

Sales

Deed Type	Date	Sale Amount	Book / Page	Sale Type	Qualified?
CORRECTIVE DEED	11/1/2016	\$100	08829/1483	Vacant	No
WARRANTY DEED	11/1/2016	\$210,000	08804/0686	Vacant	Yes
TAX DEED	5/1/2016	\$145,000	08702/0651	Vacant	No

Land

Units	Rate	Assessed	Market
2.60 Acres	\$130,000/Acre	\$337,610	\$337,610

Building Information

#	
Use	
Year Built*	
Bed	
Bath	
Fixtures	
Base Area (ft ²)	
Total Area (ft ²)	
Constuction	
Replacement Cost	
Assessed	

Building

* Year Built = Actual / Effective

Permits				
Permit #	Description	Value	CO Date	Permit Date

Extra Features				
Description	Year Built	Units	Cost	Assessed

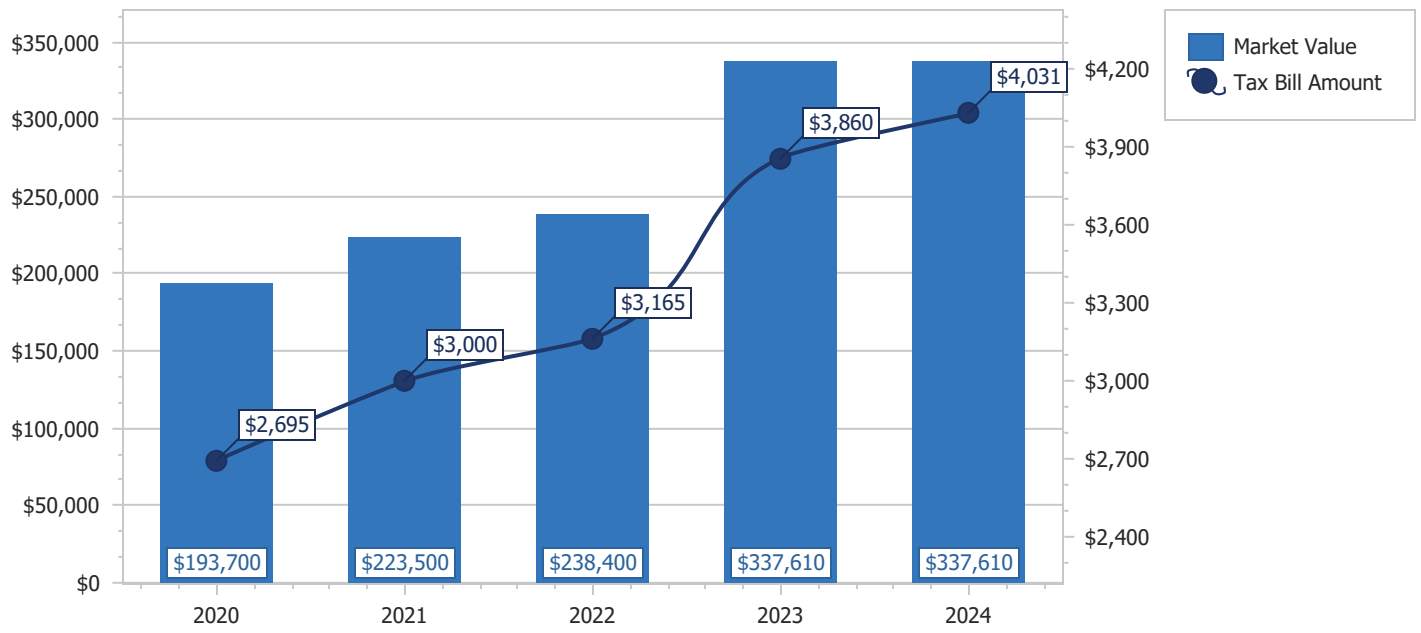
Zoning	
Zoning	A-1
Description	Agricultural-1Ac
Future Land Use	PUBG
Description	

Political Representation	
Commissioner	District 5 - Andria Herr
US Congress	District 7 - Cory Mills
State House	District 39 - Doug Bankson
State Senate	District 10 - Jason Brodeur
Voting Precinct	Precinct 30

School Districts	
Elementary	Heathrow
Middle	Markham Woods
High	Seminole

Utilities	
Fire Station #	Station: 36 Zone: 361
Power Company	FPL
Phone (Analog)	AT&T
Water	Seminole County Utilities
Sewage	Seminole County Utilities
Garbage Pickup	
Recycle	
Yard Waste	
Hauler #	

Property Value History



Copyright 2025 © Seminole County Property Appraiser

*

12/16/24 SEMINOLE COUNTY GOVERNMENT - PROJECT FEES RECEIPT15:45:16
PROJ # 24-10000001 RECEIPT # 0354047
OWNER:
JOB ADDRESS: LOT #:

LUA - SMALL SCALE 14	3500.00	3500.00	.00
----------------------	---------	---------	-----

TOTAL FEES DUE.....: 3500.00

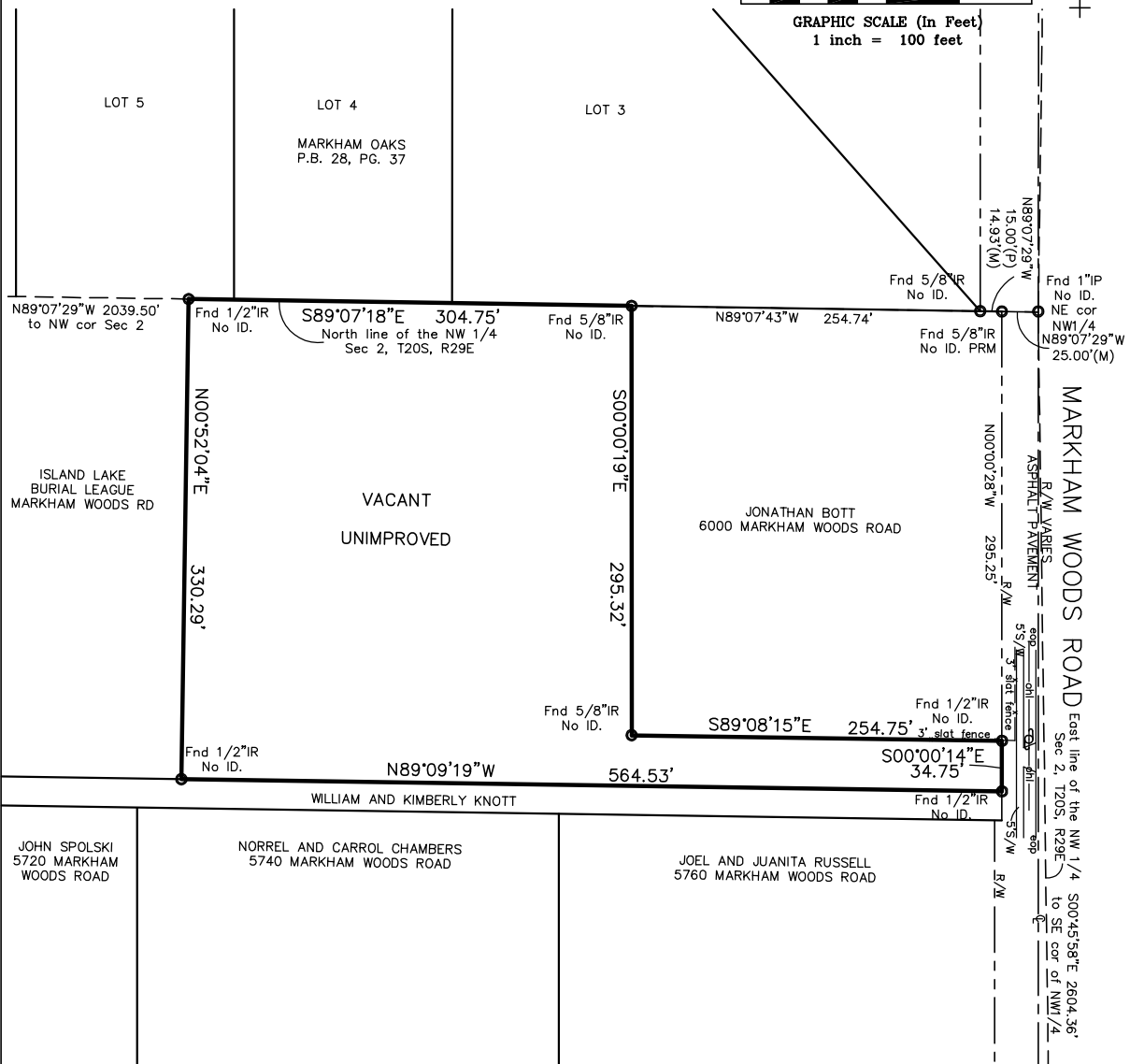
AMOUNT RECEIVED.....: 3500.00

* DEPOSITS NON-REFUNDABLE *
** THERE IS A PROCESSING FEE RETAINAGE FOR ALL REFUNDS **

COLLECTED BY: DRHR01	BALANCE DUE.....:	.00
CHECK NUMBER.....:	000000063370	
CASH/CHECK AMOUNTS....:	3500.00	
COLLECTED FROM:	STENSTROM, MCINTOSH, COLB	
DISTRIBUTION.....:	1 - COUNTY 2 - CUSTOMER 3 -	4 - FINANCE

BOUNDARY SURVEY

Legal Description per Official Record Book 8702, Page 651, Public Records of Seminole County, Florida.
The North 1/2 of the Northeast 1/4 of the Northeast 1/4 of the Northwest 1/4 (LESS the North 295.25 feet of
the East 295.25 feet and road), of Section 02, Township 20 South, Range 29 East, Seminole County, Florida
Area: 110,321.23 square feet (02.533 acres)



GENERAL NOTES:

- 1) NORTH AND THE BEARINGS SHOWN HEREON ARE BASED ON THE NORTH LINE OF THE NORTHWEST 1/4 OF SECTION 2, TOWNSHIP 20 SOUTH, RANGE 29 EAST, AS BEING N89°07'29\"/>

CERTIFIED TO:
James Price
Price Estates, LLC

Property Address:
5996 Markham Woods Road
Lake Mary, Florida 32746

LEGEND

ABBREVIATIONS

EOP EDGE OF PAVEMENT
FND FOUND
IR IRON ROD
(M) MEASURED
(P) PLATED
PB PLAT BOOK
PG PAGE
PRM PERMANENT REFERENCE MONUMENT
OHL OVERHEAD UTILITY LINES
R/W RIGHT OF WAY
S/W SIDEWALK

SYMBOLS

⊙ FOUND IRON ROD (ID AS SHOWN)
⊕ CENTERLINE
⊕ UTILITY POLE

DRAWN BY: BT FIELD DATE: 09/05/16
CHECKED BY: LLH REVISION:

Leon Hampton, PSM
Land Survey and Consulting

203 SHERIDAN AVENUE
LONGWOOD, FLORIDA 32750

Phone: (321) 231-4874
Leon@lhpsm.net

Leon Hampton, PSM
www.Lhpsm.net

LEON L. HAMPTON, PSM
STATE OF FLORIDA
LAND SURVEYOR & MAPPER NO. 5910

THIS MAP IS NOT VALID WITHOUT THE SIGNATURE AND THE ORIGINAL
RAISED SEAL OF A FLORIDA LICENSED SURVEYOR AND MAPPER.

August 20, 2025

**CHRONOLOGY: NIKOLIC SMALL SCALE FUTURE LAND USE DESIGNATION
AMENDMENT FROM PUBLIC/QUASI-PUBLIC TO SUBURBAN ESTATES IN THE
CONTEXT OF SEMINOLE COUNTY'S PLANNING PROCESSES**

INTENT: The intent of this document is to demonstrate the fact that the future land use designation assigned to the subject real property is not an error, but just the technical result of the status of the subject real property at the time that the land use planning programs of Seminole County were commenced and, thereafter, implemented.

A. STATUS OF PROPERTY OWNERSHIP:

- (1). Pre-1946, the subject property was owned by LP Hagan and Bertha Hagan.
- (2). In 1946 the subject property was conveyed from the Hagans to the Markham Missionary Baptist Church of Markham and the subject property, as a result, became tax exempt. Thus, at the of conveyance to the church, there became no incentive to ensure that the land use entitlements relating to the subject property were correct.

B. INITIATION AND IMPLEMENTATION OF SEMINOLE COUNTY PLANNING PROCESSES:

- (3). Seminole County initiated its planning program in 1974 through the *Seminole County Comprehensive Planning Act*, one year prior to State-wide planning as mandated by the *Local Government Comprehensive Planning Act of 1975*. Seminole County's first *Comprehensive Plan* was adopted in 1977 (Ordinance Number 77-25) and was extensively revised in 1987. Since the subject property was owned by a church and was located next to a church cemetery, it seems to have been presumed that the subject property would be used as an extension of the cemetery and, thus, the subject property was assigned the Public/Quasi Public future land use designation during the course of the comprehensive planning process. This planning effort was the result of a dynamic and well-rounded planning process which involved planning groups for each geographical quadrant of Seminole County as well as an array of other bodies
- (4). *Florida's Growth Management Act* was passed by the Florida Legislature in 1985. The 1991 *Seminole County Comprehensive Plan* update was adopted in direct response to meeting all of the requirements of the *Growth Management Act*, which was also known as the *Local Comprehensive Planning and Land Development Regulation Act* (now known as the *Community Planning Act*). The ordinances which enacting the new State compliant *Seminole County Comprehensive Plan* were enacted on September 11, 1991 (original adopting amendment/Ordinance Number 91-13) which was 463 pages in length; May 12, 1992 (Amendment 91F/Ordinance Number 92-9) which was 134 pages in length; and on December 15, 1992 Amendment 92F/Ordinance Number 92-25) which was 625 pages in length. Inasmuch as the subject property was still tax exempt and church owned, there was no incentive to fully review the actual condition of the subject property and,

thus, again, the subject property continuing to be assigned the Public/Quasi Public future land use designation made sense. This high quality planning process involved not only the Board of County Commissioners of Seminole County and the Seminole County Planning and Zoning Commission (acting as Seminole County's Local Planning Agency), but also a Program Review Committee, 3 task forces, an advisory committee, 2 advisory boards, a Historical Commission and a steering committee. Also, 7 planning consultant firms were engaged by Seminole County to develop the goals, objectives and policies of the *Seminole County Comprehensive Plan*. There was no lack of planning effort, but the subject property remained insignificant as it was a tax exempt parcel, a mere 2.6 acres in size, presumed to be planned for use for a church use. A January 8, 1991 article in the *Orlando Sentinel* summarized the planning effort as follows:

A few dozen residents turned up Monday for the first day of Public meets Comprehensive Plan.

It's a monster of a document.

A four-volume explanation of the plan that Seminole County commissioners had to digest totaled 678 pages, 4 inches thick.

For the public, the monster is pared down to 45 display boards of maps, graphics, charts and summaries.

(5). State law required (and still does in Section 163.3194, *Florida Statutes*, and Section 163.3202, *Florida Statutes*) that all land development regulations (such as zoning classification assignments) enacted or amended must be consistent with the adopted local government comprehensive plan. To accomplish this after the actions in 1991 to attain a State compliant *Seminole County Comprehensive Plan*, the Board of County Commissioners enacted, on March 30, 1992, Ordinance Number 92-9 which totaled 672 pages. As with the development of the *Seminole County Comprehensive Plan*, numerous planning consultant firms were utilized by Seminole County to develop the many new land development regulations needed to implement the new *Seminole County Comprehensive Plan*. As the undersigned recalls, aside from the normative work in developing land development regulations, there was a 24 hour a day weekend project during which ordinances were being drafted to be placed in the agenda packets in order to address advertising and notice requirements. The Introduction to the Implementation Element of the *Historic Vision 2020 Comprehensive Plan, Seminole County, Florida* summarizes the matter as follows:

Seminole County adopted its first Comprehensive Plan to meet Rule 9J-5 requirements on September 11, 1991. As part of the early efforts to implement the plan in 1992, the County was required to identify nonconforming uses and zoning and conflicting zonings and every effort was made to bring these uses/zonings into compliance with the adopted Comprehensive Plan. An extensive search was completed on all parcels in unincorporated Seminole County to identify nonconforming uses and

zonings and conflicting zonings and these were brought to the Board of County Commissioners' attention in advertised public hearings to rectify in accordance with the recommendations of the Comprehensive Plan. Since a thorough review of nonconforming uses/zonings and conflicting zonings was dealt with in 1992 and the County, to the best of its ability, has not created any additional nonconforming land uses or zonings or conflicting zonings, the County does not need to repeat this effort after final adoption of Vision 2020. Should a nonconforming use or rezoning or a conflicting zoning be discovered, the County will act accordingly to take steps to bring the land into conformity. Language directing how administrative land use amendments and rezonings to correct nonconforming parcels is included should the need arise.

See, for example, Ordinance Number 92-9, enacted on May 12, 1992, which consisted of about 130 pages.

Since it is provided in controlling State law and the comprehensive planning documents of Seminole County that Seminole County will act to take steps to bring the lands within the unincorporated areas of the County into conformity when a nonconforming use or rezoning or a conflicting zoning is discovered, this matter could have been addressed by means of an administrative land use amendment had not the use of the subject property as a cemetery been a question that arose due to its ownership by a church.

(6). Thereafter, Seminole County needed to address the individual parcels of real property located within its jurisdictional limits (unincorporated property) to ensure that the assigned zoning classifications were appropriate for the future land use designations assigned to the parcels. As the undersigned recalls, the Seminole County Planning and Zoning Commission and the Board of County Commissioners of Seminole County held meetings that occurred in either 1992 or 1993 with the subject being a whole list of rezonings which took 2 consecutive meeting nights by the P&ZC and 2 consecutive meeting nights of the Board of County Commissioners of Seminole County all of which hearings (as the undersigned recalls) extended into the wee hours of the mornings of the days following the hearing dates. The undersigned also recalls that the Seminole County Planning and Zoning Commission meet on one week for 2 nights and the Board of County Commissioners of Seminole County meet on the following week for 2 nights. Again, the subject property was of little significance given its status as church property and did not call for the overall in-depth study that Seminole County Planning Staff devoted to most parcels in Seminole County. Also, given the apparent inattention to the subject property by the then church owner (evidenced by the later tax deed sale and related matters); the church did not involve itself in Seminole County's land use planning processes and procedures.

C. CHANGE IN TAX STATUS AND OWNERSHIP OF PROPERTY:

(7). In 2012, the Seminole County Property Appraiser concluded that the subject property had never been used as a cemetery and also concluded that the subject property

should be reassessed to be appraised as vacant residential and that the tax exempt status of the subject property should be removed.

(8). Tax certificates were sold by Seminole County to pay taxes for tax years 2013, 2014 and 2015 which taxes resulted from the change in the tax exempt status of the subject property.

(9). On May 26, 2016, as the result of a tax deed sale being applied for, Pine Estates LLC purchased the subject property (now the "Nikolic property") at a tax deed sale for the sum of \$145,000.00.

(10). On November 4, 2016, Pine Estates LLC sold the Nikolic property to the Nikolics for the sum of \$210,000.00. Current ad valorem taxes exceed the annual sum of \$4,000.00.

D. STEPS TAKEN RELATING TO CHANGE IN FUTURE LAND USE DESIGNATION:

(11). Between 2016 and 2024 some administrative requests were submitted to Seminole County Planning Staff to evaluate the land use entitlements relating to the Nikolic property. It was concluded that the assigned future land use designation was the impediment for using the Nikolic property for a private residential use as is desired by Mr. and Mrs. Nikolic.

(12). In 2024 a ground penetrating radar evaluation was conducted and a report issued showing that the Nikolic property, as noted by the Seminole County Property Appraiser back in 2012, was not being used and has not been used as a church cemetery.

(13). In 2024, an application to change the future land use designation from Public/Quasi-Public to Suburban Estates was submitted to Seminole County by the undersigned on behalf of Mr. and Mrs. Nikolic.

(14). On August 6, 2025, the Seminole County Planning and Zoning Commission unanimously recommended that the Nikolic's application for a change of the future land use designation from Public/Quasi-Public to Suburban Estates to be approved by the Board of County Commissioners of Seminole County.

CONCLUSION: The fact that the Nikolic property is assigned the Public/Quasi-Public future land use designation while it clearly should be assigned Suburban Estates designation is not the result of an error by Seminole County Planning Staff or the elected or appointed planning officials of Seminole County. The assignment results from the fact that, as an array of technical matters were being addressed during a great deal of the time period (about 50 years now) of Seminole County's planning processes and programs, the Nikolic property was owned by a church and presumed to be used as part of a cemetery expansion. That technical and understood oversight at the time of the change in tax exempt status by the Seminole County Property Appraiser (in 2012) and the change in ownership from church to private property owner (in 2016) is the insipient

cause for the need for this application and the need for the application to be approved in order that the Nikolics can appropriately and lawfully exercise and put to beneficial use their private property rights. In short, the Nikolic's property was lost in the shuffle of a great deal of planning activities by Seminole County as one would expect a 2.6 acre parcel to have been in the context of planning and implementing plans pertaining to a vibrant and dynamic county such as Seminole County. That being said, given the right set of circumstances, this matter, the Nikolic Small Scale Future Land Use Designation Amendment application, could have been processed as an administrative amendment.

Very Respectfully Submitted,



Lonnie N. Groot
Lonnie N. Groot, P.L.
3047 South Atlantic Avenue
Suite 1103
Daytona Beach Shores, Florida 32118

From: [Lonnie Groot](#)
To: [Apgar, Kaitlyn](#)
Subject: Nikolic # 10; Communications To Deborah Bauer With No Reply
Date: Friday, September 5, 2025 10:41:50 AM

NOTICE: This email was sent from someone outside of the Seminole County BCC Organization. Always use caution when opening attachments or clicking links from unknown senders or when receiving unexpected emails. If you believe this message is suspicious or malicious in nature, please use the Phish Alert Button to report it to the Information Technology Security Team or contact 311Support at CSDSupport@seminolecountyfl.gov

----- Forwarded message -----

From: **Lonnie Groot** <lonniegrootlawyer@gmail.com>
Date: Tue, Aug 26, 2025 at 9:19 AM
Subject: Re: Small Scale Comprehensive Plan Amendment; Nikolic Property;
To: <dbauer@seminoleculturalarts.org>

Deborah:

Good morning. I hope that you have had time to review my last email to you.

I would really like to meet with you and discuss the future land use designation amendment application about which you have expressed some concern.

Thank you for your attention to this matter.

Lonnie

Lonnie N. Groot

Lonnie N. Groot, P.L.
3047 South Atlantic Avenue
Suite 1103
Daytona Beach Shores, Florida 32118
386-748-3685

On Fri, Aug 22, 2025 at 7:20 PM Lonnie Groot <lonniegrootlawyer@gmail.com> wrote:
Deborah:

First, I hope that all is well with you.

I represent Mr. and Mrs. Nikolic who are the owners of the 2.6 acres located proximate to Markham Woods Road.

It has come to our attention that you have expressed some concerns over the application to change the future land use designation assigned to the property owned by Mr. and Mrs. Nikolic to Suburban Estates. I would like to meet with you over lunch or coffee if that works for you. Would you agree to do so in order that we can talk about this matter and best understand your concerns?

As you probably had concluded, Mr. and Mrs. Nikolic are seeking an amendment to the Seminole County Comprehensive Plan. Their property is already assigned the Agriculture, A-1, zoning classification which allows 1 dwelling unit per acre. However, since the property was owned by a church for a long period of time and was located next to a historic cemetery, it was assigned the Public/Quasi-Public future land use designation because it was assumed (presumably since the property is located abutting an historic African American cemetery). However, the Seminole County

Property Appraiser correctly determined, in 2012, that the property had never been used as a cemetery. As a result, the property ceased being tax-exempt and, ultimately, in 2016 became subject to a tax deed sale and become owned by a for profit limited liability company which then, later that same year, sold the property to Mr. and Mrs. Nikolic. Since that time, Mr. and Mrs. Nikolic have been paying ad valorem taxes on the subject property which taxes now exceed \$4,000.00 per year.

Due to the configuration of the property owned by Mr. and Mrs. Nikolic, the property can only be developed for a single (1) residential unit. As with any other property, if a grave is found in the course of construction/development; then that activity must stop and certain actions are required. Accordingly, we believe that the reasonable use of private property is a cherished protected right under both the United States Constitution and the Constitution of the State of Florida and that fundamental right will be balanced by any discovery that could occur as, I would note, is that same situation which existed as to the many homes that were developed in the area, the school that was developed in the area, etc.

Again, I offer to meet with you and I hope that you will agree to do so at a time and place convenient to you.

Thank you very much for your attention to this matter. I really appreciate your time.

Lonnie

Lonnie N. Groot

Lonnie N. Groot, P.L.
3047 South Atlantic Avenue
Suite 1103
Daytona Beach Shores, Florida 32118
386-748-3685



--



Lonnie N. Groot

Lonnie N. Groot, P.L.
3047 South Atlantic Avenue
Suite 1103
Daytona Beach Shores, Florida 32118
386-748-3685

From: [Lonnie Groot](#)
To: [Apgar, Kaitlyn](#)
Subject: Nikolic # 11; Communications To Mr. Klatt With No Reply
Date: Friday, September 5, 2025 10:41:57 AM

NOTICE: This email was sent from someone outside of the Seminole County BCC Organization. Always use caution when opening attachments or clicking links from unknown senders or when receiving unexpected emails. If you believe this message is suspicious or malicious in nature, please use the Phish Alert Button to report it to the Information Technology Security Team or contact 311Support at CSDSupport@seminolecountyfl.gov

----- Forwarded message -----

From: **Lonnie Groot** <lonniegrootlawyer@gmail.com>
Date: Tue, Sep 2, 2025 at 8:38 PM
Subject: Re: Small Scale Comprehensive Plan Amendment; Nikolic Property
To: <billklatt@aim.com>

Mr. Klatt:

I was hoping to hear from you so I figured I would try one more time.

We are, of course, in addition to the matters mentioned in the prior email to you, whether the person whose photo was taken (said, we think, to be a surveyor, and said, we think, to be on the Nikolic's property) is conducting surveying work in a lawful manner under State law and whether there is some action being taken that could be determined to be slanderous of title.

We look forward to hearing from you and engaging in positive dialogue with regard to the matter relative to which you have communicated with the County.

Thank you and I hope that all is well with you.

Lonnie

On Tue, Aug 26, 2025 at 7:06 PM Lonnie Groot <lonniegrootlawyer@gmail.com> wrote:
Mr. Klatt:

First, I hope that all is well with you.

As you may know, I represent Mr. and Mrs. Nikolic who are the owners of the 2.6 acres located proximate to Markham Woods Road.

As you are aware, Mr. and Mrs. Nikolic are seeking an amendment to the Seminole County Comprehensive Plan. Their property is already assigned the Agriculture, A-1, zoning classification which allows 1 dwelling unit per acre. However, since the property was owned by a church for a long period of time and was located next to a historic cemetery, it was assigned the Public/Quasi-Public future land use designation because it was assumed (presumably since the property is located abutting an historic African American cemetery). However, the Seminole County Property Appraiser correctly determined, in 2012, that the property had never been used as a cemetery. As a result, the property ceased being tax-exempt and,

ultimately, in 2016 became subject to a tax deed sale and become owned by a for profit limited liability company which then, later that same year, sold the property to Mr. and Mrs. Nikolic. Since that time, Mr. and Mrs. Nikolic have been paying ad valorem taxes on the subject property which taxes now exceed \$4,000.00 per year.

Due to the configuration of the property owned by Mr. and Mrs. Nikolic, the property can only be developed for a single (1) residential unit. As with any other property, if a grave is found in the course of construction/development; then that activity must stop and certain actions are required. Accordingly, we believe that the reasonable use of private property is a cherished protected right under both the United States Constitution and the Constitution of the State of Florida and that fundamental right will be balanced by any discovery that could occur as, I would note, is that same situation which existed as to the many homes that were developed in the area, the school that was developed in the area, etc.

I understand that you have advised County staff that a surveyor has been on my clients' site and that a grave marker has been found. That is, of course, contrary to all prior information relative to this matter and, we believe, inconsistent with the facts. We are not aware of any surveying work that was authorized for the property. Please advise us of the name of the surveying company that was on site. And, please advise us of the full assertion that has been made relative to the finding that you stated had been made.

We would like to discuss this matter if you would like to. We extend that offer to you. Please advise me as to a convenient time if you would like to meet.

Thank you very much for your attention to this matter. I really appreciate your time.

Lonnie

Lonnie N. Groot

Lonnie N. Groot, P.L.
3047 South Atlantic Avenue
Suite 1103
Daytona Beach Shores, Florida 32118
386-748-3685

--



Lonnie N. Groot

Lonnie N. Groot, P.L.
3047 South Atlantic Avenue
Suite 1103
Daytona Beach Shores, Florida 32118
386-748-3685

--



Lonnie N. Groot

Lonnie N. Groot, P.L.
3047 South Atlantic Avenue
Suite 1103
Daytona Beach Shores, Florida 32118
386-748-3685



GPRS

VISUALIZING THE BUILT WORLD™

ABOVE AND BELOW GROUND

STATEMENT OF QUALIFICATIONS

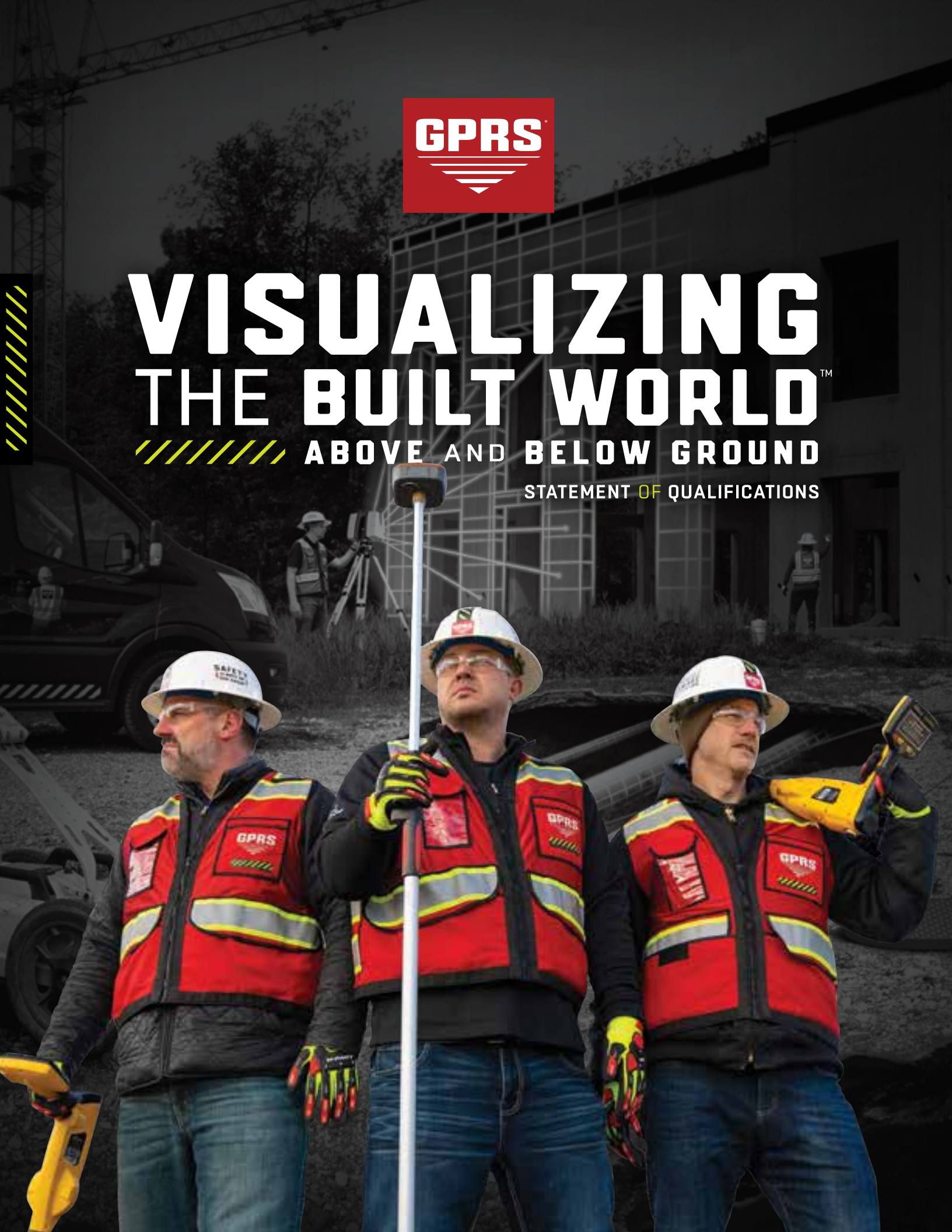




TABLE OF CONTENTS

- 02-03 /// THE GPRS VALUE/PROVEN ACCURACY
- 04-05 /// HISTORY OF PERFORMANCE/NATIONAL FOOTPRINT
- 06-07 /// SAFETY STATISTICS/RISK MANAGEMENT
- 08-09 /// TEAM MEMBERS/PROJECT MANAGERS
- 10-13 /// THE GPRS ACADEMY
- 14-15 /// SUBSURFACE INVESTIGATION METHODOLOGY
- 16-17 /// LIFE CYCLE SOLUTIONS/PROJECT CYCLE TIMELINE
- 18-21 /// UTILITY LOCATING/CASE STUDY
- 22-25 /// VIDEO PIPE INSPECTION/CASE STUDY
- 26-29 /// CONCRETE IMAGING/CASE STUDY
- 30-31 /// MAPPING & MODELING
- 32-35 /// LEAK DETECTION/CASE STUDY
- 36-39 /// 3D LASER SCANNING/CASE STUDY
- 40-41 /// SITMAP
- 42-43 /// CUSTOM SERVICE PLANS/PARTNERSHIP PLUS
- 44-45 /// JOIN US

THE GPRS STORY

Founded in 2001, GPRS Intelligently Visualizes The Built World™ above and below ground. We are the nation's largest utility locator with Project Managers based in every primary market in the United States. Our services include Utility Locating, Concrete Scanning, 3D Laser Scanning, Video Pipe Inspection, and Leak Detection.

With GPRS, clients can ensure that our rigorously trained Project Managers using state-of-the-art technology deliver the most accurate information. GPRS leads the industry – providing outstanding service and cutting-edge technology – keeping projects on time, reducing safety risks, and putting relationships with our clients first.

GPRS has completed hundreds of thousands of projects with over a **99.8%** accuracy rating. Join us in the pursuit of 100% subsurface damage prevention ■



CREATING AN ACCURATE DIGITAL TWIN



UTILITY LOCATING



MAPPING & MODELING



VIDEO PIPE INSPECTION



CONCRETE IMAGING



LEAK DETECTION



3D LASER SCANNING

/// THE GPRS VALUE



NATIONWIDE SERVICE

We have team members in every major metropolitan area in the United States, ready to handle any project nationwide.



RAPID RESPONSE

Time is always critical in any construction project. We understand this and have developed our operations so we can be on site within 48 hours.



CONSULTATIVE APPROACH

Our Project Managers are trained to ask questions and provide you with answers. This consultative approach helps us quickly identify your subsurface issues and ensure we provide valuable solutions to keep your job moving.



PROVEN RESULTS

We deploy the best equipment operated by expert Project Managers. Since our inception, GPRS has completed hundreds of thousands of projects in North America with a 99.8%+ accuracy rating.

/// PROVEN ACCURACY

Since 2017, we have completed over 300,000 projects with a 99.8% accuracy rate along with a 99%+ approval rating according to our customer satisfaction survey. Historically, nearly 80% of our business is either repeat or referral. GPRS focuses on long-term performance and recognizes that repeatable accuracy will ensure customer satisfaction and business longevity ■

SINCE 2017 THERE HAS BEEN A
99.8 % RATE
OF ACCURACY
 IN THE **300,000+**
PROJECTS COMPLETED



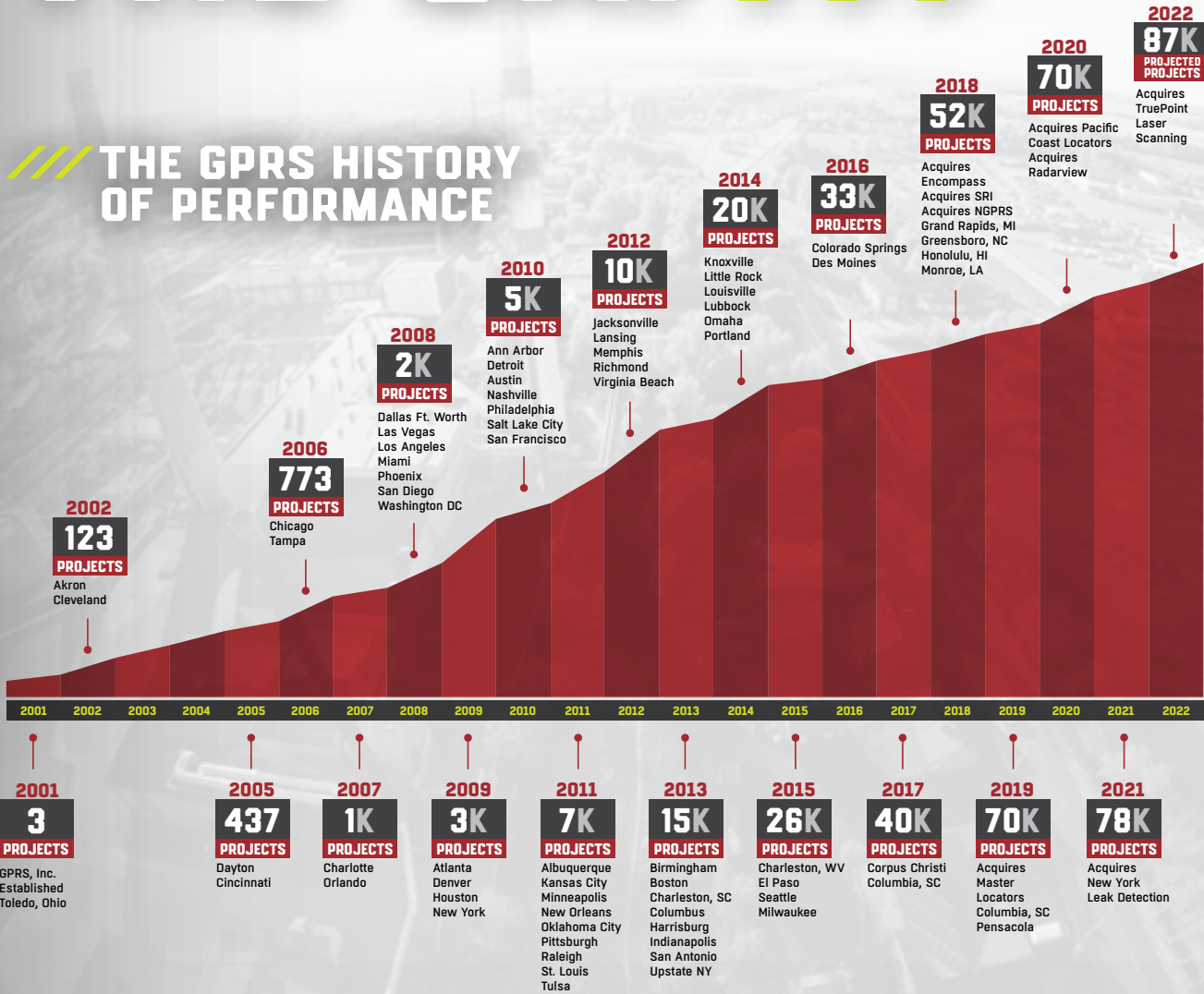
WIDENING THE GAP

THE GPRS NATIONAL FOOTPRINT

Ground Penetrating Radar Systems provides our services throughout all major metropolitan areas in the United States. Our footprint ensures we can offer rapid response to your job sites and projects, often within 24 hours. We have over 300 highly trained personnel that are able to commit to large projects, obscure geographic locations, and unique job site requirements ■



THE GPRS HISTORY OF PERFORMANCE



WIDENING THE GAP

Widening the Gap means that we aren't looking to industry norms to dictate how well we perform. To push the industry forward, we want to widen the gap between our work and the industry standard.

DID YOU KNOW? 1 MILLION HOURS WORKED IN 2021

DID YOU KNOW? GPRS DROVE OVER 8.7 MILLION MILES IN 2021

SAFETY

ALWAYS ON OUR RADAR

**SAFETY AND DAMAGE
PREVENTION ARE OUR
TOP PRIORITY**

2021 SAFETY STATISTICS

Safety is one of our core values. Our safety focus has earned us an impressive record:

TOTAL MAN HOURS 1,000,000+	AVERAGE NUMBER OF EMPLOYEES 400+	EMR 0.47	LOST TIME INCIDENTS 0
--	--	--------------------	-------------------------------------

SAFETY TRAINING

We are firm believers in continuous safety education for all of our employees:



SAFETY PARTNERSHIPS

GPRS is proud to partner with several leading safety compliance organizations:



RISK MANAGEMENT

GPRS services reduce the risk for you, your team,
and your assets ■

- 📈 BUDGET OVERRUNS
- 🕒 PROJECT DOWNTIME
- 🏠 PROPERTY DAMAGE
- 🗣️ DAMAGED REPUTATION
- 🚑 INJURIES & ACCIDENTS

INSURANCE COVERAGE

GPRS is prepared to meet the insurance and safety demands
of the most rigorous project-specific requirements.

- Commercial general liability insurance policy: 1-million-dollar limit with a 10-million-dollar umbrella policy.
- Coverage includes products and completed operations.
- Commercial policies for Automobile Liability and Workers Compensation.
- Professional/Pollution Liability policy with a 5-million-dollar limit.



KEEP THE
ENGINE
GOING

WHAT'S UNDERNEATH MATTERS.™

TEAM MEMBERS

GPRS is committed to providing opportunities and development for our people, who offer sensational service for our customers. The investment GPRS makes into its team members is rooted in our understanding that each team member is a crucial differentiator in our company's success.

TEAM DEVELOPMENT

Project Managers begin with a 3-month training program that marries classroom teaching and field mentorship. This program continues throughout their career in advanced field training courses. All field personnel are part of an industry-leading promotion track that measures their field accuracy, customer service, and professionalism. We invite them to join the GPRS Leadership Development Program, focusing on personal growth in leadership and business.

TEAM CHARACTERISTICS

The most critical component of our team members' work has always been their character. Each team member exhibits our core values both inside and outside the organization. When you combine personal character, team chemistry, and industry-leading competency, the result is a sensational service for our customers.

CORE VALUES

-  **INTEGRITY**
-  **GROWTH MINDEDNESS**
-  **SAFETY**
-  **MUTUAL RESPECT**
-  **TEAMWORK**

PROJECT MANAGERS

AT GPRS, WE REFER TO OUR FIELD TECHNICIANS AS PROJECT MANAGERS. WHY?

START-TO-FINISH PROJECT MANAGEMENT



Our team members can assist your project from the scheduling and site walk phase through the reporting and billing phase. GPRS Project Managers are true professionals that deliver industry-leading customer service.

CLEAR & ACCURATE MARKINGS / DELIVERABLES



Our scan results are marked on the surface clearly and understandably, and we ensure all markings, maps & models are discussed before leaving a job site. We also offer permanent records such as CAD and GPS satellite image overlays, and a wide variety of 2D & 3D CAD & BIM models for our Laser Scanning clients.



CLEAR COMMUNICATION

Our team members ask the right questions before arriving on site. While on site, they will do both a pre-job walk and a post-job walk.

A CAREER, NOT A JOB



Our field personnel are not just technicians, which is why we refer to them as Project Managers. They work beside a client through the entire process, providing excellent service. This is their career, their craft, and their trade. The result? An elite service.



WE HAVE **1,200+** YEARS OF FIELD EXPERIENCE

CONSISTENCY
EDUCATION
TRAINING
QUALITY
SAFETY
LEADERSHIP
ACCURACY

STARTS HERE

THE GPRS ACADEMY

The GPRS Academy leads the industry by providing a structured and comprehensive approach to equipping Project Managers to locate utilities, scan concrete, and 3D laser scan sites.

Our trainers give Project Managers the education they need through a classroom setting and a hands-on approach.



EXPERT INSTRUCTION

- GPRS Project Managers are taught by industry experts with decades of field experience.
- Trainees are taught how to interpret complex ground penetrating radar images and collect precise as-built site data.
- All training is conducted through an unparalleled utility locating, concrete imaging and 3D laser scanning academy.

OUR TRAINING FACILITY

- Our Project Managers are thoroughly trained in our state-of-the-art, world-class training facility.
- All PMs are trained on a specially outfitted, 3,000 sq ft concrete slab containing post-tension cables, reinforcements, and conduit.
- Team members also gain real-world experience in a controlled, safe environment with our simulated indoor gas station and elevator shaft.

PRACTICAL APPLICATION

- Each Project Manager completes up to 3 months of rigorous training.
- This training includes shadowing in the field, executing the scanning process under the supervision of a trainer, and more.
- Our Project Managers leave the program with a greater than 99.8% subsurface scanning accuracy.

SUBSURFACE INVESTIGATION METHODOLOGY

- GPRS implements a rigorous subsurface damage prevention methodology: Subsurface Investigation Methodology, or SIM.
- The SIM Specification standard is the industry leading, metrics-based guideline for underground locating contractors.
- All our field staff are SIM certified. They complete weeks of academy training in 101, 201, and 301.



AT GPRS, OUR TEAM MEMBERS ARE WORKING ON SOMETHING

BIG



INTRODUCING THE BIGGER, BETTER **GPRS ACADEMY**

For the past two decades, GPRS has been the standard in training and quality service. The desire to reach 100% Subsurface Damage Prevention pushed us to think beyond the standard manufacturer training that is typically included with the purchase of scanning equipment. With the launch of the GPRS Training School nearly 10 years ago, GPRS was able to Widen the Gap between us and the industry norm.

The combination of classroom training, mentorship, real-world training sites, test slabs, and training slabs have contributed to our scanning accuracy rate of 99.8%. But in our relentless pursuit of 100%, we had to raise the bar. With the completion of the GPRS Academy, that vision is one step closer to reality. This state-of-the-art training facility features:

- 3,000 sq ft continuous concrete training slab complete with real-world scenarios like post-tension cables, rebar, electrical conduits, columns, and beams.

- Training slab can be sectioned off into 4 separate classrooms that allow for advanced training – each classroom progressing in difficulty.

- 3,000 sq ft indoor simulated gas station that is complete with USTs, buried utilities, light poles, and other related piping.

- Simulated elevator shaft complete with curving and terminating post-tension cables, extra reinforcement, and densely spaced electrical conduits.

- 3,000 sq ft slab-on-grade training area that is complete with conduits, reinforcement, shallow utilities and more.

- Video Pipe Inspection training area that features sewer and water lines, including sewer laterals for training with VPI cameras.



MATT ASTON CUTS THE RIBBON AT OUR NEW FACILITY



TRAINING SLAB PRE-POUR



TRAINING SLAB POST-POUR



TRAINING SLAB DURING A CLASS





/// SUBSURFACE INVESTIGATION METHODOLOGY

POWERING THE INDUSTRY STANDARD ///

Proper training, multiple technologies, and a field-tested methodology are the key to a successful utility locate. GPRS has mastered all three components by utilizing the SIM Certification.

✓ TRAINING

The industry standard recommends 8 hours as a minimum for training and 60 hours practicing GPR to become certified NDT Level I in Ground Penetrating Radar. By contrast, SIM requires 320 hours of mentorship in the field prior to 80 hours of classroom/hands-on training.

In addition, the unique combination of classroom training and on-site supervised field training reinforces what a Project Manager encounters on the job. The SIM curriculum allows them to go deeper into the technical aspects and knowledge needed to perform their jobs at the highest level.

✓ EQUIPMENT

Subsurface Investigation Methodology (SIM) requires multiple technologies to be used. With any investigation, more data points yield the best outcome. When SIM-qualified technicians locate a subsurface target such as a pipe, utility, or reinforcement with more than one technology, it confirms the accuracy of the locate. This redundancy also reduces the likelihood of missing a buried target. Redundant results bear more data points; by locating pipes and other targets with different methods utilizing each tool's strengths, technicians reduce the risk of missing key site information.

✓ METHODOLOGY

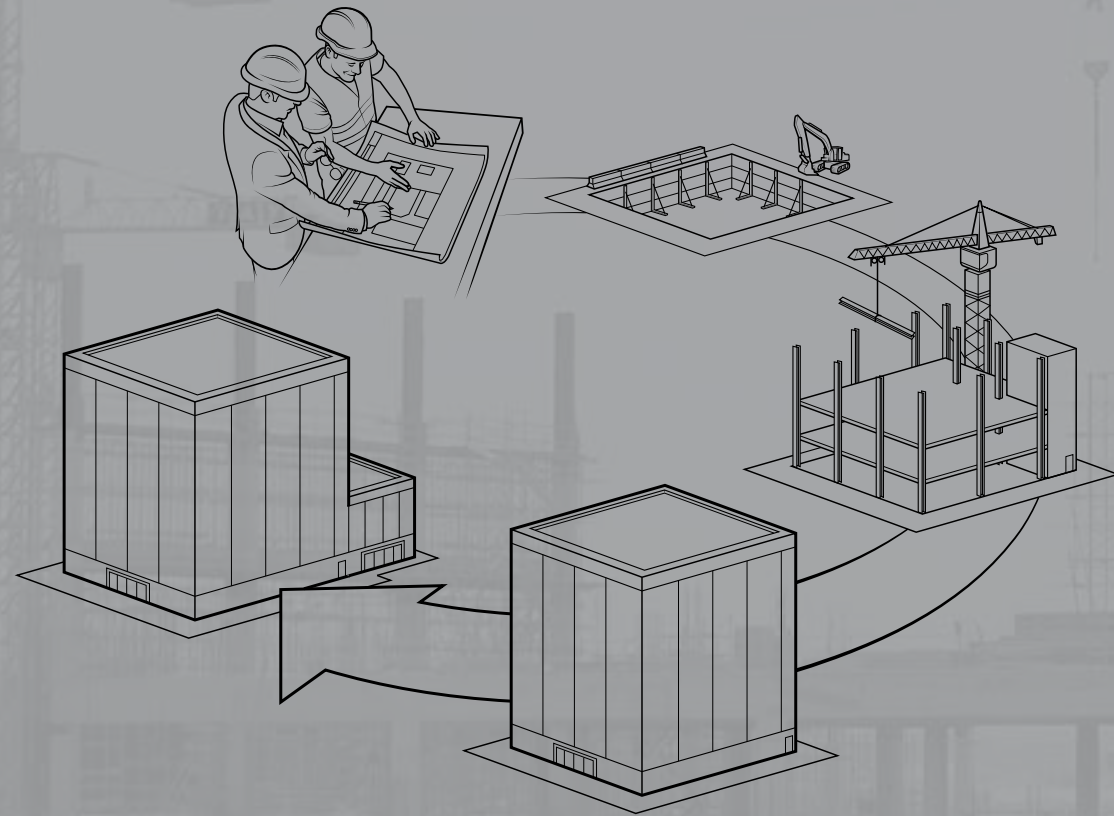
The SIM Certification is a tested process that allows Project Managers to acquire accurate and repeatable results. SIM is similar to a machine that requires multiple gears all working in unison for it to function properly. One of the most critical gears and steps in the SIM process is the repeated methodology that Project Managers must know for each project.

A solid, repeatable methodology guarantees that a concrete scanning, utility locating, or video pipe inspection project can be performed by a seasoned professional, and also by a new-to-the-business technician. When the SIM methodology is followed, it allows technicians to achieve the same results, regardless of their experience in the field.

SIMSPEC.ORG

DID YOU KNOW?  **99.8% ACCURACY RATE**
ON OVER 300,000 PROJECTS

PROJECT CYCLE SOLUTIONS



LIFE CYCLE SOLUTIONS

GPRS can provide solutions for the entire life cycle of your projects.

PLANNING DESIGN

We can provide information on underground utilities, known and unknown, and visualize your entire facility above and below ground, before plans and development are finalized. GPRS helps you Visualize Your Built World™ through utility locating, concrete scanning, 3D laser scanning, leak detection, and video pipe inspection to provide the complete picture. Our mapping services supplement any existing maps to assure accurate measurements of existing assets, saving time and money ■

CONSTRUCTION

Prior to trenching, directional drilling, other excavation work and demolition during the construction and renovation of subsurface and aboveground infrastructure, it's critical to pinpoint assets to develop a plan for safe crossing. GPRS provides the accurate information needed to complete the project safely ■

O&M/REMODEL

Construction and renovations typically require subsurface excavations and numerous aboveground measurements. GPRS is well equipped to perform one-call locates for public and private property assets. As a project evolves, we can continue to provide support as we keep detailed reports of every project we complete ■

GPRS PROJECT CYCLE TIMELINE

CGA/DIRT 2020

468,000 LINE STRIKES

■ Utility strike every 62 seconds (public jobs or jobs reported)

\$30 BILLION IN DAMAGES
(direct and indirect)

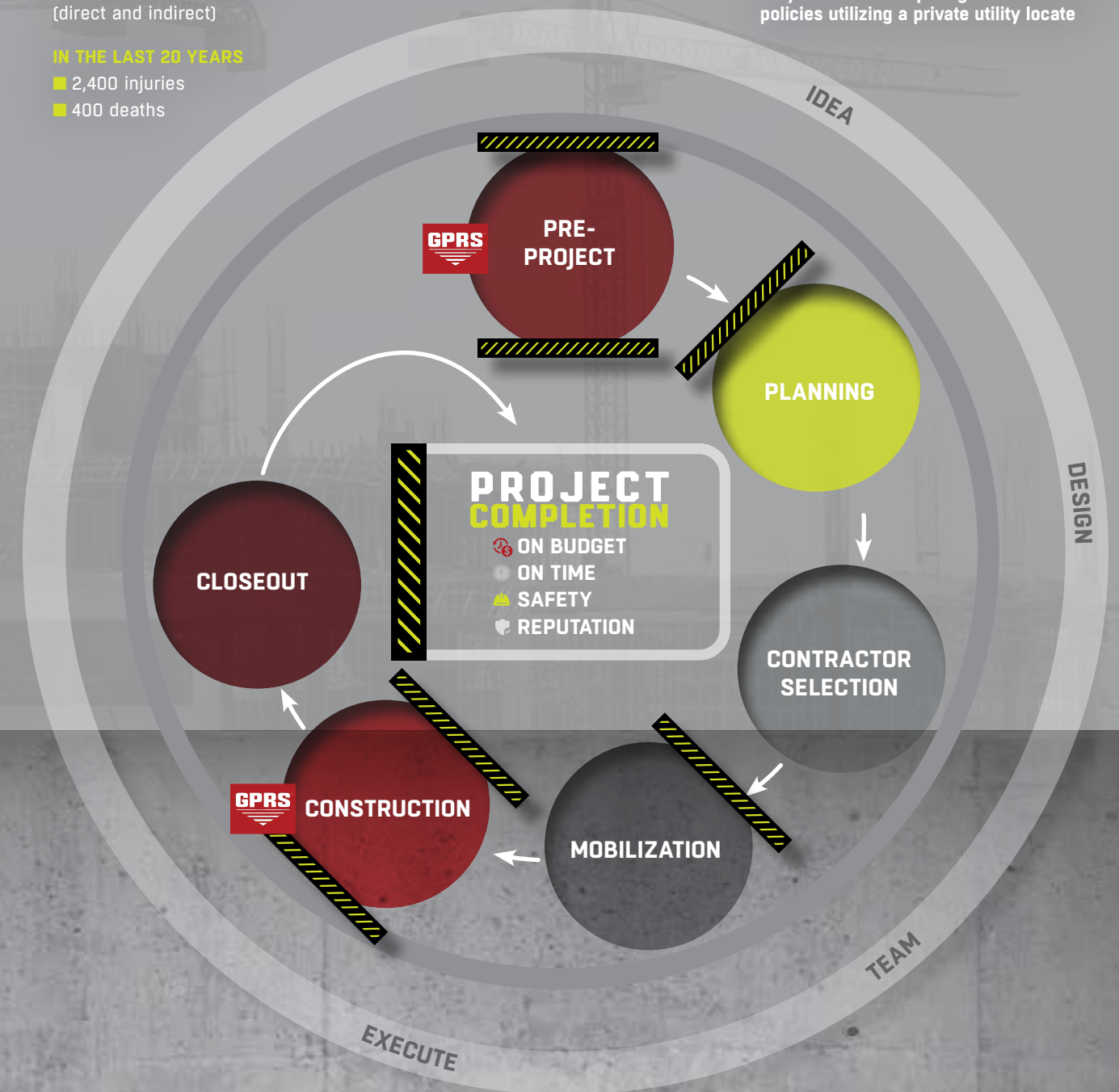
IN THE LAST 20 YEARS

■ 2,400 injuries
■ 400 deaths

ROOT CAUSE

- Insufficient dig policy
- Mismarked utilities
- No locate ticket completed

Only 35% have adopted ground disturbance policies utilizing a private utility locate



WHAT IS **YOUR** GROUND DISTURBANCE POLICY?



/// GPRS SERVICES

UTILITY LOCATING

Utility detection is critical to any construction project where subsurface excavation is planned to ensure the overall timely success of your project. To achieve a comprehensive and safe utility locate, a private utility locator must be utilized to mark buried facilities on private property. The use of proper training, multiple technologies, and a field-tested methodology are essential to properly locating all site utilities.



PRIVATE PROPERTY LOCATING



DRILLING & BORING CLEARANCE



FACILITY MAPPING



ONE-CALL UTILITY LOCATING

GPRS exceeds industry performance when it comes to the accuracy of our utility locating. Our team of Project Managers can continue the support of your project by creating a one-call program for when your project transitions to the O&M phase.



“GPRS HAS SHOWN A DEDICATION TO THEIR CRAFT, AN IMPRESSIVE WORK ETHIC, AND MOST IMPORTANTLY, EXCEPTIONAL COMMUNICATION SKILLS.

DAVE HAZEL | ENERGY RENEWAL PARTNERS



DID YOU KNOW?



COMPLETED 50,000+
UTILITY PROJECTS IN 2021

/// A GPRS CASE STUDY 01

TASK:

Installing new power utilities through directional drilling.

PROJECT APPLICATION:

Complete installation for new power distribution utilities.



PROBLEM

- Line strikes were occurring on the project, causing damage to local residential areas, delays to the project, and additional expenses.
- The 811 utility locates were not reliable. The third-party locator that was being utilized was not providing adequate locates, still resulting in line strikes.
- A tight deadline and extensive project coordination were required for this project.



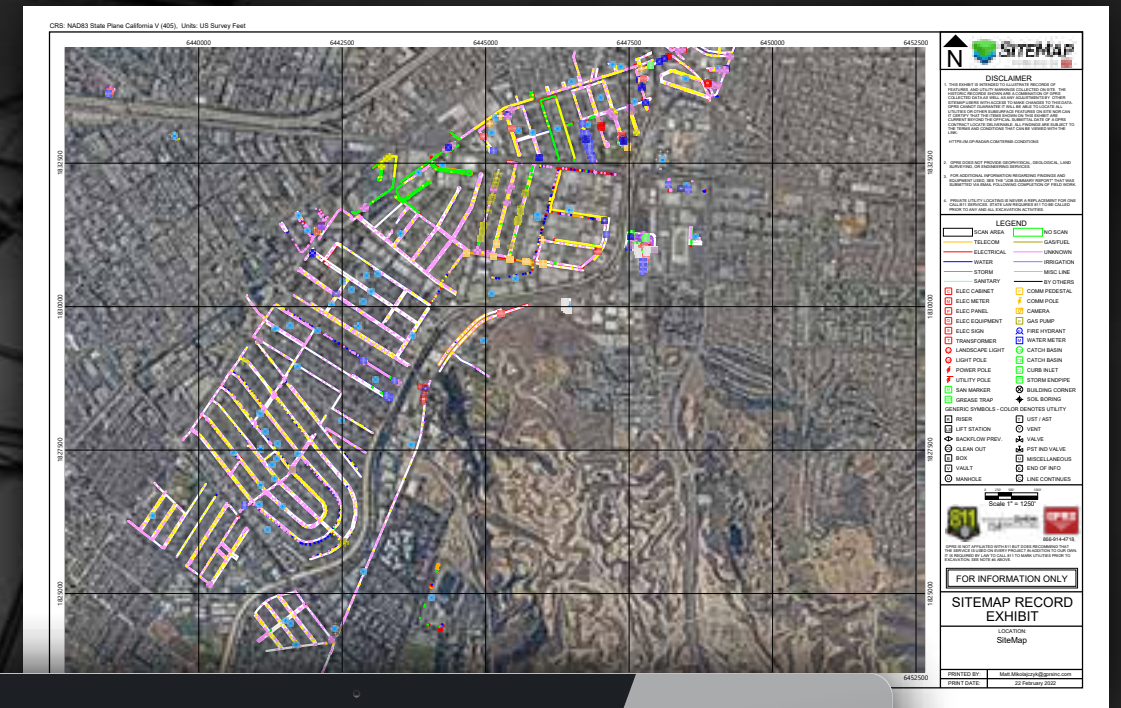
SOLUTION

- GPRS has a 99.8%+ subsurface scanning accuracy rate, meaning that we keep projects on time, on budget, and safe.
- Our Project Managers are trained in a world-class facility with expert faculty, giving them the experience required to scan the most complex subsurface infrastructures.
- GPRS' repeatable methodologies make our Project Managers quick and efficient.



BENEFITS

- **On Time:** Due to our rapid response, we kept the project moving, reducing downtime.
- **On Budget:** There was no damage to utilities, keeping the project on track from the design to the execution phase.
- **Safety:** Protecting team members from utility line strikes helped keep all workers safe.
- **Reputation:** The customer has increased their productivity and remain in good standing for project renewals.



GPRS
UTILITY
FINDINGS
MAP

/// GPRS SERVICES



VIDEO PIPE INSPECTION

Video Pipe Inspection (CCTV) is a sewer inspection service using industry-leading video cameras to prevent problems by inspecting underground water, sewer lines, and lateral pipelines. Our NASSCO certified technicians can locate clogs, investigate cross bores, find structural faults and damage, and conduct lateral sewer line inspections.

“YOUR TEAM WAS UNBELIEVABLY HELPFUL AND RESPONSIVE. EVERY TIME THAT WE REQUEST GPRS VIDEO PIPE SERVICES, YOU TAKE CARE OF BUSINESS.

JORGE RABANAL | SWINERTON

BREAKS, DEFECTS & CROSS BORES.

GPRS FINDS THEM.

CCTV PIPE INSPECTIONS

CROSS BORE MITIGATION

MAINLINE INSPECTIONS

LATERAL INSPECTIONS

MANHOLE INSPECTIONS

UTILITY LOCATING



DID YOU KNOW?

GPRS WORKS FOR

96%

OF THE ENR TOP 100 CONTRACTORS

/// A GPRS CASE STUDY 02

GPRS OFFERS COMPREHENSIVE
NASSCO REPORTS WITH **EVERY**
VIDEO PIPE INSPECTION.

TASK:
Contaminated Groundwater Infiltration.



PROBLEM

- The client requested us to locate and inspect the storm sewer system, including potential laterals, at a site with known soil and groundwater contamination.
- There were no known documents/maps of the storm sewer system or potential laterals.
- The client identified higher contaminant concentrations at the storm sewer outfall than at upstream catch basins.



SOLUTION

- We utilized our VPI services to locate and map all storm sewer lines, laterals, and flow direction to the outfall.
- GPRS can accurately locate and map pipes using lateral launch cameras, robotic CCTV crawlers, and push cameras.
- We identified the area of groundwater intrusion into the storm sewer system, which assisted in determining which portion of the system needed to be repaired.

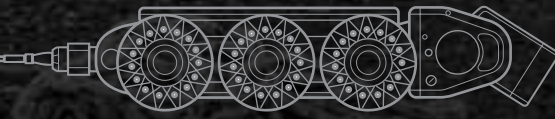
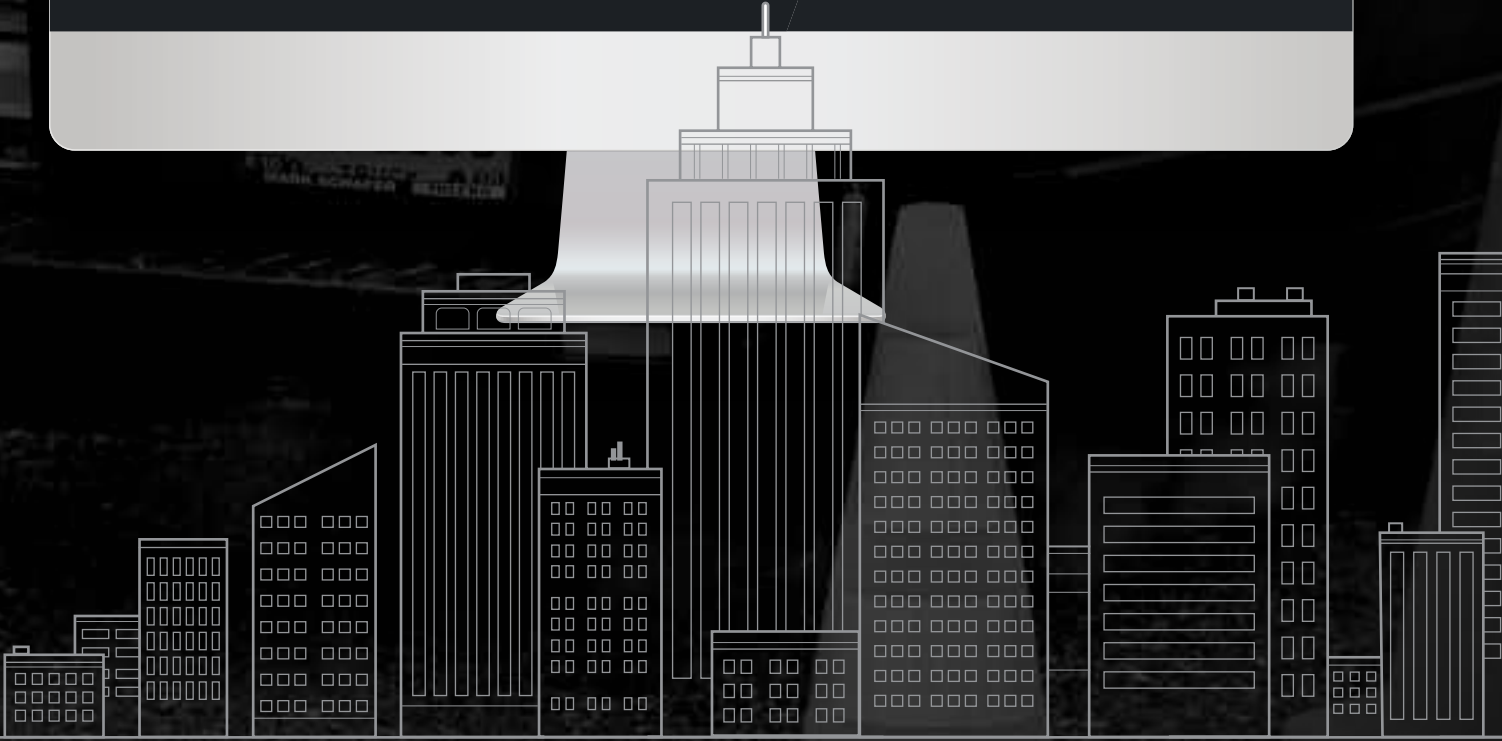


BENEFITS

- **On Time:** Due to our rapid response, we kept the project moving, reducing downtime.
- **On Budget:** GPRS protected the client's budget by preventing expensive and unnecessary excavations.
- **Safety:** GPRS provided accurate storm sewer locations and depths as well as identifying the contaminated groundwater intrusion. The client was able to dig safely, repair the line and eliminate the contaminated groundwater infiltration.
- **Reputation:** By preventing the client from using a trial-and-error approach, they can quickly and accurately deliver their results to their customers.
- GPRS provides PDF and KMZ files for accurate storm sewer infrastructure maps.



**GPRS
PROJECT
FINDINGS**





/// GPRS SERVICES

CONCRETE IMAGING

Because concrete drilling comes with risk, GPRS Project Managers are equipped with multiple technologies to clear areas before core drilling and anchoring. Our scanning and imaging services can be completed on any surface, including concrete slabs, walls, columns, and beams. Upon completing the scanning process, you will have a clear layout of critical targets or impediments such as post-tension cables, rebar, beams, and conduits.

 **CONCRETE CORING APPLICATIONS**

 **PRE-PLANNING AND DESIGN**

 **SAW CUTTING APPLICATIONS**

 **STRUCTURAL ANALYSIS**

WHAT'S HIDDEN IN YOUR CONCRETE?

GPRS FINDS IT.



When GPRS places a **GREEN BOX** within a layout prior to cutting or coring concrete, we guarantee that area to be

FREE OF OBSTRUCTIONS

DID YOU KNOW?



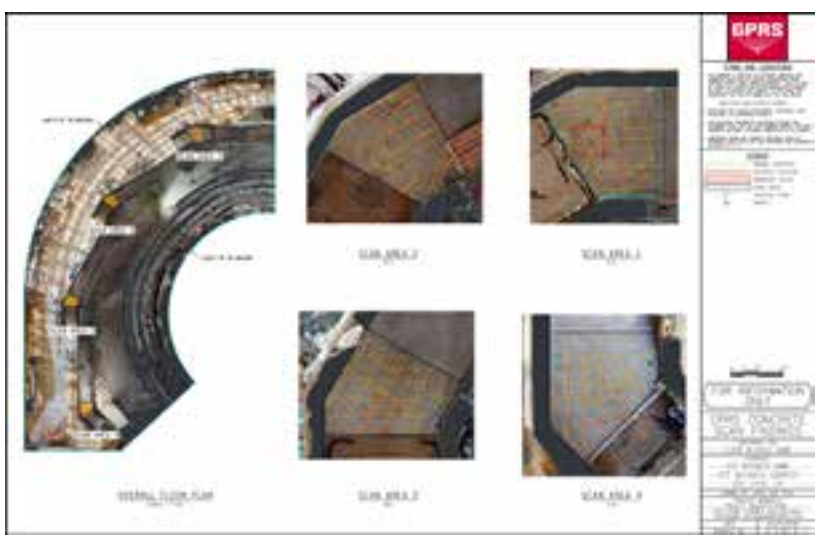
**WE COMPLETED 25,000+
CONCRETE PROJECTS IN 2021**

/// A GPRS CASE STUDY 03

CUSTOMER:
Turner Construction

TASK:
The Denver Center for the Performing Arts hired Turner Construction to complete concrete removal for a large tenant improvement project, requiring extensive concrete infrastructure changes.

PROJECT APPLICATION:
Turner Construction was required to alter the layout and access points of the structure extensively. Hundreds of concrete core holes were needed to install new electrical, plumbing, HVAC, and fire systems.



PROBLEM

- Due to the building's age and the amount of concrete removal required from walls and floors, it was highly critical not to strike existing reinforcements within the concrete in areas that were not being removed.
- During construction, damage to the existing infrastructure within concrete slabs, walls, and under slabs was a significant safety concern for the owner and the Turner team.
- The project required tight deadlines and extensive project coordination.



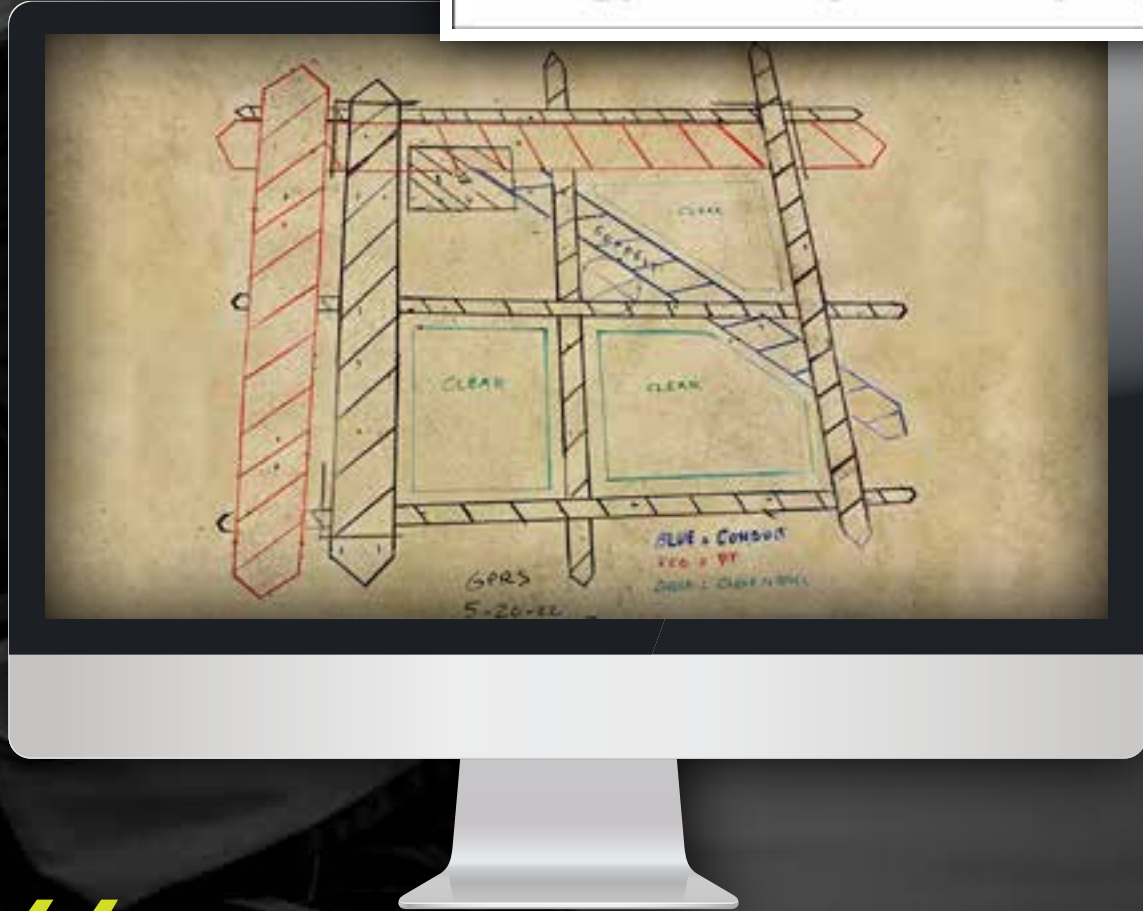
SOLUTION

- Our Project Managers are trained in a world-class facility with thousands of square feet of concrete slab, giving them the experience required to scan the most complex subsurface infrastructures.
- GPRS has a 99.8%+ subsurface scanning accuracy rate, meaning that we keep projects on time, on budget, and safe.
- We can scan dozens of concrete locations during the day. GPRS' repeatable methodologies make our Project Managers quick and efficient.



BENEFITS

- **On Time:** Due to our rapid response, we kept the project moving, reducing downtime.
- **On Budget:** There was no concrete damage allowing the project to stay on budget.
- **Safety:** Protecting post-tension cables and structural steel from damage helped keep all workers safe.
- **Reputation:** No strikes or delays meant that the client's valuable reputation was protected.



THANK YOU FOR ALL GPRS DOES FOR ME AND MY TEAM. I CONSIDER GPRS A BIG PART IN OUR SUCCESS IN KEEPING US SAFE. KEEP UP THE GREAT WORK!

MARK PICCIRILLO | NATIONAL GRID



**COMPLIMENTARY
KMZ & PDF MAPS**
WITH EVERY UTILITY LOCATE

COMPLIMENTARY ACCESS TO
SITEMAP[®] POWERED BY GPRS

READY TO PUT YOUR NEXT PROJECT ON THE MAP?

VISUALIZE YOUR
SUCCESS WITH GPRS.



/// GPRS SERVICES

MAPPING & MODELING

GPRS can increase the level of communication and safety on your project by providing clear and understandable maps. GPRS provides complimentary KMZ and PDF maps with every utility locate. When you upgrade to Premier Maps and Models created by **The GPRS Mapping & Modeling Team**, you are showing your commitment to keep your project safe, on time, and on-budget.



MAPS (2D)

MAPS^{PLUS}[™]

- Site Plan
- Floor Plan

MAPS^{PREMIUM}[™]

- Hi-Res Site Plan
- Floor Plan with Linework

MAPS^{PREMIER}[™]

- Hi-Res Site Plan with Dimensions
- Floor Plan with Linework and Dimensions

MODELS (3D)

MODELS^{PLUS}[™]

- Virtual Tour
- Point Cloud
- Mesh Files

MODELS^{PREMIUM}[™]

- 3D Model

MODELS^{PREMIER}[™]

- 3D BIM Model
- Drone Point Cloud (LiDAR)



CLOUD-BASED INFRASTRUCTURE MAPPING SOLUTION

MAP VIEWER

DIGITAL PLAN ROOM

GPRS WORKS FOR

DID YOU KNOW?

96%


**OF THE ENR TOP
50 CONTRACTORS**



/// GPRS SERVICES

LEAK DETECTION

GPRS specializes in all types of leak detection, including municipal, industrial, and residential. Our water loss specialists have the equipment to locate your leak and the expertise to provide many other insights into your water distribution system. GPRS does this by utilizing a variety of equipment paired with our industry-leading SIM process. The equipment and methods used include acoustic leak detectors, leak noise correlators, video pipe inspection, ground penetrating radar, and electromagnetic locating, among others.

 **ROUTINE WATER LOSS INSPECTIONS**

 **ACOUSTIC LEAK DETECTION**



“THE GPRS LEAK DETECTION TEAM SAVED THE DAY WHEN THEY IDENTIFIED AN UNDERGROUND WATER LEAK THAT WE COULDN'T LOCATE. THEIR EXPERT TEAM PINPOINTED THE LEAK QUICKLY SO WE COULD MAKE VITAL NECESSARY REPAIRS.

CRAIG ORLOWSKI | INSITE REAL ESTATE, LLC.



SUBSURFACE LEAKS

HAPPEN.
GPRS FINDS THEM.

/// A GPRS CASE STUDY 04

CUSTOMER:

Insite Real Estate (Willow Run Plant, Ypsilanti, MI)

TASK:

To pinpoint a leak in their fire suppression system that had been leaking for close to 11 months.

PROJECT APPLICATION:

Use of the Leak Noise Amplification System (DXMic/S30 listening devices), and the Leak Noise Correlator (Tri Corr Touch Correlator) to successfully pinpoint the leak.



PROBLEM

■ For close to 11 months this fire loop was losing 1 gallon per second. They had multiple jockey pumps constantly running to keep the pressure up to 150 psi.



SOLUTION

■ We listened to every contact point (hydrant, piv, valve, meter pit, etc.) and concluded that the noise was predominately near two hydrants. We correlated to the pipe and pinpointed the leak on the sidewalk.



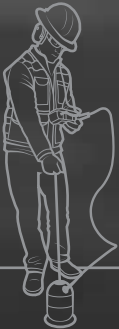
BENEFITS

■ The customer was able to dig only where the leak was located, instead of digging up the entire fire loop or a certain section of the pipe. Another benefit was they were able to dig down, repair the leak and not lose any more water or money.



THE GPRS LEAK DETECTION TEAM LOCATED AN UNDERGROUND WATER LEAK THAT WE WERE HAVING TROUBLE LOCATING. THEIR TEAM PINPOINTED THE LEAK LOCATION SO WE COULD MAKE THE NEEDED REPAIRS.

CRAIG ORLOWSKI | INSITE REAL ESTATE, LLC.





VIRTUAL WALK THRU

We offer a 3D virtual walkthrough of any of our BIM models, so you can virtually tour your site as if you were in the building itself.

/// GPRS SERVICES

3D LASER SCANNING

Time is money. Traditional as-built drawings waste time because they are often inaccurate and out of date, leading to unexpected problems and critical delays. When you choose to use as-builts provided to you by GPRS/TruePoint, you can avoid time-consuming problems and ensure a solution that overcomes the usual as-built challenges. Our 3D Laser Scanning services can provide the link between unknown existing conditions and a true digital twin.

BUILD AT THE SPEED OF INSIGHT

REDUCE INACCURATE CONSTRUCTION DOCUMENTS, CHANGE ORDERS & PROJECT DELAYS.



AS-BUILT CREATION



3D BIM MODELING



CLASH DETECTION/PREFABRICATION



MIXED REALITY DEVELOPMENT MODELS

/// A GPRS CASE STUDY 05

CUSTOMER:

SPI Engineering

TASK:

3D laser scan a Water Treatment Plant and deliver raw point cloud data to the Engineering Firm.

PROJECT APPLICATION:

SPI Engineering was generating construction drawings to expand an existing Water Treatment Plant.



PROBLEM

- No as-built drawings existed for the Water Treatment Plant. The firm needed accurate field conditions to create new layouts and plan for the facility expansion.
- Exact dimensions were required to plan modifications and fabricate pipe.
- The Engineering Firm was located in California, the Water Treatment Plant was located in Texas. It was important that they had accurate information digitally to begin design planning.



SOLUTION

- Using a Leica ScanStation, GPRS/TruePoint's project manager completed 40 laser scans of the building to capture architectural, structural and MEP features.
- The client received a colored point cloud in ReCap (.rcp files and related supporting files) and JetStream Viewer files.



BENEFITS

- Laser scanning is an extremely efficient and accurate way to gather data necessary to put together construction drawings of a building or space.
- 3D laser scanning eliminated the firm's travel to the Water Treatment Plant. In one day on site, enough scans were taken to create a complete colored point cloud of the space.
- 3D laser scan data provided the Engineering Firm the critical tie points on top tanks and lines, information that was crucial to the expansion.



I HAVE USED 3D POINT CLOUDS FOR MANY YEARS. I USE THE RAW POINT CLOUD DATA TO DO MY LAYOUTS ACCURATELY TO THE FIELD CONDITIONS."

MIGUEL SANCHEZ | CAD DESIGNER
SPI ENGINEERING

VIEW YOUR INFRASTRUCTURE WITH SITEMAP.



SiteMap is a singular subsurface infrastructure mapping solution that allows users to experience their facility data with ease. SiteMap provides map data, subsurface utility information, and a common repository for facility artifacts. This geospatial solution also acts as an all-inclusive digital storage space for blueprints, as-built drawings, maintenance logs, permits, and more. The beauty of SiteMap is that it can geolocate every piece of information so the content can be located and cross-referenced on demand. SiteMap simplifies facility management by providing its users with a powerful all-in-one solution.



ORGANIZATION SIMPLIFIED

It's common for subsurface infrastructure data to be fragmented. SiteMap alleviates the obstacles that hinder effective organization, such as:

- DRAWINGS BEING STORED IN MULTIPLE PLACES
- MAINTAINING OUTDATED AS-BUILT DRAWINGS
- RETAINING PARTIAL OR INCOMPLETE SITE DATA



DIGITAL PLAN ROOM

The Digital Plan Room acts as the central repository for facility documents. These documents are directly viewable in the Map Viewer when appropriately tagged with the location information. The Digital Plan Room is a secure space to store essential and relevant facility documents.

- FILE STORAGE
- HISTORICAL DRAWINGS
- SITE PHOTOS
- DRONE FOOTAGE
- DIGITIZED BLUEPRINTS

ORGANIZE YOUR ASSETS

- ACCURATELY MAPPED
- DIGITALLY STORED
- EASILY ACCESSIBLE

VIEW SITEMAP IN YOUR
OFFICE OR ON YOUR
MOBILE DEVICE

MAP VIEWER

The Map Viewer makes viewing facility data easy as it allows the user to attach locational data to specific uploaded documents. This feature enables facility managers to track and locationally designate documents for reference quickly. Additionally, this makes sharing and updating location documentation a more fluid experience.

- VIEWABLE, SEARCHABLE MAPS
- 3D MODELING VIEWER
- TAG SITE FEATURES TO MAPS



BEYOND BUSINESS AS USUAL

GPRS CUSTOM SERVICE PLANS

Rather than send a rigid rate sheet to prospective clients, GPRS can create a customized service plan. We consider our industry experience, national footprint, and operational/scheduling capacity to craft a customized plan just for you.



SCHEDULING

With one single point of contact for your company, GPRS can schedule utility locating, video pipe inspection, and concrete scanning projects for your site with one call.



PRICING

GPRS understands that clear, understandable, and consistent pricing is a big deal. While we can provide consistent pricing nationwide, we can craft a cost structure that makes sense for the scope of work you need.



APPROACH

Every campus, site, and facility have different challenges. Since our inception, GPRS has completed hundreds of thousands of projects and relies on that experience when crafting a site-specific plan for safety, scanning, and reporting.



We're excited to unveil our latest service program, **GPRS Partnership Plus™**.

GPRS Partnership Plus is an exclusive service agreement and is only available to our most valuable clients. You'll receive premium benefits and services when choosing GPRS Partnership Plus.

Join us in the pursuit of 100% subsurface damage prevention.

THE RIGHT CHOICE FOR SAFETY



GPRS WORKS FOR

DID YOU KNOW?

92% OF THE ENR TOP 50 CONTRACTORS 

JOIN US

& THESE COMPANIES IN

GPRS **VISUALIZING**
THE BUILT WORLD™
 ABOVE AND BELOW GROUND

“

OVERRUNS ON COST CAN BLOW A
 PROJECT BUDGET. WHEN GPRS SCANS
 CONCRETE OR FOR UTILITIES ON OUR
 PROJECTS, IT HELPS US LIMIT UNFORESEEN
 CHANGE ORDERS OR REPAIR COSTS.

MATT MORRIS, SWINERTON CONSTRUCTION | GENERAL SUPERINTENDENT



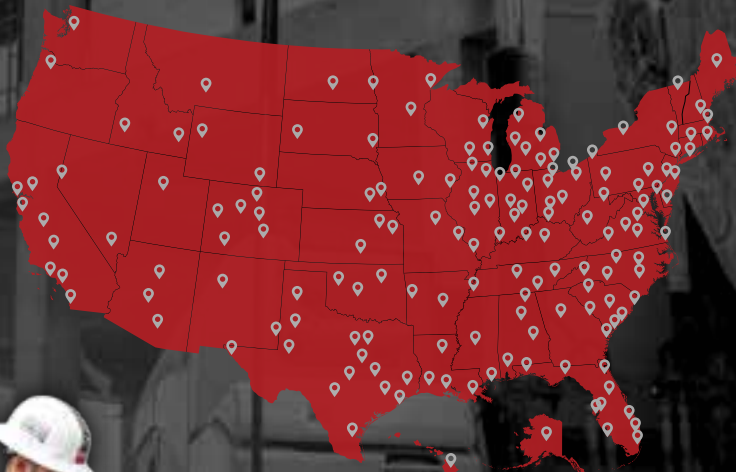
LET'S GET TO WORK

SCHEDULE A PROJECT

GPRS has an unmatched nationwide service network making it easy to find an expert Project Manager in your area. Please contact your local GPRS Project Manager for information, pricing, and scheduling needs.



/// **NATIONWIDE COVERAGE**



SCAN TO
FIND A



PROJECT
MANAGER
NEAR YOU



MAKE SCHEDULING EASIER WITH THE GPRS APP.
GET IT HERE:



CORPORATE OFFICE ✉ info@gprsinc.com ☎ 1.866.914.4718

GPRSINC.COM ///























































**PRIVATE
PROPERTY**
NO TRESPASSING



FARM
DRIVE
SLOW









5780

PUBLIC HEARING NOTICE

TO: All interested parties
FROM: [illegible]

DATE: [illegible]

TIME: [illegible]

LOCATION: [illegible]

PUBLIC HEARING NOTICE

TO: All interested parties
FROM: [illegible]

DATE: [illegible]

TIME: [illegible]

LOCATION: [illegible]

AFFIDAVIT RELATING TO PROPERTY EVALUATION

STATE OF FLORIDA

COUNTY OF SEMINOLE

Before me, the undersigned authority, personally appeared Christopher Owen Smith ("Affiant"), who, after being first duly sworn, deposes and says of his personal knowledge the following:

(1). My name is Christopher Owen Smith and I have assisted attorney Lonnie Groot with regard to the Nikolic Home Small Scale Future Land Use Map/Designation Amendment.

(2). My employment is with the City of Sanford as Project Planner, Urban Design Development Services, Planning Department, but I have assisted Mr. Groot in this matter as he reached out to me as I am a person who has a great deal of experience involving the maintenance of placement of gravesites that relate to cemeteries owned and operated by the City of Sanford.

(3). The purpose of this affidavit is to state that I toured the property which is the subject of the Nikolic Home Small Scale Future Land Use Map/Designation Amendment and I observed no area which indicated that any graves were, or are, located on the site.

(4). Also, I reviewed the ground penetrating radar (GPR) report that was submitted as part of the subject application and, based upon my review, I have concluded that the report is a one that was professionally accomplished and is consistent with sound and generally accepted practices relating to such GPR evaluations.

FURTHER AFFIANT SAYETH NOT.

AFFIANT

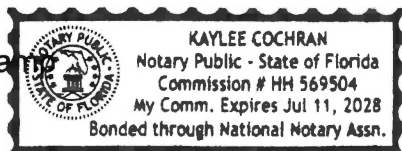


Christopher Owen Smith

ACKNOWLEDGMENT

This instrument was sworn to and subscribed before me by Christopher Owen Smith by means of ☐ physical presence or ☐ online notarization, this 4 day of September, 2025. He is ☒ personally known to me or ☐ produced _____ as identification.

Seal/Stamp





(Signature of Notary Public)

AFFIDAVIT RELATING TO PROPERTY EVALUATION

STATE OF FLORIDA


COUNTY OF SEMINOLE

Before me, the undersigned authority, personally appeared John Joseph Schmitz ("Affiant"), who, after being first duly sworn, deposes and says of his personal knowledge the following:

- (1). My name is John Joseph Schmitz and I have assisted attorney Lonnie Groot with regard to the Nikolic Home Small Scale Future Land Use Map/Designation Amendment.
- (2). In addition to being a Certified Public Accountant, I have been involved in the cemetery/funeral home industry for about 35 years and, indeed, consult on the subject of cemetery/funeral home management. I have been engaged in these activities within numerous states. At one point, I evaluated the cemeteries owned by the City of Sanford in the context of a potential private acquisition. In the course of that review, antiquated and historic gravesites were reviewed and evaluated as well as some potential gravesites that were apparently not authorized within the confines of the cemetery as a whole.
- (3). The three major items usually used to decide if a cemetery exists on a subject property are by reviewing the recorded history of the property, by using ground penetrating radar (GPR), and physical observation of subject and immediately surrounding properties. The purpose of this affidavit is to state that I toured the property which is the subject of the Nikolic Home Small Scale Future Land Use Map/Designation Amendment and I observed no area which indicated that any graves were, or are, located on the site. Also, I reviewed the comprehensive subject property history and the ground penetrating radar report that was submitted as part of the subject application.

FURTHER AFFIANT SAYETH NOT.

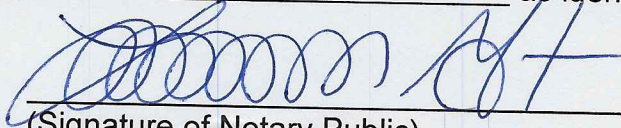
AFFIANT


John Joseph Schmitz

ACKNOWLEDGMENT

This instrument was sworn to and subscribed before me by John Joseph Schmitz by means of ☐ physical presence or ☐ online notarization, this 14th day of September, 2025. He is ☒ personally known to me or ☐ produced _____ as identification.

Seal/Stamp


(Signature of Notary Public)



September 5, 2025

ANALYSIS OF USE OF PROPERTY/NIKOLIC SMALL SCALE FUTURE LAND USE DESIGNATION AMENDMENT FROM PUBLIC, QUASI-PUBLIC

INTENT: The intent of this document is to demonstrate the fact that the future land use designation assigned to the subject real property does not allow the reasonable use of the subject real property for a private property owner and that the change in the future land use designation, which is the subject of the application filed by Mr. and Mrs. Nikolic, does not endanger any grave that may be located on the property **IF** one is (there being no evidence to such point).

A. CONTROLLING FLORIDA LAW:

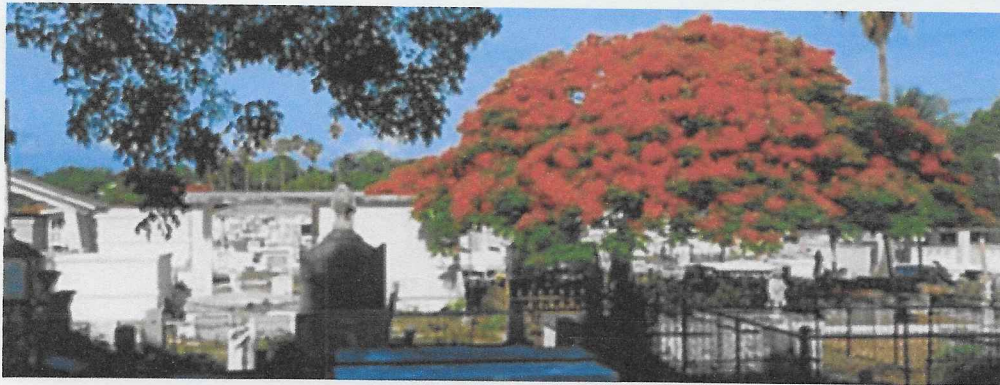
We recognize and understand, as previously stated, that the laws of the State of Florida must be adhered to and respected.

We provide the following in that regard:

Division of Historical Resources - Florida Department of State

What are the applicable laws and regulations?

STATUTES AND RULES RELATED TO HISTORIC AND ABANDONED CEMETERIES, AND TO UNMARKED HUMAN REMAINS



The beginning point for proper treatment and protection of human burials is state law. In Florida, a number of statutes address authorities and responsibilities concerning cemeteries, graves, and human remains. These laws reflect society's strong commitment to respecting and protecting the final resting places of all people regardless of culture, religion, race, gender, or length of time since burial. All human remains are afforded equal protection under the law.

The beginning point for proper treatment and protection of human burials is state law. In Florida, a number of statutes address authorities and responsibilities concerning cemeteries, graves, and human remains. These laws reflect society's strong commitment to respecting and protecting the final resting places of all people regardless of culture, religion, race, gender, or length of time since burial. All human remains are afforded equal protection under the law.

Illegal to disturb human remains

In simple terms, it is illegal to willfully and knowingly disturb human remains. See [Section 872.02, Florida Statutes](#), for the exact language. It is also illegal to disturb memorials such as fences, tombstones, markers, and even vegetation associated with a burial. There are very narrow exceptions for cemetery operators and for persons acting under the direction of the Division of Historical Resources. The law does not provide exceptions for private property owners or for family or community or tribal representatives.

Illegal to buy or sell human remains

It is also illegal to deal in dead bodies, that is, to buy, sell, or possess for the purpose of buying or selling. See [Section 872.01, Florida Statutes](#), for the exact language. The only exception is for medical education or research at an institution of higher learning. A more specific prohibition is in [Chapter 873, Florida Statutes](#), concerning the sale of human organs or tissue including bone. This statute may apply in the case of American Indian human remains such as skulls and bones that are sometimes bought or sold by artifact collectors.

Moving graves

Florida law allows the moving of buried human remains by a licensed funeral director with a valid burial transit permit. See [Section 497.384, Florida Statutes](#), for the exact language concerning disinterment, transportation and reinterment of human remains. Occasionally, graves are moved from inactive or abandoned cemeteries, or prior to construction of public works projects like roads, when avoidance is not possible. Moving graves is often controversial, and typically involves obtaining permission from descendants. Contact a licensed funeral director for more information about the possibility of moving graves. Neither the medical examiners nor the State Archaeologist have authority or responsibility to "clear" a proposed project that may disturb human remains, or to move unmarked graves.

Maintaining an abandoned or unmaintained cemetery



There are literally thousands of abandoned cemeteries in Florida, many of them unknown and forgotten as old homesteads are subdivided and sold off, cemetery operators go out of business, churches are moved, and new property owners are unaware of old burying grounds. In [Section 497.284, Florida Statutes](#), Florida law authorizes a

county or municipality to maintain and secure an abandoned cemetery or one that has not been maintained for more than six months. Private funds may be solicited and spent on such maintenance, and such efforts are exempt from civil liabilities or penalties connected with damages to the property being maintained. Finally, the county or municipality may sue the owner of the property to recover costs.

Maintaining cemeteries that are no longer active is a widespread problem throughout the state. A review by the Task Force on Abandoned and Neglected Cemeteries appointed by the Legislature in 1998 determined that some counties had more than 100 such cemeteries, and that thousands probably remain undocumented and uncared for in the state. The most successful efforts to rehabilitate and care for abandoned and neglected cemeteries depend on community organization and volunteer effort. Remember that many older cemeteries are important historic resources, and that special care is required to prevent damage to stones, ironwork, vegetation and other elements. See the section on [Maintaining Historic Cemeteries](#) before planning or undertaking any cleanup or restoration. [Several case studies](#) have been summarized to show what others have done. Often, it is necessary to form some sort of organization if none exists in your community; genealogists, historic preservationists, and other civic groups are often important in creating and continuing such efforts. A number of [local organizations and other resources have been listed that might be willing to help](#).

Gaining access to cemeteries, and maintaining cemeteries

As land changes hands, and as family and community ties to a particular piece of land are lost, it is not uncommon that a new landowner unknowingly restricts access to a burial ground. Florida law provides certain rights of access to cemeteries. See [Section 704.08, Florida Statutes](#), for exact language. The statute says that relatives and descendants shall have an easement to enter and leave a cemetery at reasonable times and in a reasonable manner, and that the land owner may designate the easement. If the cemetery is not being maintained, the relatives and descendants may request the owner to provide reasonable maintenance, and if the owner fails or refuses, the relatives and descendants have the right to maintain the cemetery.

Sometimes property owners will refuse to grant an easement or even access to legitimate descendants and relatives of a person buried in a cemetery. In such cases, it is best to refer the matter to a law enforcement agency such as the sheriff's office, or possibly to elected officials, and ask that a proper easement be provided as the law requires. [Contact information for law enforcement agencies](#) is maintained by the Florida Attorney General's Office, or you can check the front pages of your telephone directory. It helps to document your communication by following a telephone conversation with a letter.

Encountering Unmarked Human Remains

The laws protecting human burials and human remains are not selective. While we mostly think of traditional cemeteries with headstones and special plantings as final resting places, there are other kinds of burial sites. Before Europeans came to Florida some five centuries ago, our state was home to hundreds of generations of American Indian people. The Timucua, the Apalachee, the Calusa, and many tribes whose names are unknown, followed very specific burial practices. Many people were interred in burial mounds and temple mounds that still exist on the

landscape today. Some of these sites are included in parks and preserves in public ownership, but many more exist on private land. In the mid-1980s Florida's cemetery law was revised to directly address the protection and respectful treatment of American Indian burial sites, as well as all other burials not in marked cemeteries. [Section 872.02, Florida Statutes](#), was amended to specifically include burial mounds and earthen or shell monuments containing human skeletal remains or associated burial artifacts. [Section 872.05, Florida Statutes](#), was added to ensure that proper steps were taken when unmarked human remains were encountered.

The procedures to be followed when unmarked human remains are discovered or disturbed begin with an important requirement-notifying local law enforcement. Here is the exact language from 872.05(3)(a):

"Any person who knows or has reason to know that an unmarked human burial is being unlawfully disturbed, destroyed, defaced, mutilated, removed, excavated, or exposed shall immediately notify the local law enforcement agency with jurisdiction in the area where the unmarked human burial is located."

This first step is critical. It starts a process that can offer protection to the burial site; it involves officials with experience in identifying human remains; it represents a series of procedures that modern Indian tribes, medical examiners, archaeologists, and others have agreed to follow; and it results in a final disposition of the remains after appropriate consultation and deliberation. If you ever find human remains, or bones that you think might be human, perhaps while digging or during construction, or as a result of erosion, do not remove or disturb them. Their location and situation will be important in determining where they came from and whether there are additional remains. Secure the area as well as you can and contact a local law enforcement agency immediately. Failure to notify law enforcement is a second degree misdemeanor.

The second important point about encountering possible human remains is that "all activity that may disturb the unmarked human burial shall cease immediately." Do not dig further, do not remove the remains, do not collect any artifacts, do not disturb the soil containing the remains. Once you have notified local law enforcement, who will likely contact the medical examiner, be prepared to meet them and explain what happened. The procedures for determining what will happen to the remains are set forth in the statute. Do not take it upon yourself to give someone permission to remove or disturb remains or associated artifacts, other than a law enforcement officer, the medical examiner, or an archaeologist representing the Florida Division of Historical Resources.

HUMAN REMAINS

- **Abandoned Cemeteries**
 - [What are the applicable laws and regulations?](#)
 - [How should law enforcement and medical examiner officials respond?](#)
 - [What are the rights and responsibilities of landowners?](#)
 - [Do I need to consult with an attorney?](#)

- How can I contact law enforcement?
- What is the Florida Master Site File, and what does it mean to be included?
- What is the role of the State Archaeologist and Division of Historical Resources?
- Where can I learn more?
- Where can I find people, agencies, organizations and other helpful resources in my county?
- What should I do and not do to maintain a historic cemetery?
- What is NAGPRA and when does it apply?
- Case Studies
- 2021 Abandoned African American Cemeteries Task Force



Ron DeSantis, Governor
Cord Byrd, Secretary of State

What are the rights and responsibilities of landowners?



Cemetery Ownership

Cemeteries are in all types of ownership:

- public ownership by municipalities, counties, states and the federal government
- private ownership by organizations that manage cemeteries, such as corporations and churches
- private ownership of abandoned and neglected cemeteries that are no longer active

Each type of ownership involves different levels of protection and management, ranging from active use as a legal cemetery, to cases where a landowner does not even know that a cemetery is on his or her land. The most important point to remember is that all human remains are protected under state law, no matter who owns the land. The county property appraiser at the county courthouse can help you find out who owns a specific lot or land parcel. For some counties, this information is available online.



Most cemeteries in public ownership are protected and maintained, although many are no longer actively receiving new interments. If there is a problem with a cemetery on public land, the primary point of contact will be the public land manager or responsible public official. In some cases privately owned and maintained cemeteries exist within the boundaries of publicly owned land.

Most active cemeteries are under the management of cemetery corporations, or religious and not-for-profit organizations. Active cemeteries of this type are regulated by the Florida Division of Banking and Finance. Sometimes, cemeteries that were once under the management of a business or a church become abandoned when the original organization is no longer viable. Commercial cemeteries sometimes go out of business with no provision for future care, and churches can move as a congregation but leave a cemetery behind. There are many opportunities for disturbance and destruction of graves when no party is responsible for care.

Finally, land in private ownership may contain graves, sometimes in the form of a homestead or family cemetery that is known and maintained, but more often as an abandoned or neglected cemetery that is unknown. In some cases, headstones may have been removed illegally, but human graves still exist below the ground. Many disputes arise over access by descendants to graves on private land.

Here are some principles regarding ownership:

- all human remains receive equal protection under Florida law, regardless of land ownership

- land owners are prohibited from disturbing human remains and graves on their land
- relatives and descendants have certain rights of access to cemeteries on private land
- relatives and descendants may request the private landowner to provide reasonable maintenance
- relatives and descendants have a right to maintain a cemetery if the landowner fails or refuses to do so
- if there is a dispute about access or maintenance, contact local law enforcement and direct them to this web page
- the State Archaeologist has no responsibility or authority concerning access or maintenance of marked or previously marked graves; contact local law enforcement instead



Ron DeSantis, Governor
Cord Byrd, Secretary of State

B. CURRENT AUTHORIZED LAND USES:

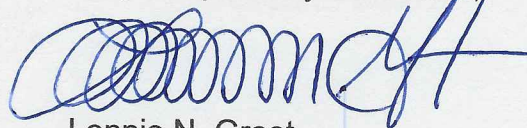
The provisions of the *Seminole County Comprehensive Plan*, as set forth in Policy FLU 5.3.2 relating to the Public, Quasi-Public future land use designation (as currently assigned to the subject Nikolic property) provide that "[t]he maximum intensity permitted in this designation is 0.65 floor area ratio" and that the following land uses are allowed:

- A** Public and private recreation, education, and library facilities;
- B** Public elementary schools, public middle schools, and public high schools;.
- C** Public and private cemeteries and mausoleums;
- D** Public safety facilities; and
- E** Water, sewer, telephone, electric, gas, communication, and transportation facilities.

Obviously, none of these uses are consistent with use by a private property owner intending to construct a single-family residence or with the assigned use of the property by the Seminole County Property Appraiser (residential) relative to which the Nikolics have been paying taxes for going on 10 years.

CONCLUSION: The objection to the proposed change in the future land use designation relating to the Nikolic property is that if it is assigned the Suburban Estates future land use designation the development of a single family residence will somehow negate the requirements of controlling law that would apply **IF** a gravesite were to be found on the property which the evidence shows will not be the case. However, the current land uses that could be implemented by a public or quasi-public user/property owner are - - public and private recreation, education, and library facilities; public elementary schools, public middle schools, and public high schools; . public and private cemeteries and mausoleums; public safety facilities; and water, sewer, telephone, electric, gas, communication, and transportation facilities. All of those uses would be subject to the very same legal requirements that would be applicable to the development of a single family residence. It is also clear that the development of a single family residence would be far less intense than the public/quasi-public uses currently authorized.

Very Respectfully Submitted,



Lonnie N. Groot
Lonnie N. Groot, P.L.
3047 South Atlantic Avenue
Suite 1103
Daytona Beach Shores, Florida 32118

AFFIDAVIT RELATING TO PROPERTY EVALUATION

STATE OF FLORIDA

COUNTY OF VOLUSIA

Before me, the undersigned authority, personally appeared Lonnie N. Groot ("Affiant"), who, after being first duly sworn, deposes and says of his personal knowledge the following:

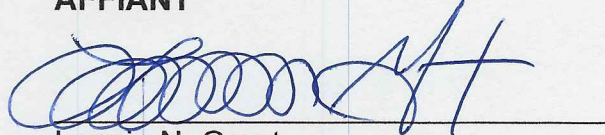
- (1). My name is Lonnie Groot who, aside from being the attorney representing the applicants with regard to the Nikolic Home Small Scale Future Land Use Map/Designation Amendment which is filed with and pending before the Board of County Commissioners of Seminole County, states the following facts that are pertinent to the application.
- (2). I have toured the property on many occasions, which times on the property include touring the property on September 3, 2025 with Christopher Owen Smith and with John Joseph Schmitz on September 4, 2025. Both of those individuals have filed affidavits in support of the Nikolic's application. I also toured the site with County staff members and I defer to them to describe the results of that tour (however, I would add that the tour contributed to the favorable recommendation for the application by Seminole County staff and the Seminole County Planning and Zoning Commission which considered the favorable staff report published by Seminole County Staff).
- (3). The evidence clearly shows that that a cemetery does not exist on the Nikolic property. Also, there is no indication of graves being located on the Nikolic property and, indeed, the graves located on the historic African American cemetery located next to the Nikolic property are a great distance from the Nikolic property line and appear to be just as proximate to the homesites located on Cedar Cove Court located within the Markham Oaks Subdivision.
- (4). The property owners are lawfully entitled to the value of their private property rights and their 2.6 acre parcel, which is the subject of this application, is of significant value unless their reasonable use for a single family residence is denied. For example, realtor Brian Hyser, of The Agency Orlando, has a listing generally described as a prime development opportunity on a prestigious road (Markham Woods Road) with regard to a site, 5.68 acres in size, which has the potential to create up to 5 luxury estate homes. The site is assigned the A-1 zoning classification (the same as is the Nikolic property), but with a future land use designation of Planned Development. The property is located across from Heathrow Elementary. The listing price is \$2,100,000.00. The Nikolic property can, of course, be reasonably used as a prime residential development lot.
- (5). I have submitted, in support of the subject Nikolic application, an index of documents that have been submitted in support of the subject application and those

documents, individually and collectively, clearly support the approval of the Nikolic future land use designation amendment.

(6). The factual statements made by me in the other documents submitted by me in support of the Nikolic application are true and correct.

FURTHER AFFIANT SAYETH NOT.


AFFIANT


Lonnie N. Groot

ACKNOWLEDGMENT

This instrument was sworn to and subscribed before me by Lonnie N. Groot by means of ☐ physical presence or ☐ online notarization, this 5th day of September, 2025. He is [☒] personally known to me or [☐] produced _____ as identification.

Seal/Stamp


(Signature of Notary Public)

